

## **Staff Report and Comments**

**Name**            **Cornelius Agriculture Building**  
**Address**        **19623 School St.**  
**City State Zip** **Cornelius, NC 28031**

**Item: Application for COA HLC482**

### **Project Description**

1. Renovation and addition to the Cornelius High School Agriculture Building for the Cornelius History Museum. Exterior will remain mostly unchanged, while constructing an addition on the south elevation to incorporate a new elevator, ADA restrooms, and main entrance to the building. Windows will be replaced, and some previously infilled windows openings may be reopened.

### **Exhibits presented to and considered by the Commission:**

**Exhibit A – Map**

**Exhibit B – Existing Conditions**

**Exhibit C – Proposed Plans**

The HLC has acknowledged the need to alter or add to a historic property to meet continuing or new uses while retaining the property's historic character.

Based upon the information presented in the application, staff offers the following suggested applicable findings of fact:

1. The proposed project meets HLC standards 1-7 and 9-10.

**Staff suggests that the Commission approve the application as presented, or with conditions.**

## **THE HLC STANDARDS**

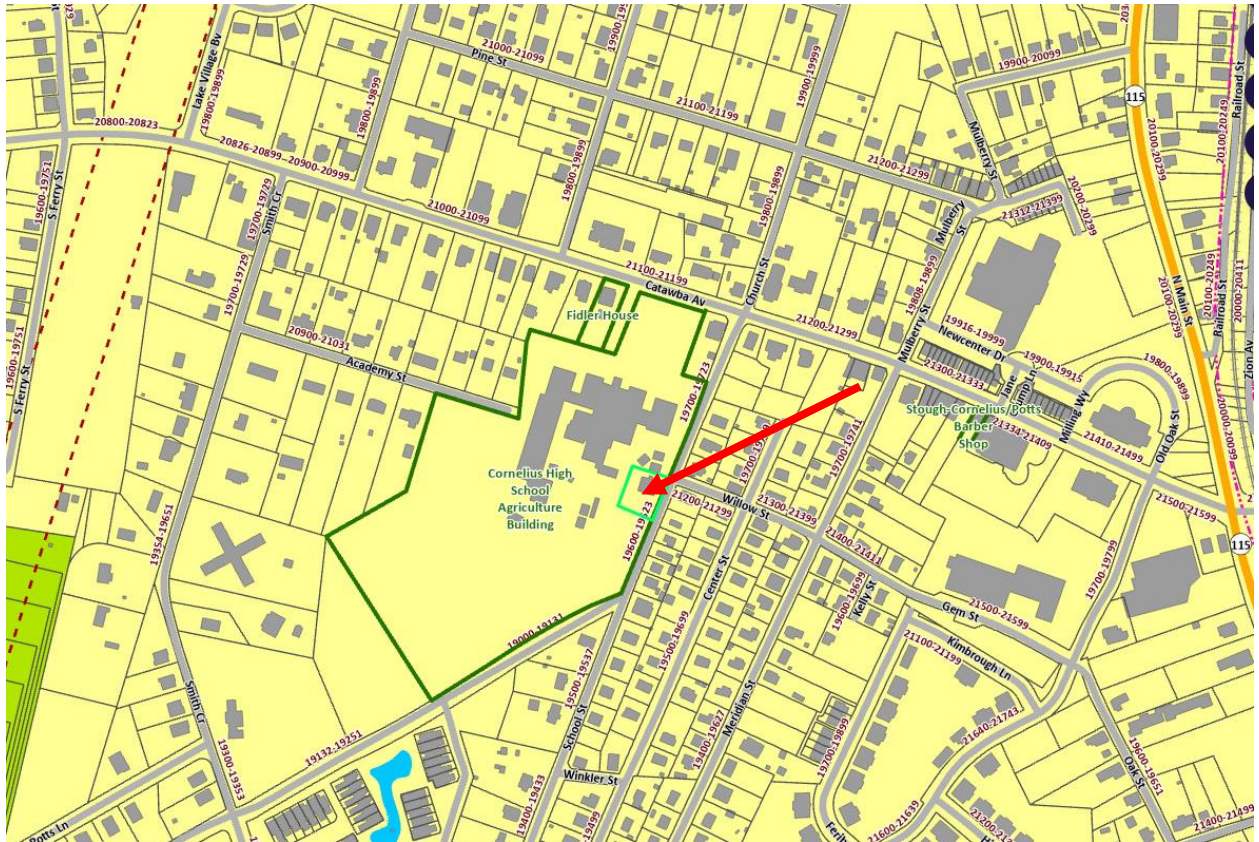
**Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.**

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. Alterations, new additions, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

# Exhibit A

## Polaris 3G Map – Mecklenburg County, North Carolina

Date Printed: 02/27/25 1:35 PM

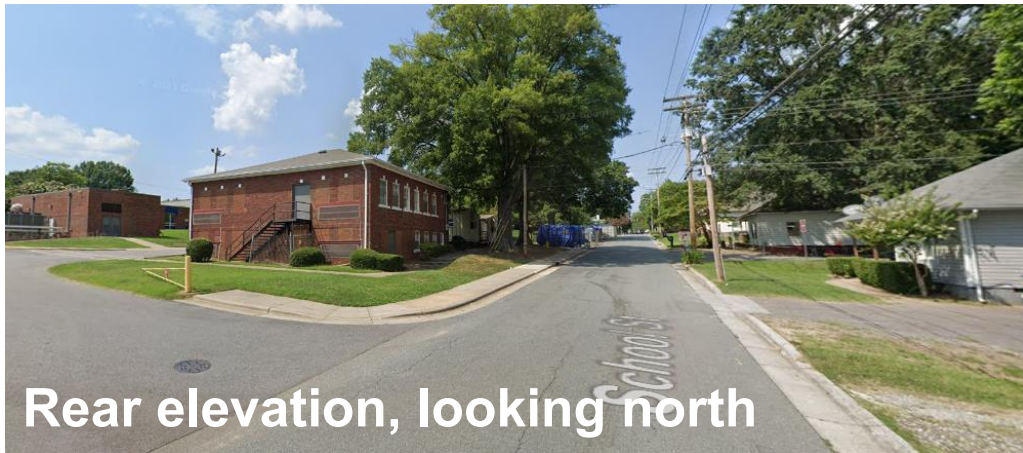




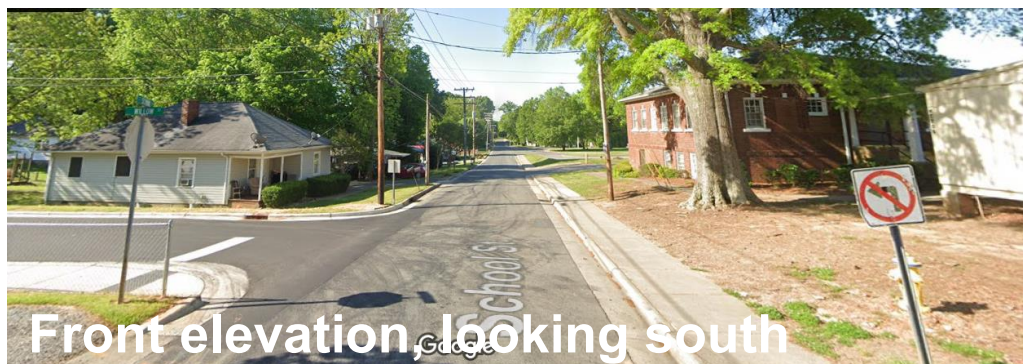
**Exhibit B**  
**Existing Conditions**



**Left and front elevation**



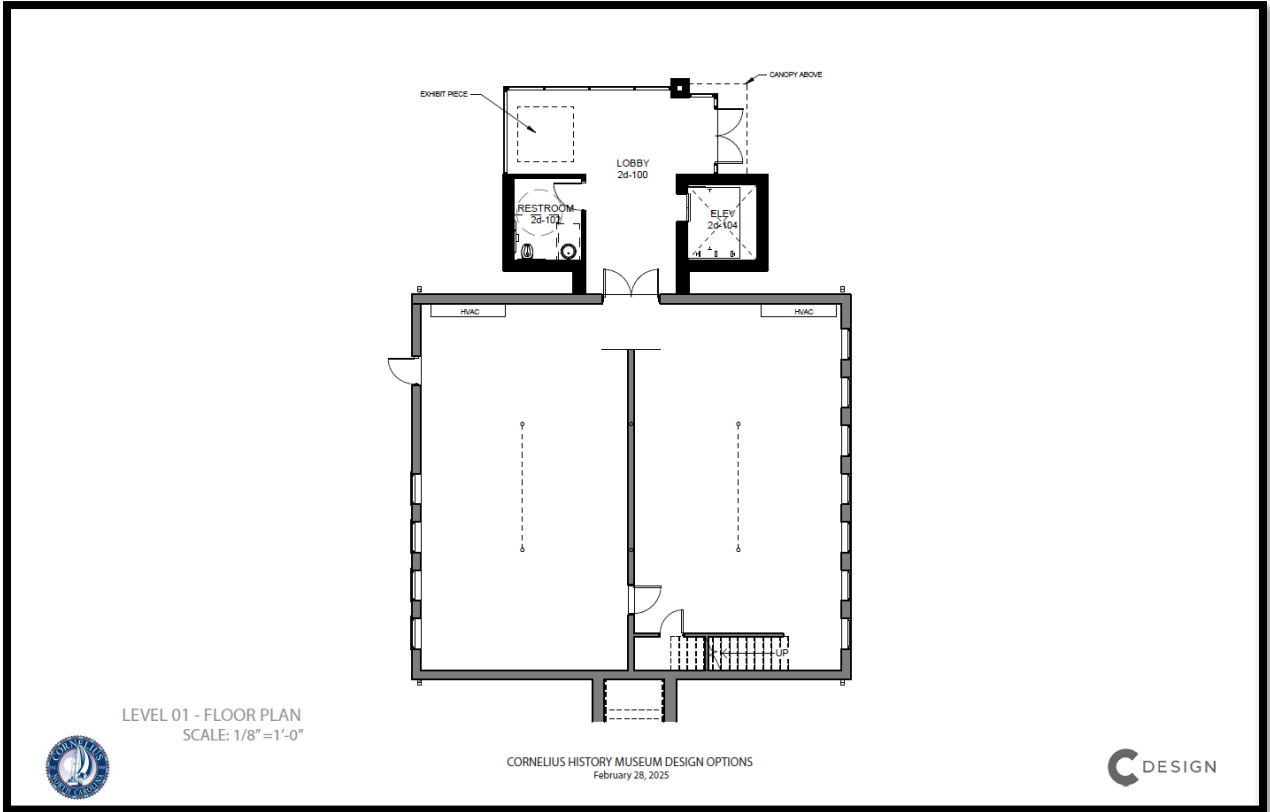
**Rear elevation, looking north**

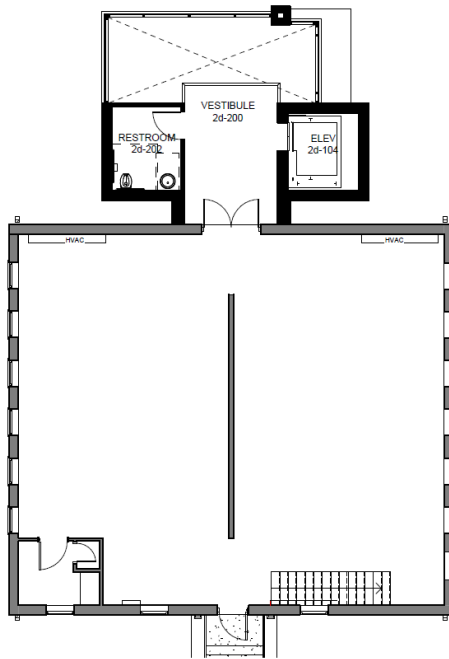


**Front elevation, looking south**

# Exhibit C

## Proposed Plans





LEVEL 02 - FLOOR PLAN  
SCALE: 1/8" = 1'-0"



CORNELIUS HISTORY MUSEUM DESIGN OPTIONS  
February 28, 2025



SOUTHWEST PERSPECTIVE  
SCALE: NTS



CORNELIUS HISTORY MUSEUM DESIGN OPTIONS  
February 28, 2025





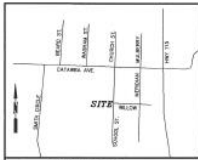


SOUTHEAST PERSPECTIVE  
SCALE: NTS



CORNELIUS HISTORY MUSEUM DESIGN OPTIONS  
February 28, 2025





VICINITY MAP  
NO SCALE

CHARLOTTE-MECKLENBURG  
BOARD OF EDUCATION  
DP 0525-014  
PIN 00520129



CHARLOTTE-MECKLENBURG  
BOARD OF EDUCATION  
DP 0525-014  
PIN 00520129

**PYRAMID**  
LAND SURVEYING  
C-1341  
RUSSELL JACKSON, LICENSED SURVEYOR  
P.O. Box 11  
Durham, NC 27702  
(704) 882-4242

**LEGEND:**

---	PROPERTY LINE
---	TE LINE
---	UNINCORPORATED LINE
---	BOUNDARY OF STATE
---	EDGE OF PLACEMENT
---	SETBACK LINE
---	COMPUTED POINT
---	PLACEMENT POINT
---	ADJACENT PROPERTY
---	ADJACENT SEWER MAINLINE

**NOTES:**

1. THIS PROPERTY IS NOT LOCATED IN A DESIGNATED FLOOD ZONE PER FEMA MAPS 37104AK0104R, 37104AK0105R.
2. LOCAL UTILITIES ARE COORDINATE CORRECTED.
3. IF BUREAU COMPUTED POINTS OR ADJACENT PROPERTY OR SET.
4. UNDERGROUND UTILITIES NOT LOCATED AS OF THE DATE.
5. ALL TYPED DIMENSIONS ARE APPROXIMATE DIMENSIONS.
6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED.
7. THIS PROPERTY IS TO BE ADJACENT TO LOT 1.
8. SETBACKS PER 48 CONING INC. FRONT-10' (STATE 8005-23), SIDE-10' REAR-25'.

I certify that this plot is not within a designated Public Water Supply Watershed.

Date: \_\_\_\_\_  
Municipal Administrator, Town of Cornelius

I, RUSSELL JACKSON, certify that this plot was drawn under my supervision from an actual survey made under my supervision (said description reported in Book 27025, page 374), that the boundaries not surveyed are clearly indicated as drawn from information found in Book on street, page or sheet, that the date of precision or constant is 11/10/2024, that this plot was prepared in accordance with G.S. 47-30 as amended.

The survey creates a subdivision of land within the area of the County of Mecklenburg that has an ordinance that requires parcels of land.

Witness my original signature and the seal of the State of North Carolina, this 17th day of July, 2024.

RUSSELL JACKSON, LICENSED SURVEYOR  
No. 13333  
City of Asheville

SC 13333-1-2024  
LICENSE NO. \_\_\_\_\_

Review Officer Certification, State of North Carolina, County of Mecklenburg

\_\_\_\_\_  
Review Officer of Mecklenburg County.  
I certify that this map or plat to which this certification is affixed meets all statutory requirements for recording.

Review Officer \_\_\_\_\_ Date \_\_\_\_\_

I hereby certify that the subdivision plat shown herein is correct from the subdivision provisions of the Cornelius Land Development Code, and is therefore exempt from the provisions. The plat has been found to comply with the zoning regulations of the Cornelius Land Development Code and has been approved by the Town of Cornelius for recording in the Office of the Register of Deeds of Mecklenburg County.

Date \_\_\_\_\_ Planning Director, Cornelius, North Carolina

**CERTIFICATE OF OWNERSHIP AND RESIGNATION**

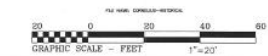
I hereby certify that I own the corner of the property shown and described herein, which is located in the subdivision jurisdiction of the Town of Cornelius and that I hereby assign this plot with my true consent, establish minimum building setback lines, present and protect all significant trees over 18 inches diameter in the tree cut production area, plant supplementary trees if required, and dedicate all streets, steps, walks, paths, and other uses and easements, to public or private uses as noted. Once streets have been accepted by the Town or the State, street trees shall be monitored and cared for by the property owner adjacent to the tree, except in subdivisions where the property owners association provides maintenance and care. Prior to street acceptance, the developer shall be responsible for ensuring maintenance and care. Maintenance shall include replacement and trimming as necessary. Furthermore, I hereby dedicate all sanitary sewer, storm sewer, and water lines that are located in public utility easements or rights-of-way to the Town of Cornelius and Charlotte Water.

DATE \_\_\_\_\_ OWNER(S) \_\_\_\_\_

**EXEMPT SUBDIVISION PLAT**  
FOR  
**CORNELIUS HISTORICAL SOCIETY**  
PROPERTY OF  
**CHARLOTTE-MECKLENBURG BOARD OF EDUCATION**

SCHOOL STREET  
PART OF DEED BOOK 27025-014, PART OF PIN 00520129  
DEWELEE TOWNSHIP, MECKLENBURG COUNTY  
CORNELIUS, NORTH CAROLINA  
JULY 17, 2024

RECORDS DIVISION LOT 1 TO 36, ACN 001 001 001



Course	Bearing	Distance
1-11	S 24°12'30" E	30.00
1-12	S 28°20'10" W	28.00
1-13	S 67°01'10" W	55.00