

# Torrence Lytle

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Revision Schedule

Rev #	Revision Description	Date



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COVER SHEET

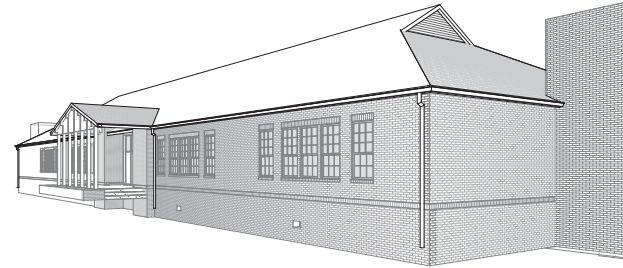
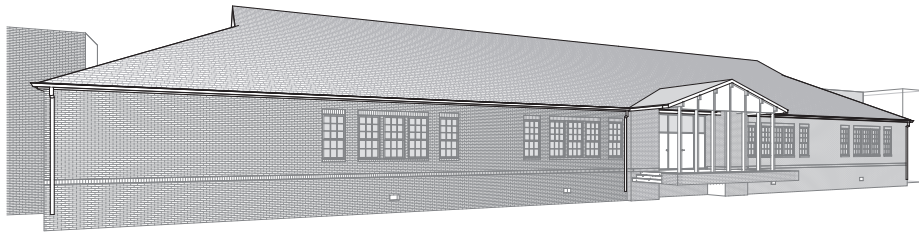
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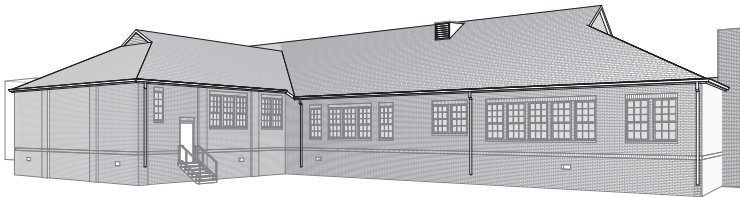
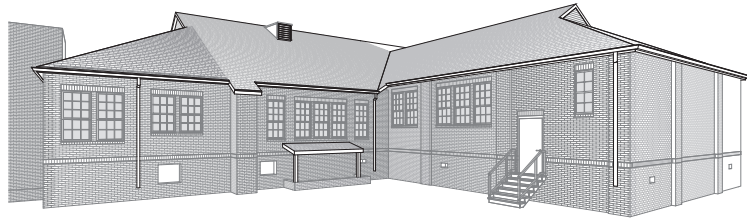


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1 | PERSPECTIVE VIEW 01  
A006

2 | PERSPECTIVE VIEW 02  
A006



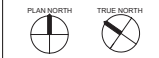
3 | PERSPECTIVE VIEW 03  
A006

5 | PERSPECTIVE VIEW 04  
A006

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PERSPECTIVES  
 A24028 10/01/24

**A006**

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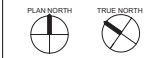
**DEMOLITION NOTES:**

1. SEE ENGINEERING DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
2. REFER TO NEW CONSTRUCTION PLANS TO COORDINATE THE EXTENT OF DEMOLITION WITH NEW CONSTRUCTION.
3. DEMOLITION OF BUILDING SYSTEMS INCLUDING CONDUIT, WIRING, DUCTWORK AND PLUMBING LINES MAY EXTEND BEYOND THE LIMITS SHOWN ON THE DEMOLITION PLANS. THIS WORK SHALL BE INCLUDED IN THE CONTRACTORS SCOPE OF WORK.
4. THE GENERAL CONTRACTOR SHALL SEAL OR PROVIDE FILTERS ON ALL REMAINING DUCTWORK TO PREVENT INFILTRATION OF DUST. MAINTAIN FILTERS AS REQUIRED.
5. GENERAL CONTRACTOR SHALL MAINTAIN EGRESS AND INTEGRITY OF LIFE SAFETY SYSTEMS DURING ALL DEMOLITION AND NEW CONSTRUCTION.
6. ALL EXISTING FLOORING TO BE DEMOLISHED. PREPARE FOR NEW AS REQUIRED.
7. DEMO ALL ITEMS INDICATED WITH DASHED LINES
8. IN ALL WALLS & CEILINGS THAT ARE REMOVED THE GC SHALL BE RESPONSIBLE FOR DISCONNECTING AT SOURCE & REMOVING OR CAPPING ANY ELECTRICAL, PLUMBING, GAS LINES & MECHANICAL DUCT THAT IS DISCLOSED & NOT SCHEDULED FOR REUSE. REROUTE & CONTINUE ANY SYSTEM THAT MUST BE RETAINED FOR ADJACENT BLDG AREA THAT ARE NOT IN CONTRACT.
9. GC TO COORDINATE W/ OWNER AS TO THE DISPOSAL OF ALL ITEMS REMOVED
10. GC SHALL PATCH & REPAIR ALL CEILINGS, WALLS & FLOORS, AS REQUIRED TO RECEIVE NEW FINISHES.

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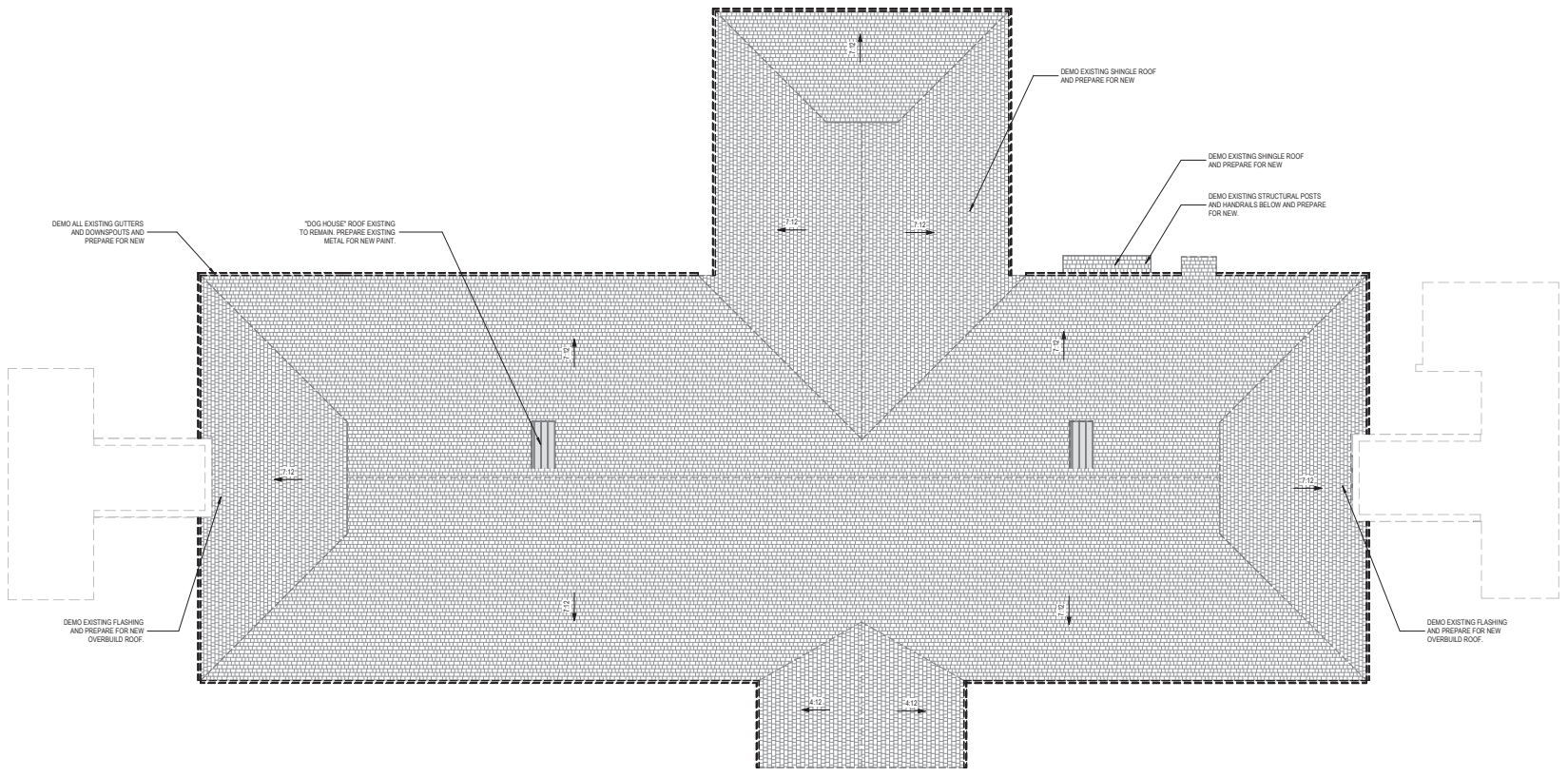


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**DEMO PLAN**

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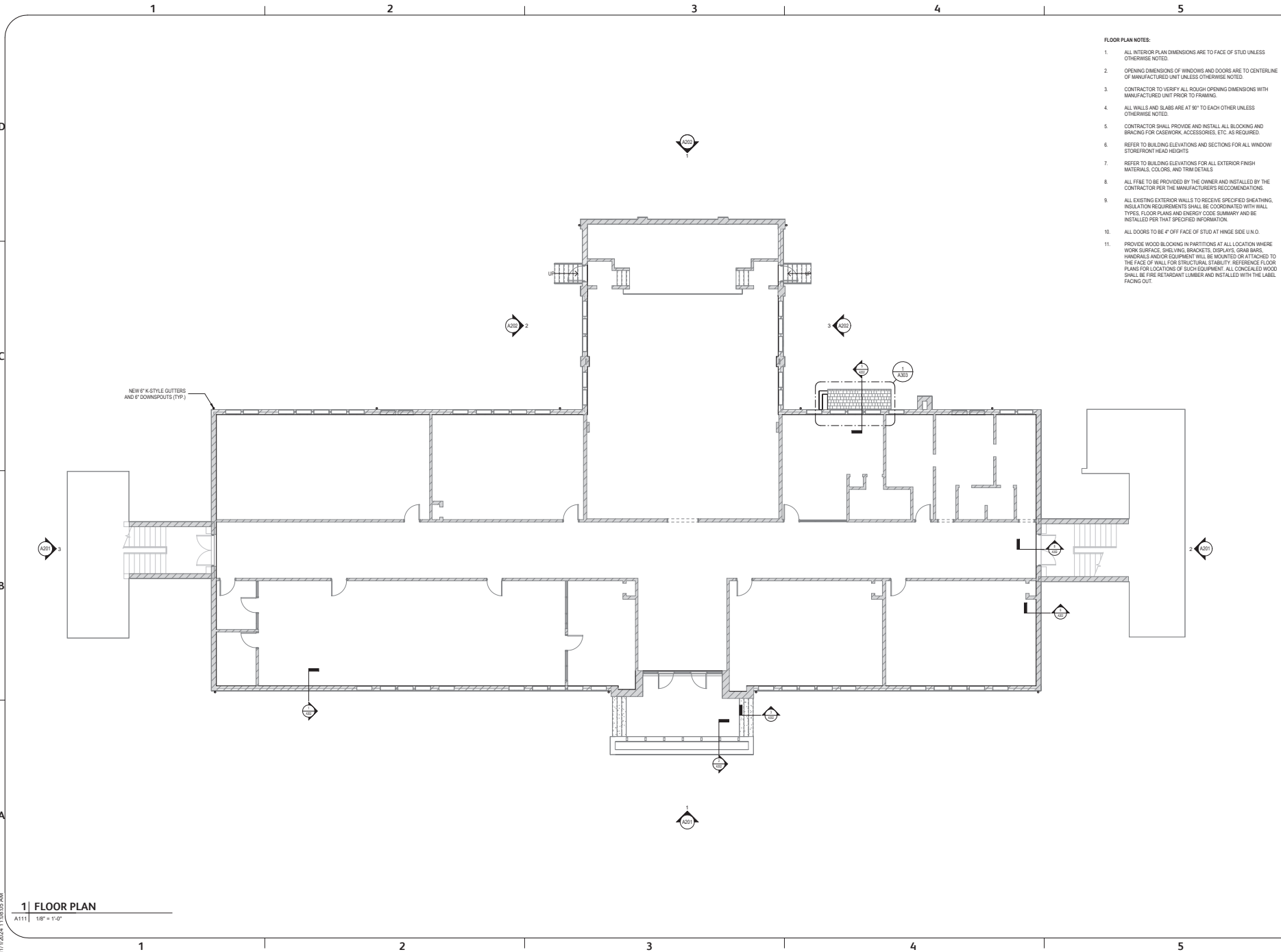
**A101**



**1 | ROOF DEMO PLAN**  
 A101 | 1/8" = 1'-0"

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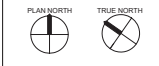


- FLOOR PLAN NOTES:**
1. ALL INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
  2. OPENING DIMENSIONS OF WINDOWS AND DOORS ARE TO CENTERLINE OF MANUFACTURED UNIT UNLESS OTHERWISE NOTED.
  3. CONTRACTOR TO VERIFY ALL ROUGH OPENING DIMENSIONS WITH MANUFACTURED UNIT PRIOR TO FRAMING.
  4. ALL WALLS AND SLABS ARE AT 90° TO EACH OTHER UNLESS OTHERWISE NOTED.
  5. CONTRACTOR SHALL PROVIDE AND INSTALL ALL BLOCKING AND BRACING FOR CASEWORK, ACCESSORIES, ETC. AS REQUIRED.
  6. REFER TO BUILDING ELEVATIONS AND SECTIONS FOR ALL WINDOW STOREFRONT HEAD HEIGHTS.
  7. REFER TO BUILDING ELEVATIONS FOR ALL EXTERIOR FINISH MATERIALS, COLORS, AND TRIM DETAILS.
  8. ALL FLOOR TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR PER THE MANUFACTURER'S RECOMMENDATIONS.
  9. ALL EXISTING EXTERIOR WALLS TO RECEIVE SPECIFIED SHEATHING. INSULATION REQUIREMENTS SHALL BE COORDINATED WITH WALL TYPES, FLOOR PLANS AND ENERGY CODE SUMMARY AND BE INSTALLED PER THAT SPECIFIED INFORMATION.
  10. ALL DOORS TO BE 4" OFF FACE OF STUD AT HINGE SIDE U.N.O.
  11. PROVIDE WOOD BLOCKING IN PARTITIONS AT ALL LOCATION WHERE WORK SURFACE, SHELVING, BRACKETS, DISPLAYS, GRAB BARS, HANDS-A-AND/OR EQUIPMENT WILL BE MOUNTED OR ATTACHED TO THE FACE OF WALL FOR STRUCTURAL STABILITY. REFERENCE FLOOR PLANS FOR LOCATIONS OF SUCH EQUIPMENT. ALL CONCEALED WOOD SHALL BE FIRE RETARDANT LUMBER AND INSTALLED WITH THE LABEL FACING OUT.

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**FLOOR PLAN**

A24028 10/01/24

**A111**

**1 | FLOOR PLAN**  
 A111 1/8" = 1'-0"

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**ROOF PLAN NOTES:**

- G.C. TO COORDINATE EXACT LOCATIONS OF ANY ROOF PENETRATIONS WITH OTHER TRADES AND LOCAL JURISDICTION CODE REQUIREMENTS. SEE STRUCTURAL DRAWINGS FOR TYPICAL FRAMING AT ROOF OPENINGS. COORDINATE FINAL SIZES WITH EQUIPMENT CLAB REQUIREMENTS.
- INSTALL ALL ROOFING MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- LOCATE ALL PLUMBING VENTS, EXHAUST FLUES, FAN HOODS AND SIMILAR ROOFTOP EQUIPMENT IN LOCATIONS THAT ARE MOST HIDDEN FROM VIEW FROM ALL PUBLIC AND PRIVATE STREETS. TO THE EXTENT POSSIBLE, LOCATE SUCH ITEMS BEHIND RIDGES AND PAINT TO BLEND IN WITH THE BACKGROUND ROOFING MATERIAL.
- ALL GUTTERS AND DOWNSPOUTS TO BE FINISHED TO MATCH PNT. 6.

**ROOF VENTILATION:**

Per section 1202.2 of the 2021 NC building code: The minimum net free ventilation area shall be 1/300 of the vented space provided one or more of the following conditions are met:  
 1. In Climate Zones 6, 7 and 8 a Class I or II vapor retarder is installed on the warm-in-winter side of the ceiling  
 2. At least 40 percent and not more than 50 percent of the required ventilating area is provided by ventilators located in the upper portion of the attic or rafter space. Upper ventilators shall be located not more than 3 feet (914 mm) below the ridge or highest point of the space, measured vertically, with the balance of the required ventilation provided by eave or cornice vents. Where the location of wall or roof framing members conflicts with the installation of upper ventilators, installation more than 3 feet (914 mm) below the ridge or highest point of the space shall be permitted.

**Roof Ventilation:**

2" continuous soffit vent provides approximately 8 square inches of vented area per linear foot  
 Ridge Vents provide approximately 12.5 square inches of vented area per linear foot  
 Calculation ROOF A:  
 Total under roof square footage requiring ventilation = 7,348 square feet  
 Converted to square inches = 1,058,112 square inches  
 1,058,112 square inches / 300 = 3,527.04 square inches of net free ventilating area (minimum)

Approximate soffit vents (per plan)  
 228 linear feet x 8 square inches / linear foot = 1,808 square inches  
 Approximate ridge vents (per plan)  
 118 linear feet x 12.5 square inches / linear foot = 1,475 square inches (provided) (44.5 percent)  
 Total = 3,283 square inches of net free ventilating area

**Notes:**

- Balance of ventilation to be done with adequate powered ventilator (approximately 410 square inches).
- Contractor to confirm square inch per linear foot area of soffit and ridge vent with manufacturer specifications.

**Calculation ROOF B:**

Total under roof square footage requiring ventilation = 1,687 square feet  
 Converted to square inches = 242,528 square inches  
 242,528 square inches / 300 = 808.76 square inches of net free ventilating area (minimum)

Approximate soffit vents (per plan)  
 68 linear feet x 8 square inches / linear foot = 544 square inches  
 Approximate ridge vents (per plan)  
 60 linear feet x 12.5 square inches / linear foot = 750 square inches (provided) (48 percent)  
 Total = 837 square inches of net free ventilating area

**Notes:**

- Balance of ventilation to be done with adequate powered ventilator (approximately 410 square inches).
- Contractor to confirm square inch per linear foot area of soffit and ridge vent with manufacturer specifications.

**Calculation ROOF C:**

Total under roof square footage requiring ventilation = 730 square feet  
 Converted to square inches = 105,120 square inches  
 105,120 square inches / 300 = 350.4 square inches of net free ventilating area (minimum)

Approximate soffit vents (per plan)  
 44 linear feet x 8 square inches / linear foot = 352 square inches  
 Total = 352 square inches of net free ventilating area

**Notes:**

- Balance of ventilation to be done with adequate powered ventilator (approximately 410 square inches).
- Contractor to confirm square inch per linear foot area of soffit and ridge vent with manufacturer specifications.

**Calculation ROOF D:**

Total under roof square footage requiring ventilation = 722 square feet  
 Converted to square inches = 103,968 square inches  
 103,968 square inches / 300 = 346.56 square inches of net free ventilating area (minimum)

Approximate soffit vents (per plan)  
 44 linear feet x 8 square inches / linear foot = 352 square inches  
 Total = 352 square inches of net free ventilating area

**Notes:**

- Balance of ventilation to be done with adequate powered ventilator (approximately 410 square inches).
- Contractor to confirm square inch per linear foot area of soffit and ridge vent with manufacturer specifications.

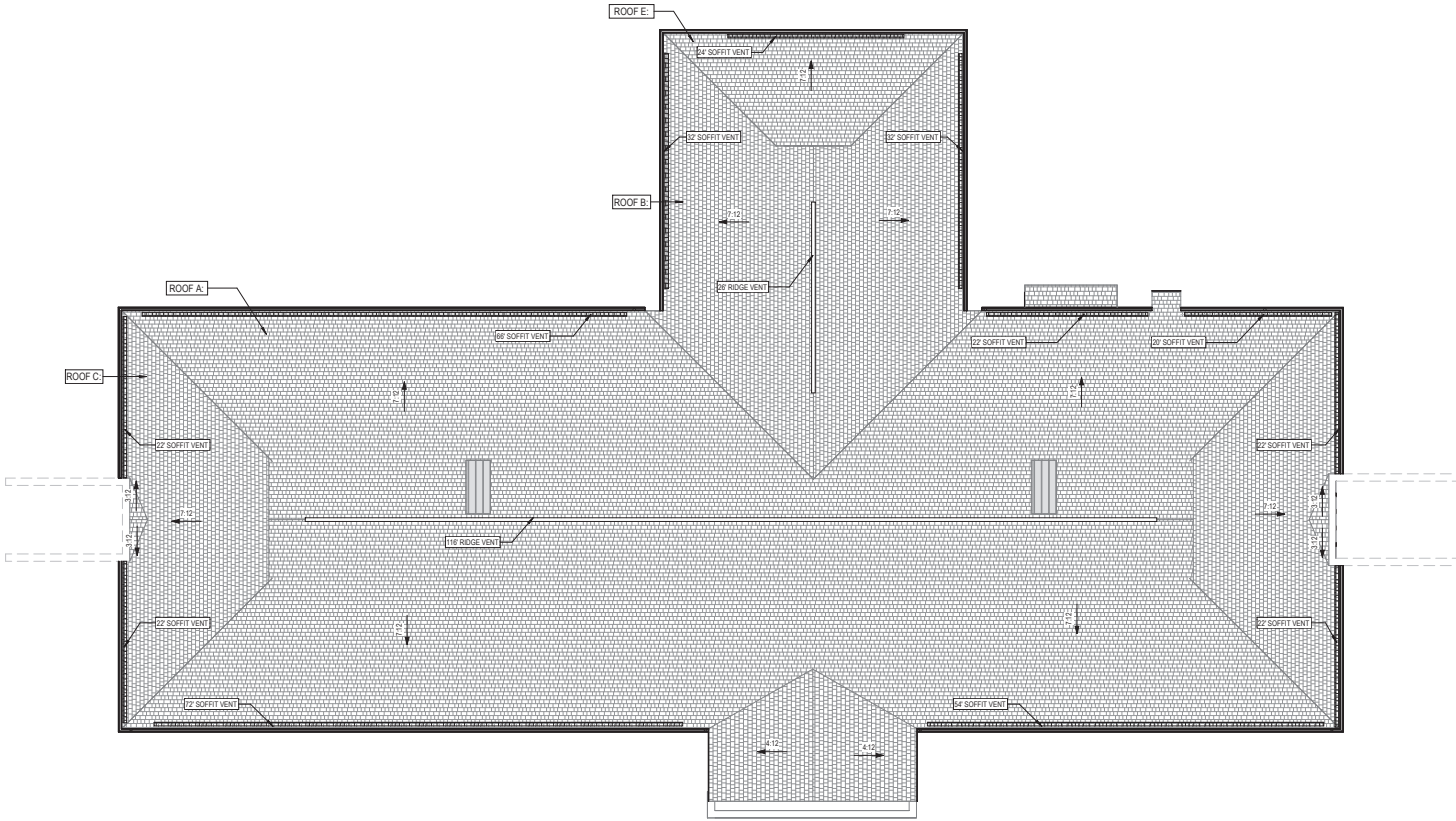
**Calculation ROOF E:**

Total under roof square footage requiring ventilation = 366 square feet  
 Converted to square inches = 51,924 square inches  
 51,924 square inches / 300 = 173.08 square inches of net free ventilating area (minimum)

Approximate soffit vents (per plan)  
 24 linear feet x 8 square inches / linear foot = 192 square inches  
 Total = 192 square inches of net free ventilating area

**Notes:**

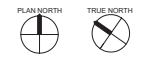
- Balance of ventilation to be done with adequate powered ventilator (approximately 410 square inches).
- Contractor to confirm square inch per linear foot area of soffit and ridge vent with manufacturer specifications.



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**ROOF PLAN**  
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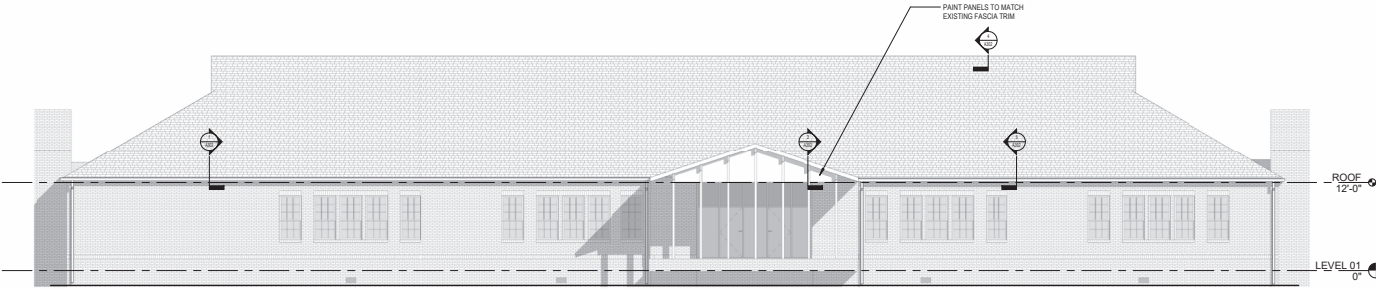
**A131**

**1 | ROOF PLAN**  
 A131 1/8" = 1'-0"

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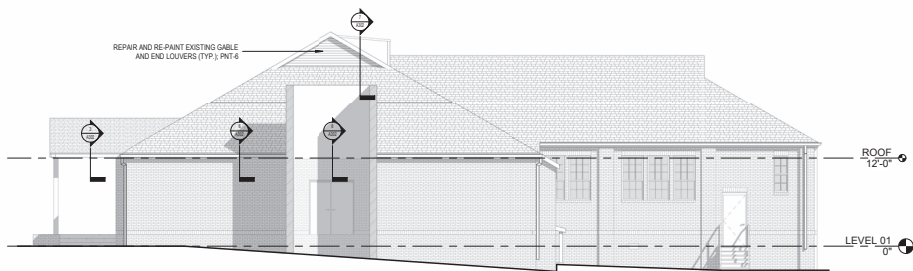


**ELEVATION NOTES:**

1. SEAMING, BREAK POINTS, PATTERNS, AND MATERIAL LENGTHS FOR ALL EXTERIOR MATERIALS INCLUDING SIDING, COPING, ROOFING, ETC. TO BE CENTERED ON THAT BUILDING ELEMENT OR LOCATED AT A NATURAL BREAK IN THE BUILDING. CONTACT ARCHITECT FOR SEAM LOCATION IF ONE IS NOT APPARENT.
2. ALL EXTERIOR EXPOSED WOOD FRAMING (STUDS, BEAMS, RM. BOARDS, JOISTS, AND LEDGES) TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED. CONTRACTOR TO WEATHERIZE ANY PRESSURE TREATED WOOD TO BE STAINED OR PAINTED.
3. ALL EXTERIOR EXPOSED STEEL TO BE SHOP PRIMED WITH SHERWIN WILLIAMS PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER, 866-310 SERIES. THEN FINISHED WITH 2 COATS OF SHERWIN WILLIAMS PRO INDUSTRIAL ACRYLIC SEMI-GLOSS, 866-600 SERIES. COLOR TO BE DETERMINED. SUBMIT COATING SPECIFICATIONS AND DRAWDOWN TO ARCHITECT FOR APPROVAL.
4. REFER TO FINISH SCHEDULE FOR PAINT SPECIFICATIONS.
5. SEALANT TO BE SIKAFLEX POLYURETHANE SEALANT. COLOR MATCH TO ADJACENT BUILDING SURFACE.
6. ALL COPING TO BE AT AS RAPID LOCK CONTINUOUS CLEAT COPING - PRE-FINISHED TO MATCH ADJACENT BUILDING MATERIAL UNLESS NOTED OTHERWISE. CONTINUOUS LAP SIDING TO BE HORIZONTAL SMOOTH CEMENTITIOUS, W/ IF EXPOSURE, PNT 02.
7. TRIM BOARDS TO BE 3/4" THICK CEMENTITIOUS BOARDS (J.N.O.), SMOOTH TEXTURE. MINIMUM LENGTH OF BOARD BETWEEN CUT JOINTS SHALL 10'-0". ALL SIDING AND TRIM MUST BE FLASHED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. PAINT PNT 03.

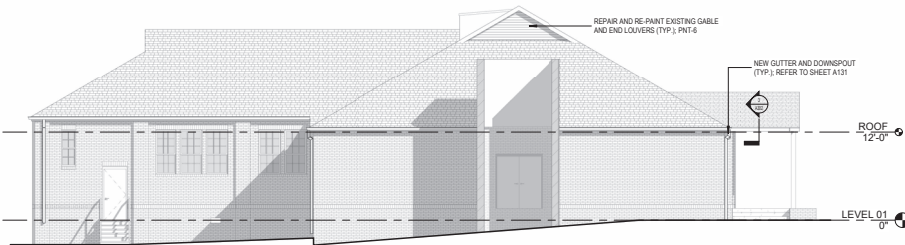
**1 | FRONT ELEVATION**

A201 | 1/8" = 1'-0"



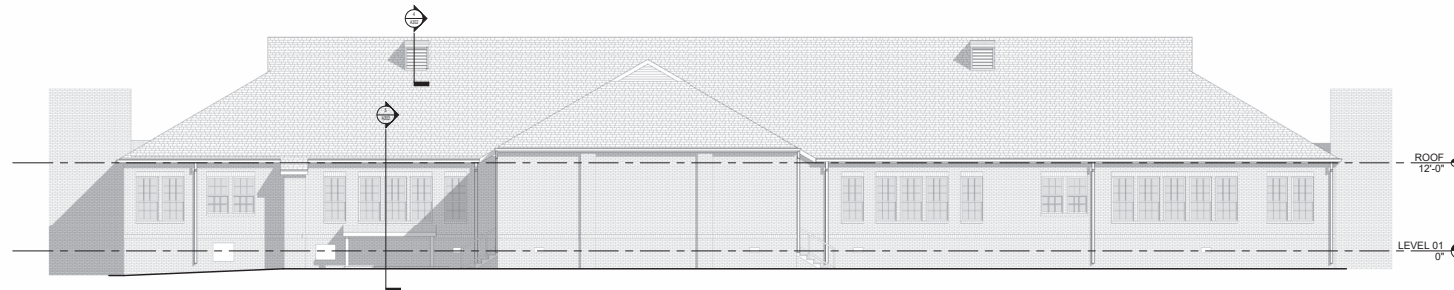
**2 | EAST ELEVATION**

A201 | 1/8" = 1'-0"



**3 | WEST ELEVATION**

A201 | 1/8" = 1'-0"



**4 | REAR ELEVATION**

A201 | 1/8" = 1'-0"

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**EXTERIOR ELEVATIONS**

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**A201**

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4. REFER TO FINISH SCHEDULE FOR PAINT SPECIFICATIONS.
5. SEALANT TO BE SIKAFLEX POLYURETHANE SEALANT. COLOR MATCH TO ADJACENT BUILDING SURFACE.
6. ALL COPING TO BE ATAS RAPID LOCK CONTINUOUS CLEAT COPING - PRE-FINISHED TO MATCH ADJACENT BUILDING MATERIAL UNLESS NOTED OTHERWISE. CONTINUOUS LAP SIDING TO BE HORIZONTAL SMOOTH CEMENTITIOUS, W/IF EXPOSURE, PNT.02.
8. TRIM BOARDS TO BE 3/4" THICK CEMENTITIOUS BOARDS (J.N.O.), SMOOTH TEXTURE. MINIMUM LENGTH OF BOARD BETWEEN CUT JOINTS SHALL 10'-0". ALL SIDING AND TRIM MUST BE FLASHED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. PAINT PNT.03.

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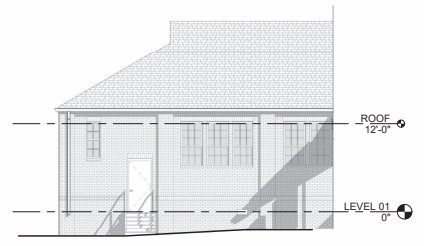


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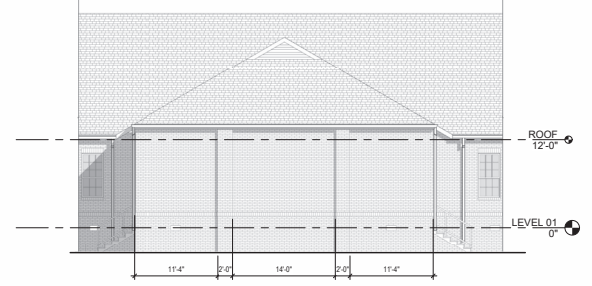
**EXTERIOR ELEVATIONS**

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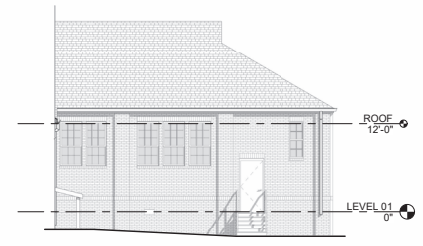
**A202**



**2 | AUDITORIUM WEST ELEVATION**  
 A202 1/8" = 1'-0"



**1 | AUDITORIUM REAR ELEVATION**  
 A202 1/8" = 1'-0"

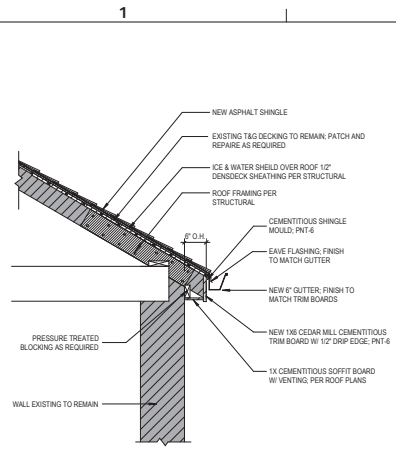


**3 | AUDITORIUM EAST ELEVATION**  
 A202 1/8" = 1'-0"

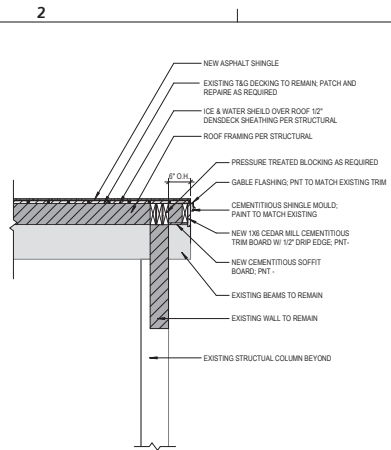
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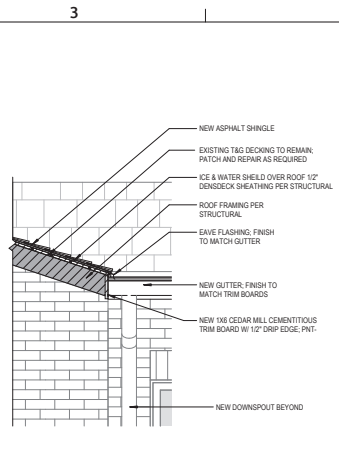




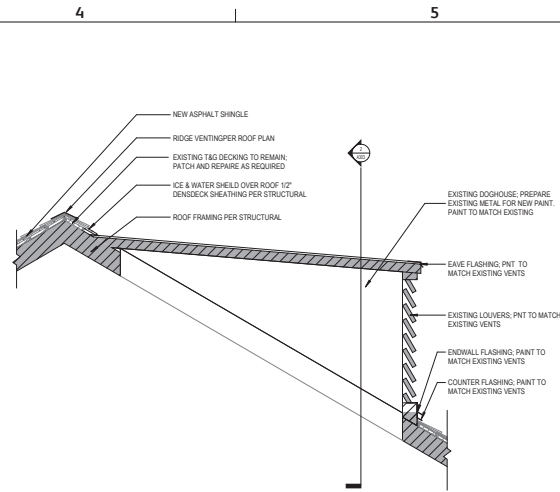
**1 SECTION 01**  
A302 3/4" = 1'-0"



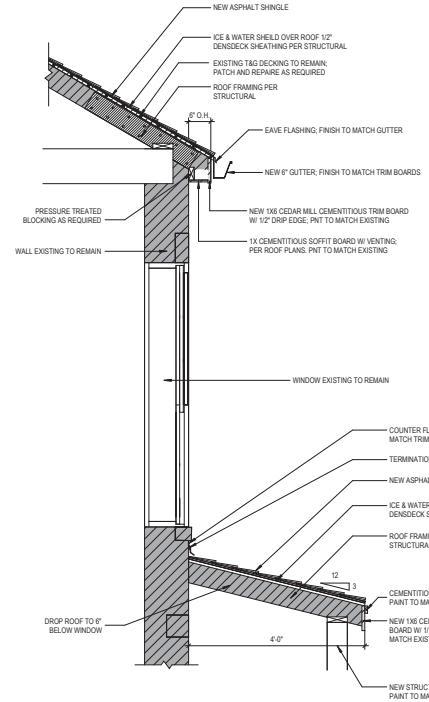
**2 SECTION 02**  
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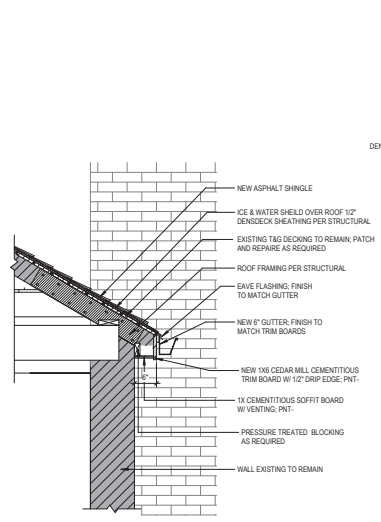
**3 SECTION 03**  
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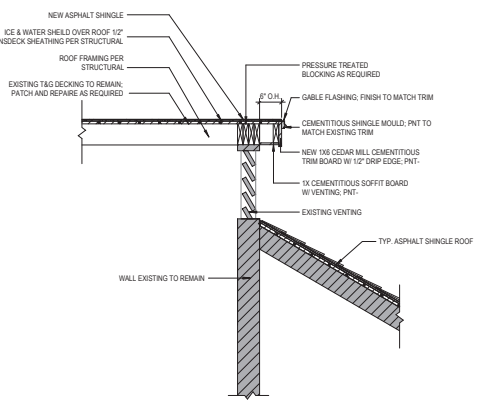
**4 SECTION 04**  
A302 3/4" = 1'-0"



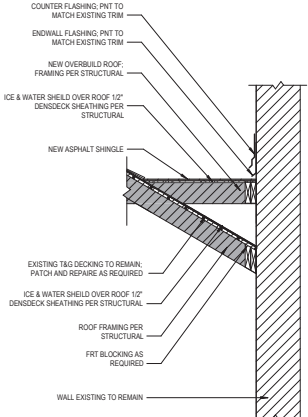
**5 SECTION 05**  
A302 3/4" = 1'-0"



**6 SECTION 06**  
A302 3/4" = 1'-0"



**7 SECTION 07**  
A302 3/4" = 1'-0"



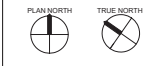
**8 SECTION 08**  
A302 3/4" = 1'-0"



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**ROOF SECTIONS**

A24028 10/01/24

**A302**

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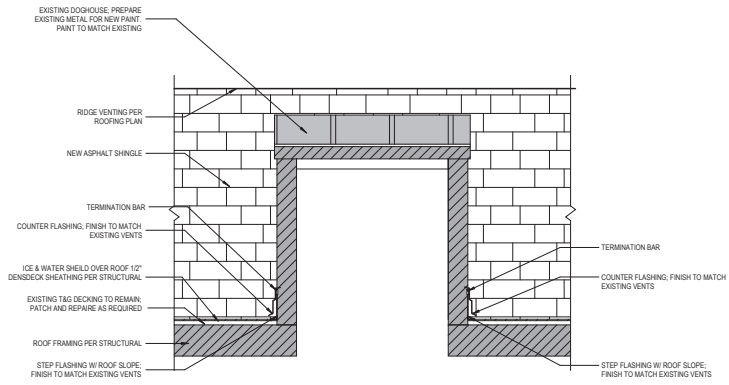
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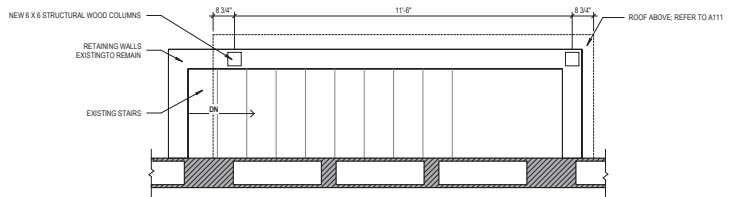
V:\V\A\Projects\2024\A24028\_TorrenceLytle\Rev\A24028\_TorrenceLytle.rvt  
11/11/2024 1:08:17 AM

1 2 3 4 5



**2 | ROOF "DOGHOUSE" SECTION**

A303 1" = 1'-0"



**1 | BASEMENT ACCESS DETAIL**

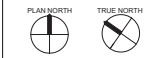
A303 1/2" = 1'-0"

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803.324.5531 843.619.7662

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302 Holbrooks Road, Huntersville,  
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DETAILS  
A24028 10/01/24

**A303**

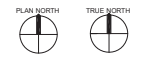


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Foundation and First Floor Framing Plan

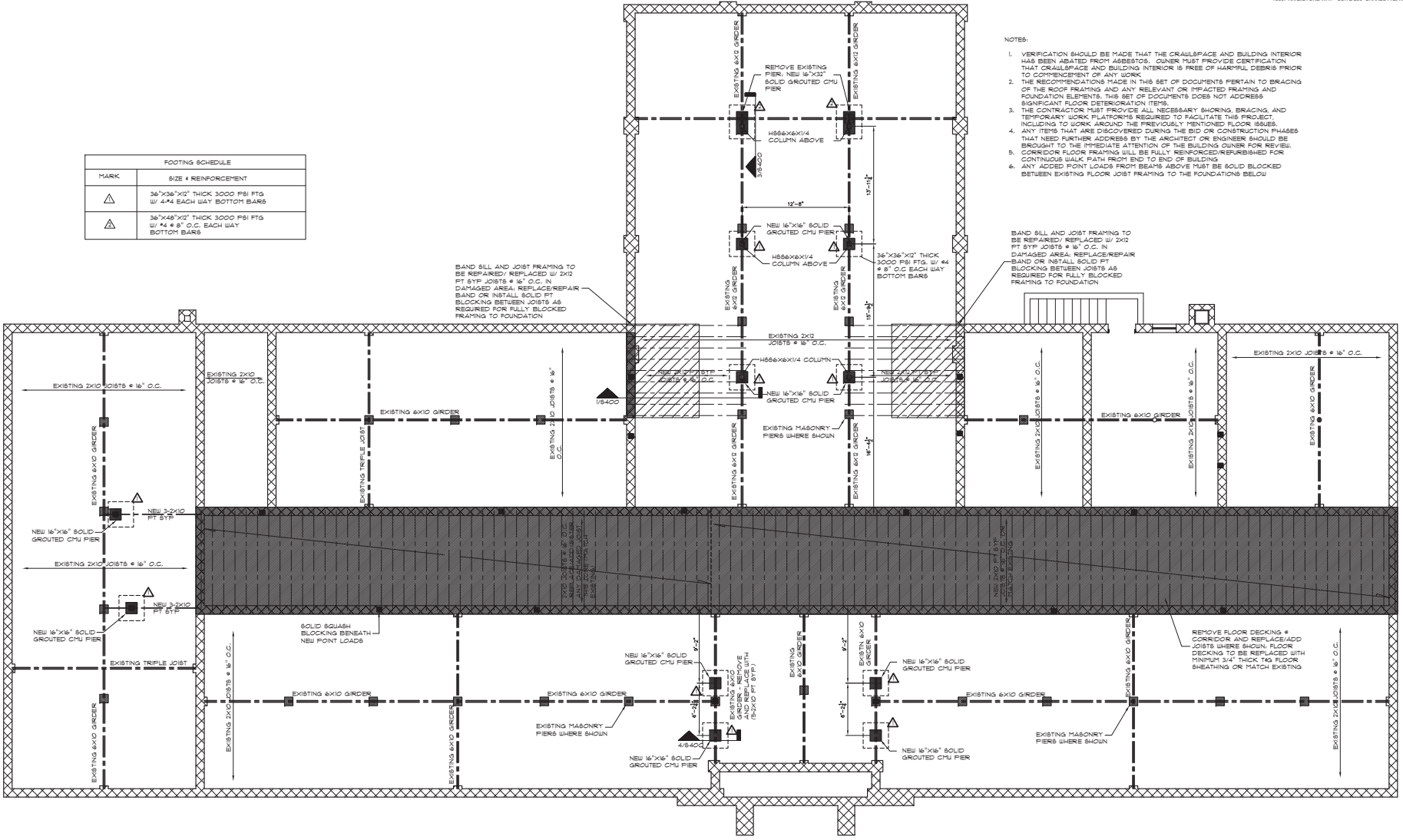
Proj # 09.13.2024

**S100**

- NOTES:
1. VERIFICATION SHOULD BE MADE THAT THE CRAWLSPACE AND BUILDING INTERIOR HAS BEEN ABLATED FROM ASBESTOS. OWNER MUST PROVIDE CERTIFICATION THAT CRAWLSPACE AND BUILDING INTERIOR IS FREE OF HARMFUL DEBRIS PRIOR TO COMMENCEMENT OF ANY WORK.
  2. THE RECOMMENDATIONS MADE IN THIS SET OF DOCUMENTS PERTAIN TO BRACING OF THE ROOF FRAMING AND ANY RELEVANT OR IMPACTED FRAMING AND FOUNDATION ELEMENTS. THIS SET OF DOCUMENTS DOES NOT ADDRESS SIGNIFICANT FLOOR DETERIORATION ITEMS.
  3. THE CONTRACTOR MUST PROVIDE ALL NECESSARY SHORING, BRACING, AND TEMPORARY WORK PLATFORMS REQUIRED TO FACILITATE THIS PROJECT, INCLUDING TO WORK AROUND THE PREVIOUSLY MENTIONED FLOOR ISSUES.
  4. ANY ITEMS THAT ARE DISCOVERED DURING THE BID OR CONSTRUCTION PHASES THAT NEED FURTHER ADDRESS BY THE ARCHITECT OR ENGINEER SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE BUILDING OWNER FOR REVIEW.
  5. CORRIDOR FLOOR FRAMING WILL BE FULLY REINFORCED/REPAIRS FOR CONTINUOUS WALK PATH FROM END TO END OF BUILDING.
  6. ANY ADDED POINT LOADS FROM BEAMS ABOVE MUST BE SOLID BLOCKED BETWEEN EXISTING FLOOR JOIST FRAMING TO THE FOUNDATIONS BELOW.

ROOFING SCHEDULE

MARK	SIZE + REINFORCEMENT
△	36"x36"x12" THICK 3000 PSI FTG W/ 4-#4 EACH WAY BOTTOM BARS
△	36"x48"x12" THICK 3000 PSI FTG W/ 4-#8 @ 8" O.C. EACH WAY BOTTOM BARS



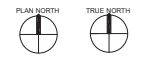
① FOUNDATION AND FIRST FLOOR FRAMING PLAN  
SCALE: 3/16" = 1'-0"



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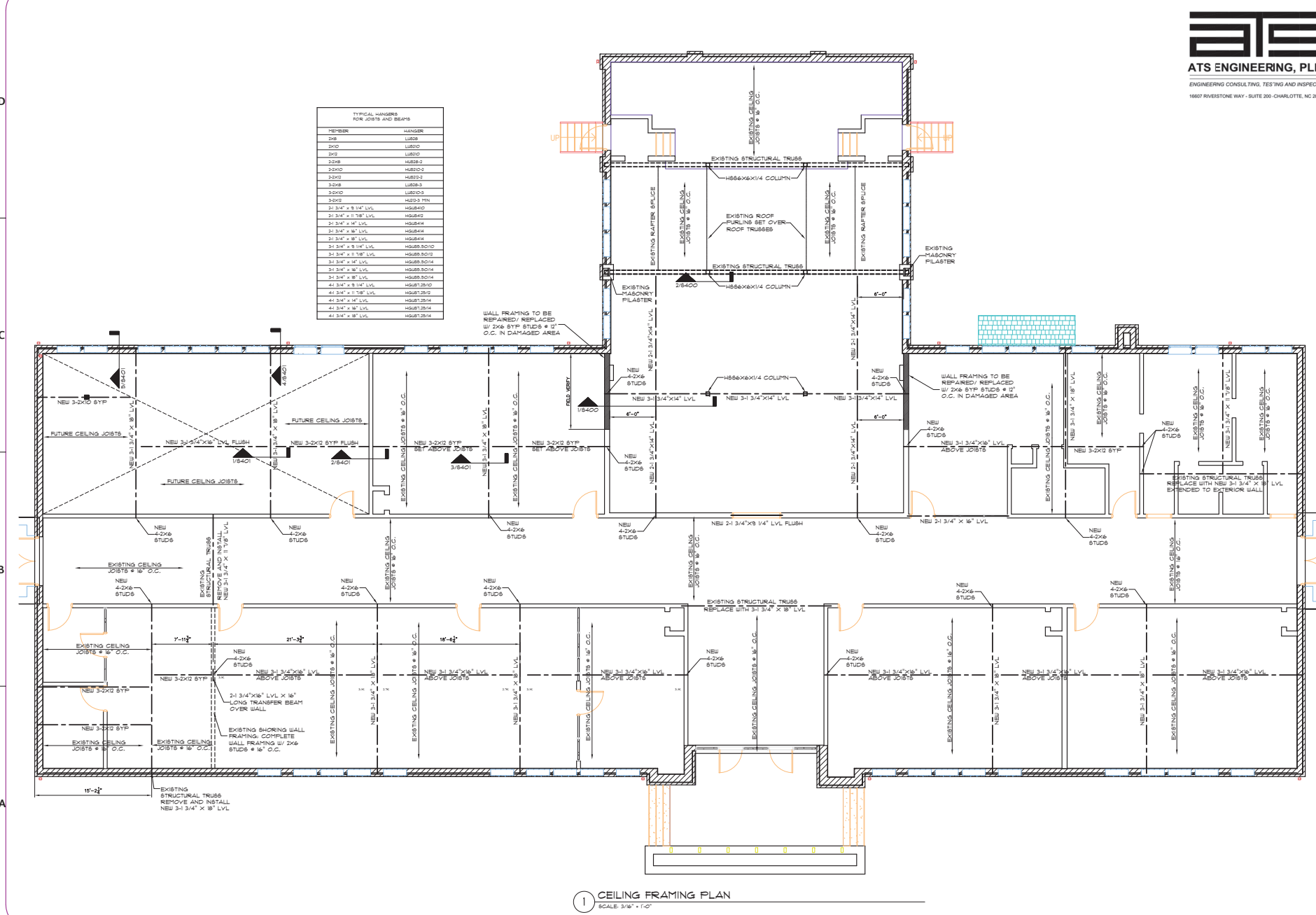
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CEILING FRAMING PLAN

Proj # 09.13.2024

**S200**

TYPICAL HANGERS FOR JOISTS AND BEAMS	
MEMBER	HANGER
2x6	LUB38
2x10	LUB20
2x12	LUB22
2x8	HUB2-2
2x10	HUB2-2
2x12	HUB2-2
2x6	LUB2-3
2x10	LUB2-3
2x12	HUB2-3
2 1/4" x 8 1/4" LVL	HUB4-0
2 1/4" x 11 1/8" LVL	HUB4-2
2 1/4" x 16" LVL	HUB4-4
2 1/4" x 18" LVL	HUB4-4
2 1/4" x 8" LVL	HUB4-4
2 1/4" x 11 1/4" LVL	HUB4-4
2 1/4" x 11 1/8" LVL	HUB4-4
2 1/4" x 16" LVL	HUB4-4
2 1/4" x 18" LVL	HUB4-4
2 1/4" x 8" LVL	HUB4-4
2 1/4" x 11 1/4" LVL	HUB4-4
2 1/4" x 11 1/8" LVL	HUB4-4
4 1/4" x 8" LVL	HUB4-4
4 1/4" x 11 1/8" LVL	HUB4-4
4 1/4" x 16" LVL	HUB4-4
4 1/4" x 18" LVL	HUB4-4
4 1/4" x 8" LVL	HUB4-4
4 1/4" x 11 1/4" LVL	HUB4-4
4 1/4" x 11 1/8" LVL	HUB4-4



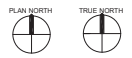
1 CEILING FRAMING PLAN  
SCALE: 3/16" = 1'-0"



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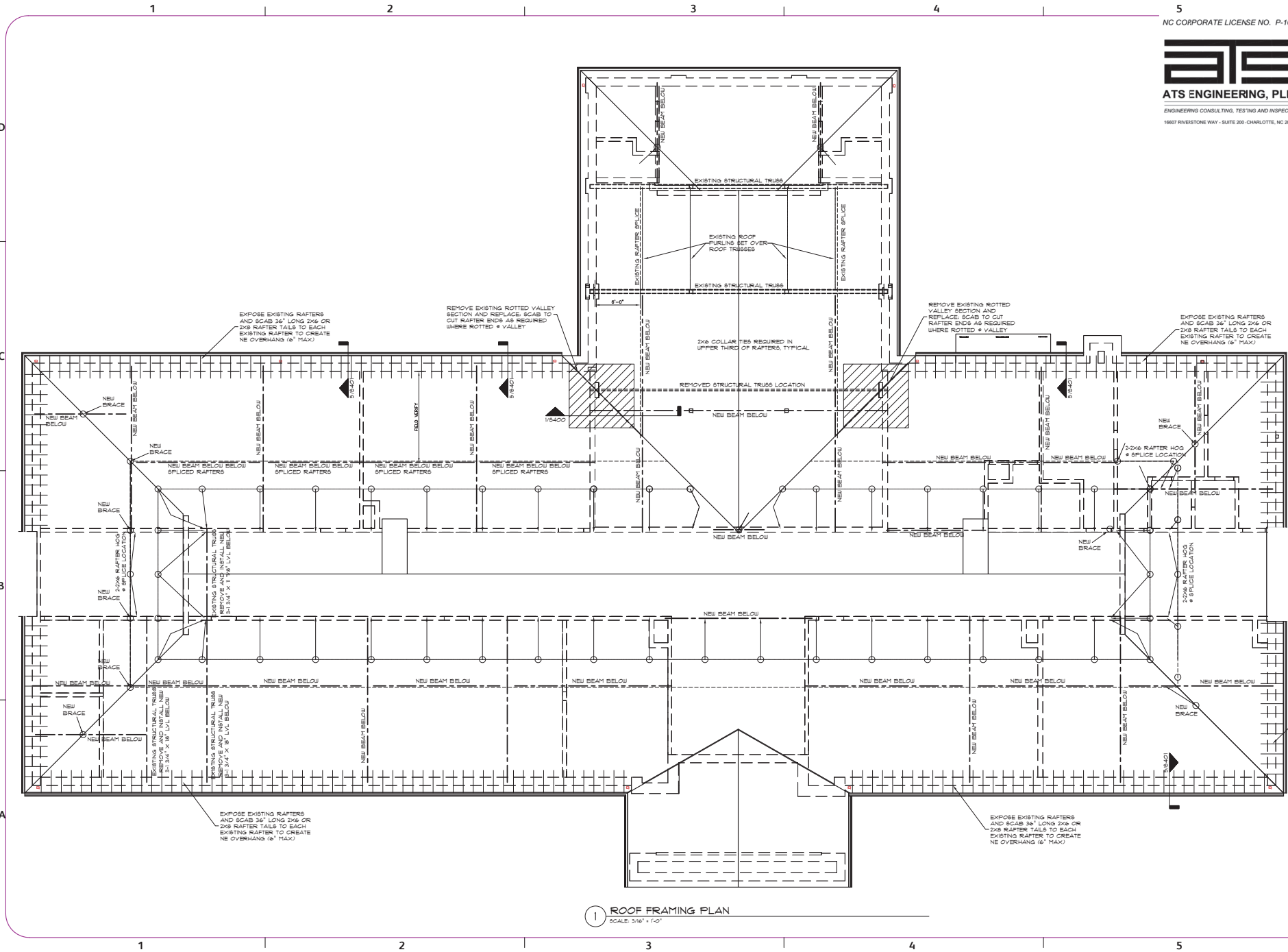


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ROOF FRAMING PLAN

Proj # 09.13.2024

**S300**



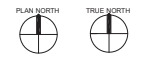
**1 ROOF FRAMING PLAN**  
 SCALE: 3/8" = 1'-0"



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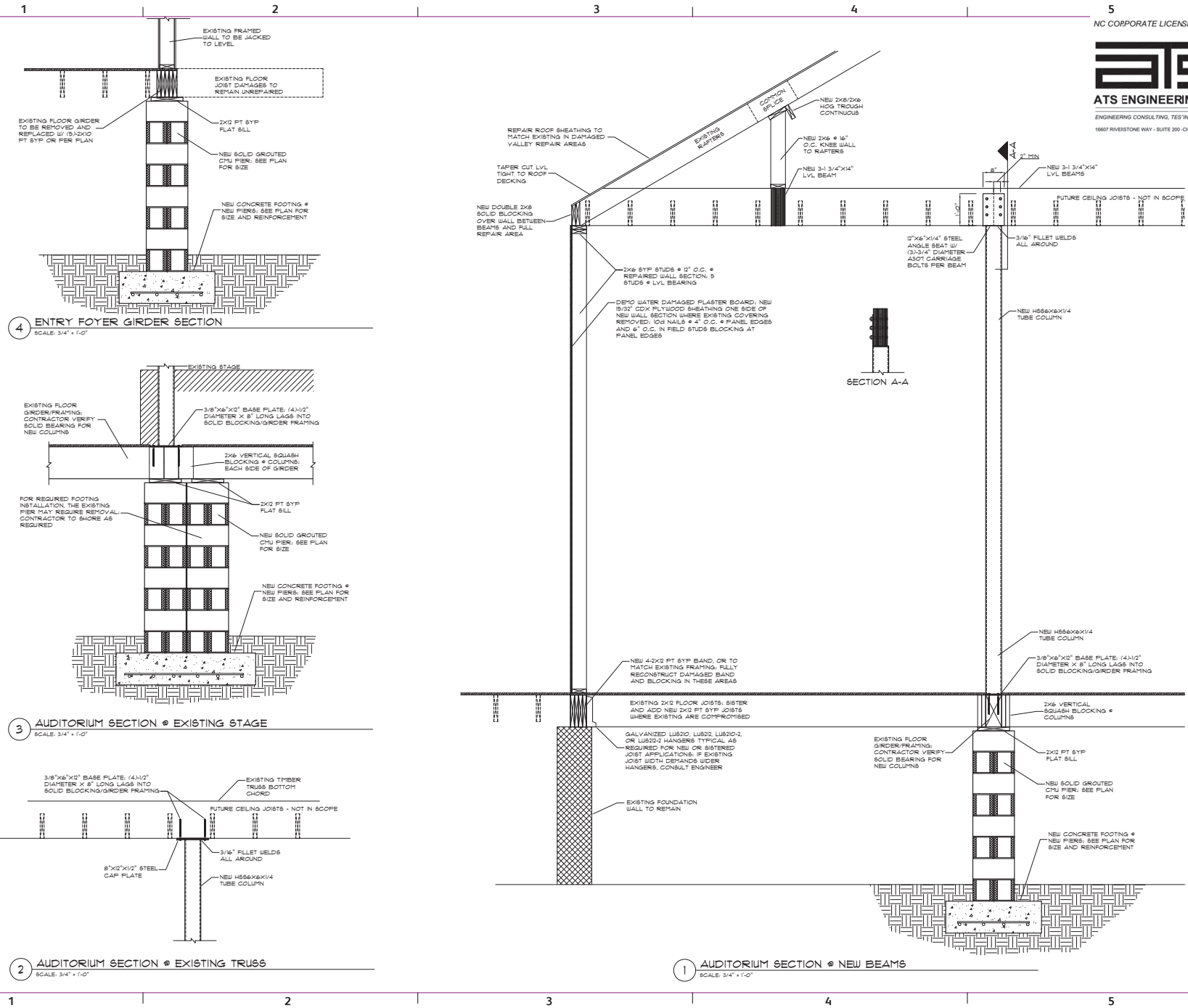


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STRUCTURAL DETAILS

Proj # 09.13.2024

**S400**



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B  
A

1 2 3 4 5

1 2 3 4 5

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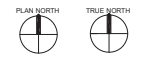
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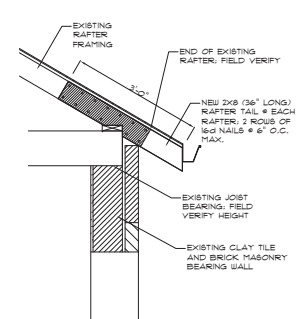


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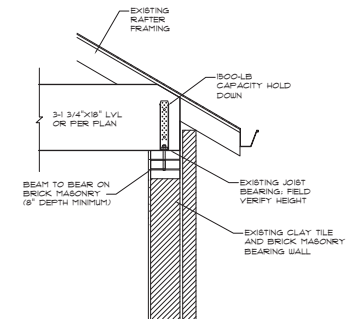
STRUCTURAL DETAILS

Proj # 09.13.2024

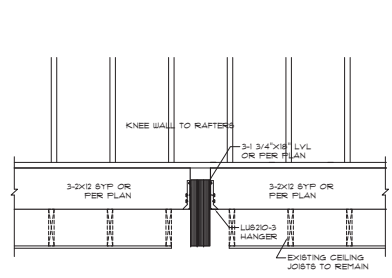
**S401**



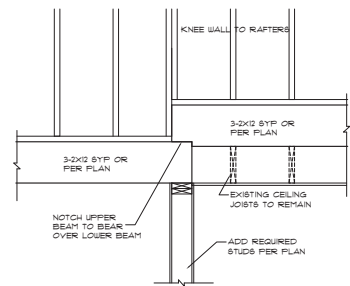
5 NEW ROOF OVERHANG  
 SCALE: 3/4" = 1'-0"



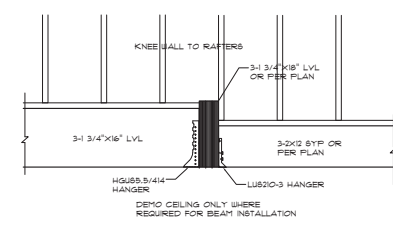
4 LVL BEAM EXTERIOR WALL BEARING  
 SCALE: 3/4" = 1'-0"



3 CLASSROOM CEILING SECTION - RAISED BEAMS  
 SCALE: 3/4" = 1'-0"



2 CLASSROOM CEILING SECTION - BEAM STEP  
 SCALE: 3/4" = 1'-0"



1 CLASSROOM CEILING SECTION - FLUSH BEAMS  
 SCALE: 3/4" = 1'-0"

1 2 3 4 5

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