

Staff Report and Comments

Grinnell/General Fire Extinguisher Company

1435 West Morehead St.

Charlotte, NC 28208

Application for COA HLC426

Exhibits presented to and considered by the Commission:

Project Description

1. Removal of the steel chimney.

Exhibit A – Context map.

Exhibit B – Project plans and photos.

Based upon the information presented in the application, staff offers the following suggested findings of fact:

The HLC has acknowledged the need to alter or add to a historic property to meet continuing or new uses while retaining the property's historic character.

1. The proposed project does not meet the HLC Standard 2. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
2. The proposed project meets the HLC Standard 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
3. The proposed project does not meet the HLC Standard 9. New additions, alterations, or related new construction shall not destroy historic materials that characterize the property.

Staff suggests that the Commission deny the application as presented.

THE HLC STANDARDS

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. Alterations, new additions, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Polaris 3G Map – Mecklenburg County, North Carolina

Exhibit A

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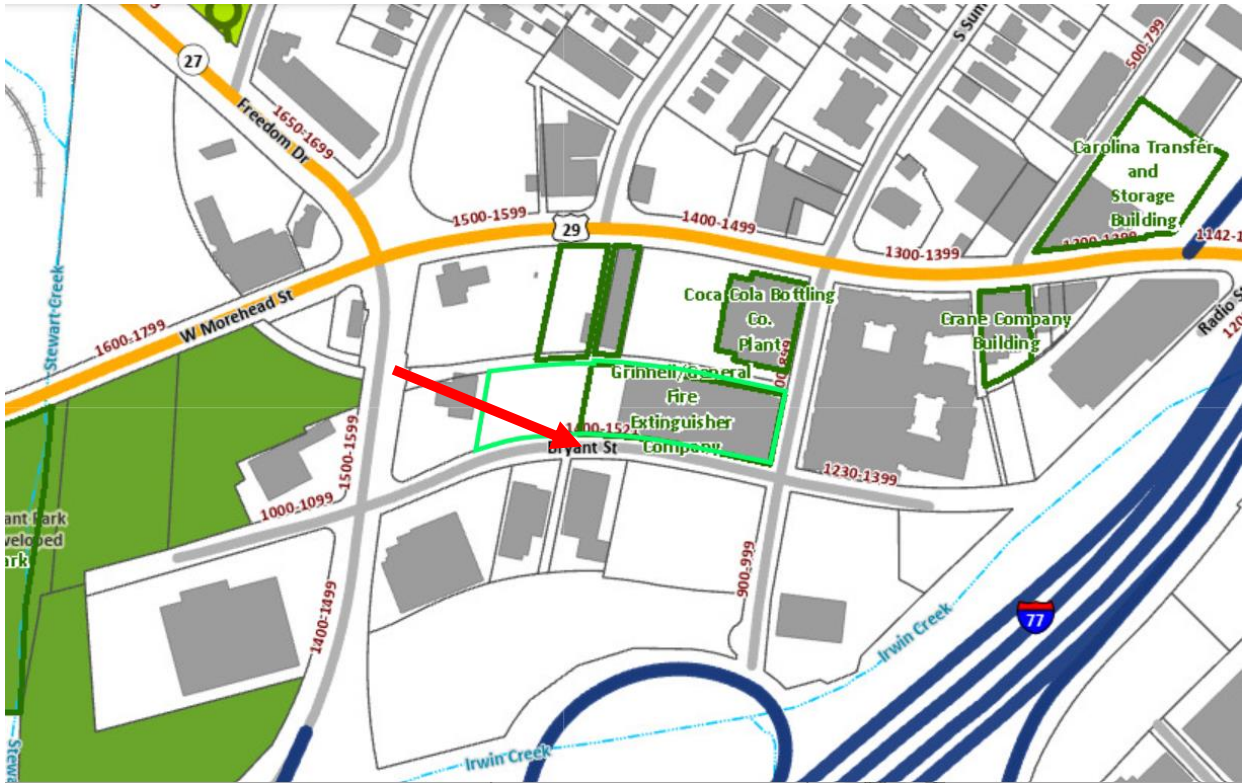
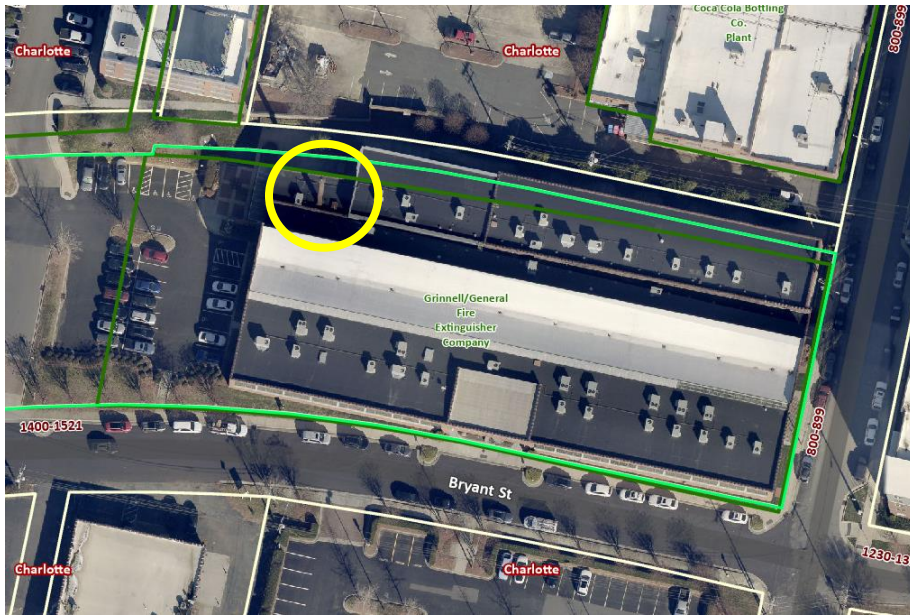


Exhibit B
Existing Conditions



July 30, 2024

Mary Cook
Stream Realty Partners
1930 Camden Road Suite 210
Charlotte, NC 28203

RE: 1435 Morehead Street – Rooftop Chiller Smokestack

Mary:

At your request I visited the building at 1435 W. Morehead Street in Charlotte, NC.

Attached are some photographs I took while on site to view the existing steel smoke stack on the Roof. The stack is stabilized by cables that are attached to bands wrapping the tower at various heights.

Unfortunately, the corrosion of the tower has advanced to a point to where we are of the opinion that the tower's stability is in question. Our recommendation would be to demolish the tower.

Please let us know if we can be of any further assistance.

Sincerely,

BENNETT & PLESS, INC.

Lawrence A McGinnis PE
Vice President





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