

**Staff Report and Comments**  
**Gautier-Gilchrist House**  
**320 East Park Avenue**  
**Charlotte, NC**  
**Application for COA HLC382**

**Exhibits presented to and considered by the Commission:**

**Exhibit A – Project description**

1. Interior renovation on the first and second floor
2. Left side and rear addition, and chimney removal

**Exhibit B – Map**

**Exhibit C - Project Plans**

**Based upon the information presented in the application, staff offers the following suggested findings of fact:**

1. The HLC has acknowledged the need to alter or add to a historic property to meet continuing or new uses while retaining the property's historic character.
2. The Gautier-Gilchrist House was reviewed by the Charlotte Historic District Commission(HDC) for a side addition and subsequently approved. After Historic Landmarks staff review and discussion with the applicant and HDC the plans have been revised.
3. The proposed project meet HLC Standards 2 and 5, as the project will not result in the loss of materials that characterize the historic building, and that its distinctive historic features will be preserved.
4. The proposed project meet HLC Standard 6. Deteriorated historic features shall be repaired rather than replaced.
5. The proposed rehabilitation of the building meets HLC Standard 9 in that the proposed additions do not destroy any significant original materials, and the additions are well differentiated from the original.
6. The proposed rehabilitation of the building meets HLC Standard 10 in that the additions could be removed in the future without significantly damaging the historic building materials.

**Staff suggests that the Commission approve the application as presented.**

## THE HLC STANDARDS

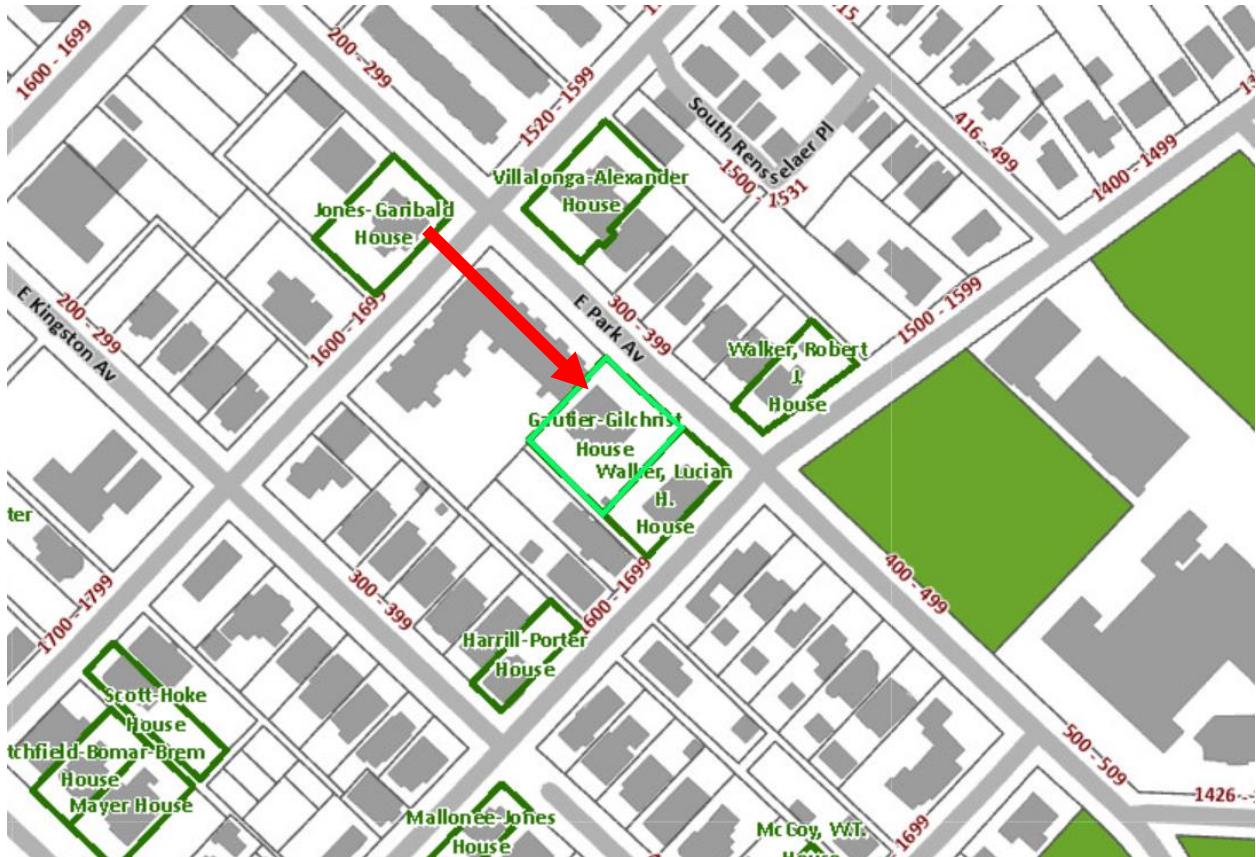
**Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.**

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. Alterations, new additions, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

# Polaris 3G Map – Mecklenburg County, North Carolina

## EXHIBIT B

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# 320 EAST PARK AVENUE

## CHARLOTTE HISTORIC DISTRICT COMMISSION PROJECT REVIEW



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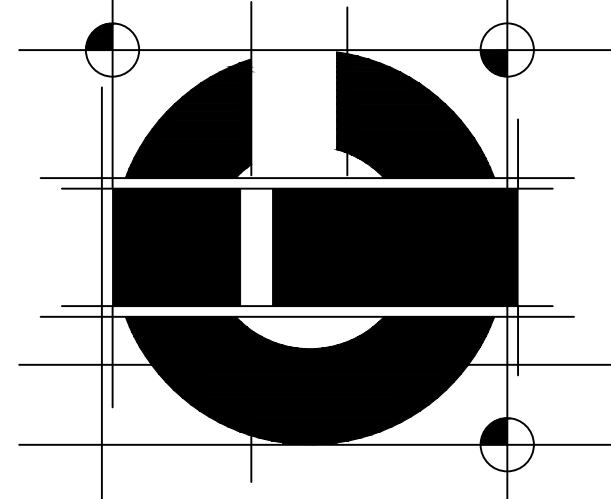
- HDC-0 TITLE PAGE & TABLE OF CONTENTS
- HDC-1 EXISTING CONDITIONS
- HDC-2 CONTEXT & ADJACENT STRUCTURES
- HDC-3 SITE PLAN
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SMITH RESIDENCE  
320 E. PARK AVENUE  
CHARLOTTE, NC 28203

223

CHARLOTTE IN-VIRONMENTS INC.

4730-D PARK ROAD  
CHARLOTTE, NC 28209  
(704)527-7700



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PLANS DATE  
03-05-2024

CIV SHEET DATE

SCALE 1/4" = 1'-0"

TITLE PAGE & TABLE OF CONTENTS

All dimensions to be verified by general contractor and sub-contractors prior to construction, fabrication and installation.

SHEET

HDC-0

PROJECT 223

# EXISTING CONDITIONS - 320 EAST PARK AVE



FRONT



LEFT



REAR



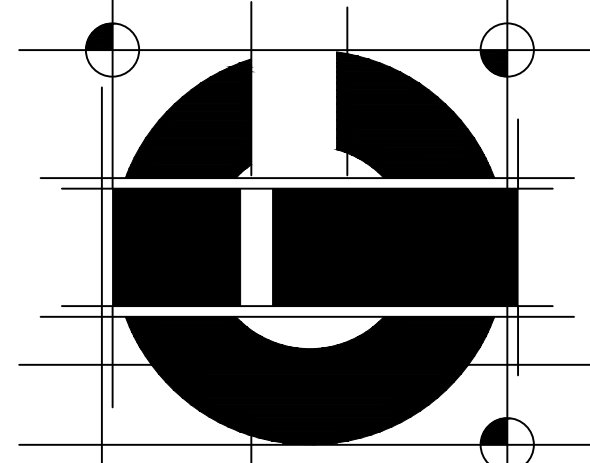
RIGHT

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SCALE  
1/4" = 1'-0"

EXISTING CONDITIONS

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SHEET

HDC-1

PROJECT 223



328 EAST PARK AVE



320 EAST PARK AVE (SUBJECT PROPERTY)



300 EAST PARK AVE



301 EAST PARK AVE



309 EAST PARK AVE



329 EAST PARK AVE



313 EAST PARK AVE



317 EAST PARK AVE



321 EAST PARK AVE

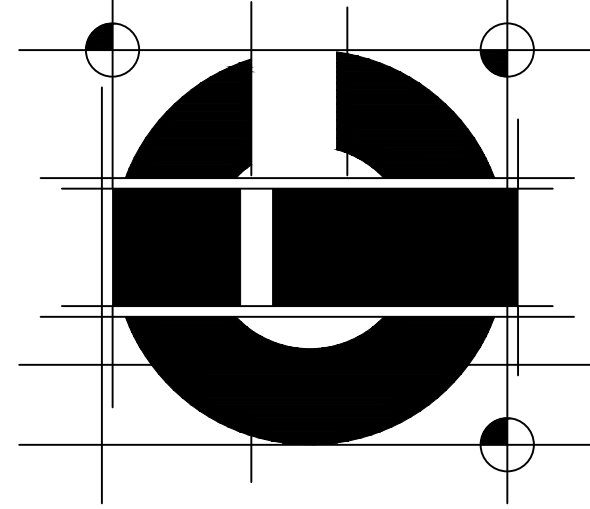


325 EAST PARK AVE

CONTEXT  
& ADJACENT  
STRUCTURES

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CONTEXT & ADJACENT STRUCTURES

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SHEET HDC-2  
PROJECT 223

MECKLENBURG COUNTY ZONING INFORMATION  
 PARCEL ID# 12307611

NI-C(HDO) - SETBACKS  
 FRONT - 17 FEET  
 SIDES - 5 FEET  
 REAR - 30 FEET

EXISTING 2 STORY FRAME HOUSE

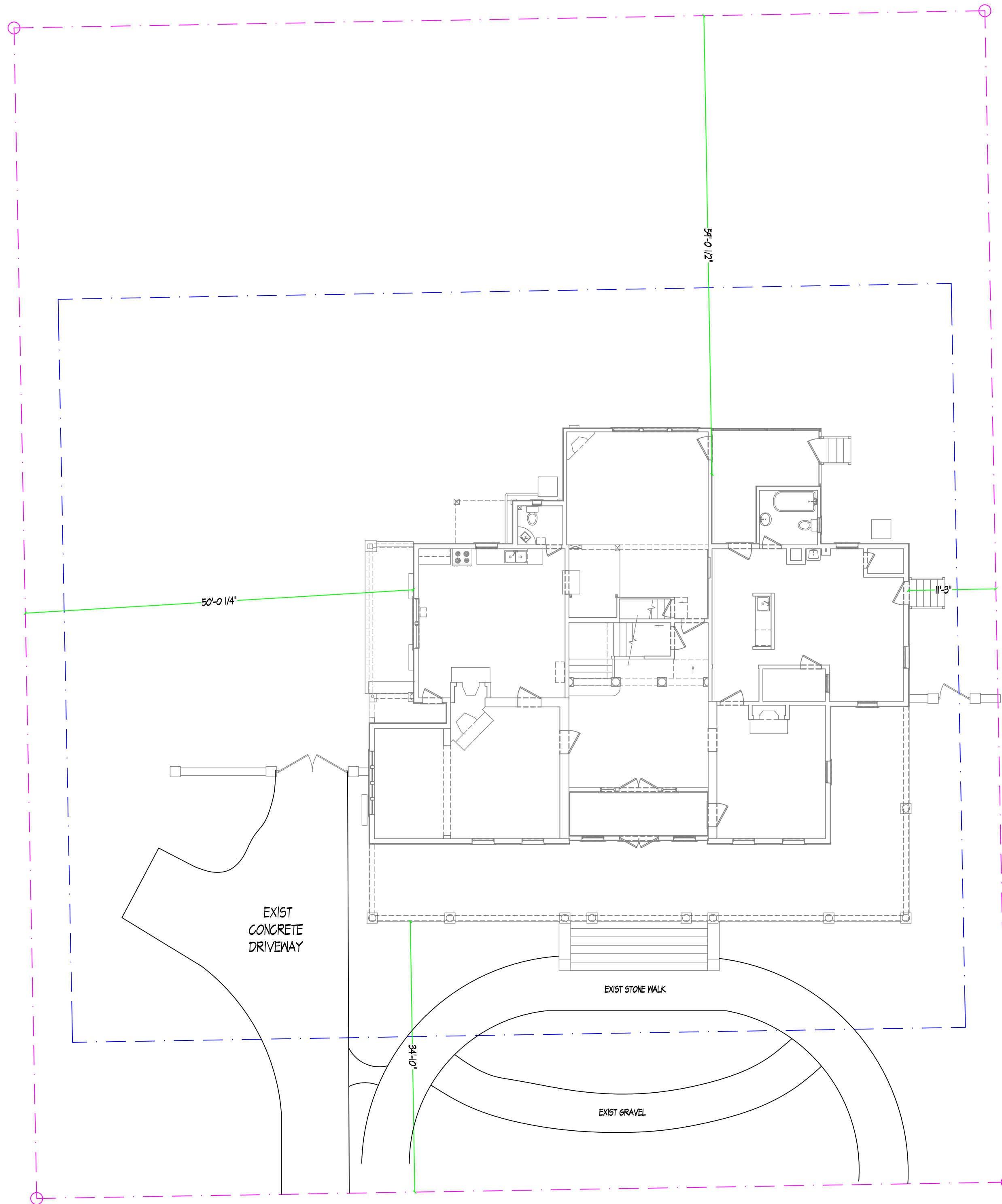
SQUARE FOOTAGE  
 EXISTING MAIN FLOOR - 2741 SF HEATED  
 EXISTING 2ND FLOOR - 2394 SF HEATED  
 EXISTING TOTAL HEATED - 5135 SF

EXISTING OPEN PORCHES - 1184 SF (144 TO BE REMOVED)  
 EXISTING SCREEN PORCH - 147 SF (TO BE REMOVED)

ADDITIONAL SQUARE FOOTAGE INFORMATION:  
 EXISTING MAIN FLOOR - 2741 SF HEATED (polaris)  
 EXISTING OPEN PORCHES - 1184 SF (144 TO BE REMOVED) (polaris)  
 EXISTING SCREEN PORCH - 147 SF (TO BE REMOVED) (polaris)  
 EXISTING DRIVEWAY - 708 SF (geoportal impervious)  
 EXISTING PATIO - 390 SF (TO BE REMOVED) (geoportal impervious)

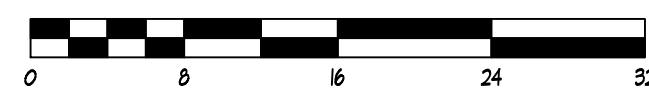
NEW IF ADDITIONS - 231 SF HEATED (Civ Plans)  
 NEW COVERED PORCH - 463 SF (Civ Plans)

TOTAL IMPERVIOUS FOOTPRINT 5162 SF  
 LOT SIZE 17555 SF

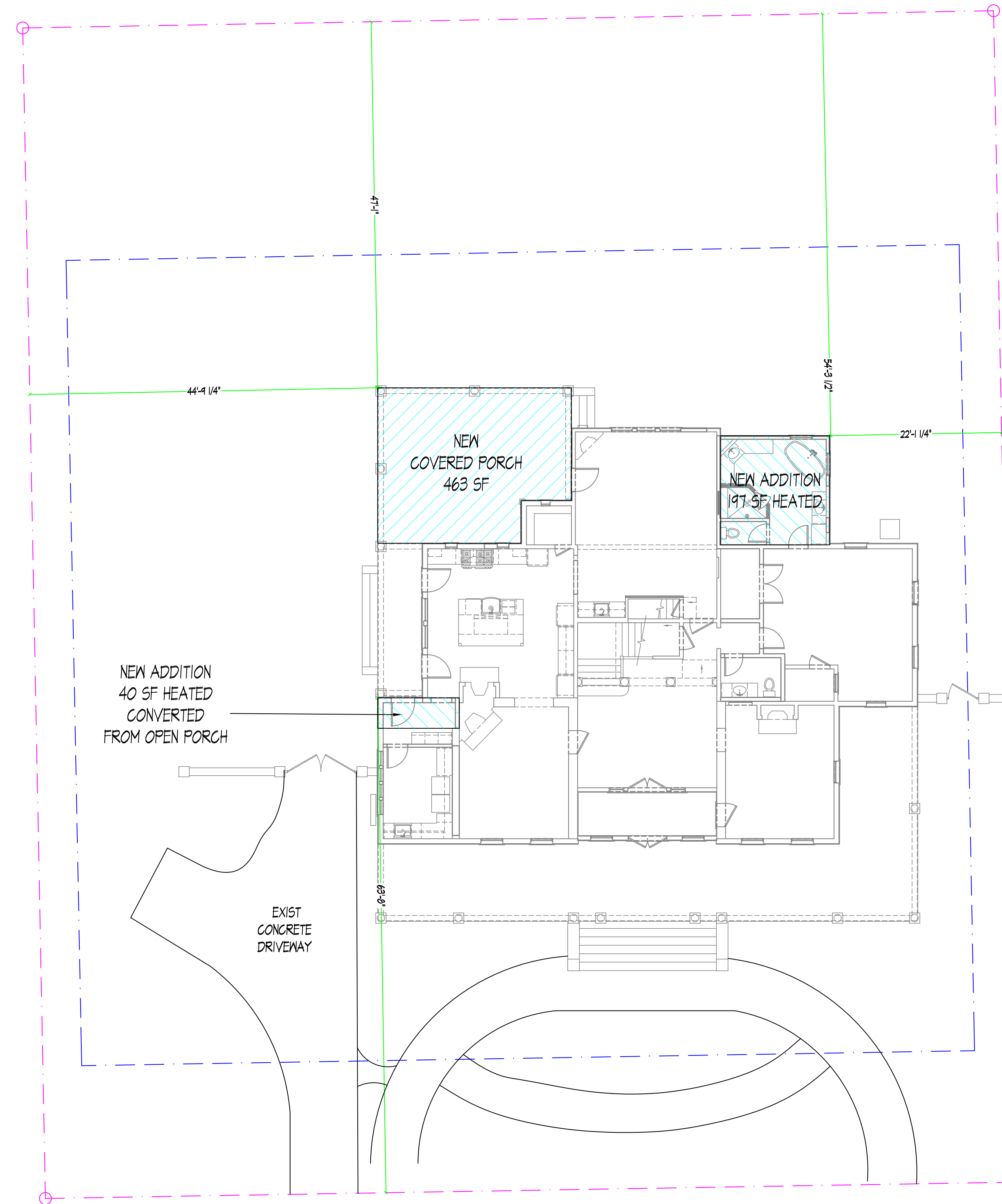


EAST PARK AVENUE

SCALE: 1" = 10'-0"

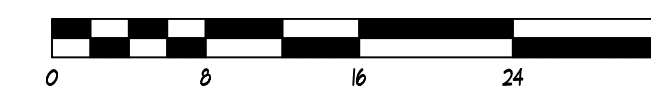


EXISTING SITE PLAN



EAST PARK AVENUE

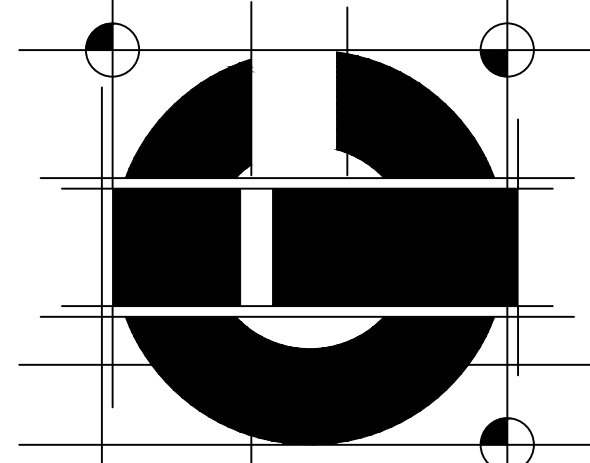
SCALE: 1" = 10'-0"



PROPOSED SITE PLAN

SMITH RESIDENCE  
 320 E. PARK AVENUE  
 CHARLOTTE, NC 28203

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 CHARLOTTE, NC 28209  
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SCALE 1" = 10'-0"

SITE PLAN

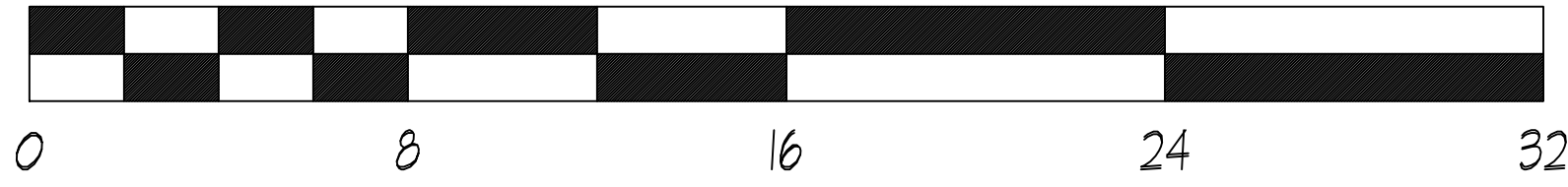
All dimensions to be verified by general contractor and sub-contractors prior to construction, fabrication and installation.

SHEET

HDC-3  
 PROJECT 223

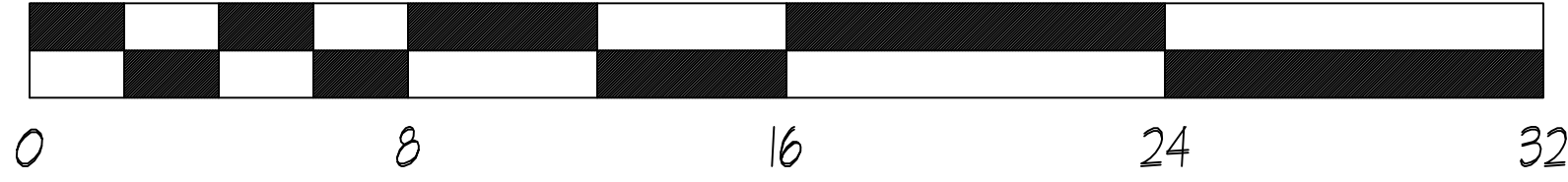
SMITH RESIDENCE  
EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"



SMITH RESIDENCE  
PROPOSED FRONT ELEVATION

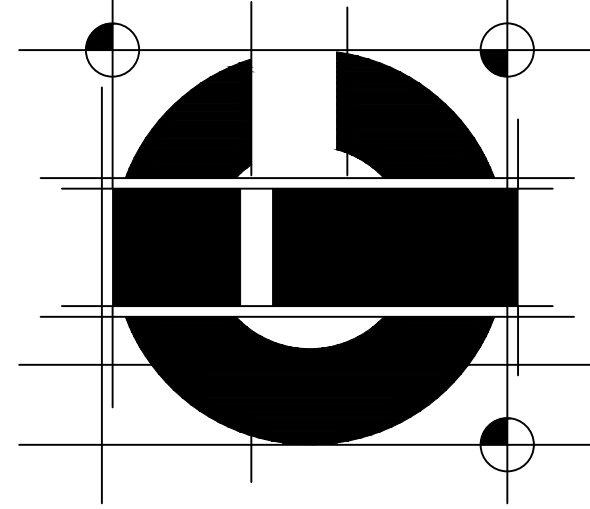
SCALE: 1/4" = 1'-0"



SMITH RESIDENCE  
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CIV SHEET DATE

SCALE 1/4" = 1'-0"

FRONT ELEVATIONS  
EXISTING & PROPOSED

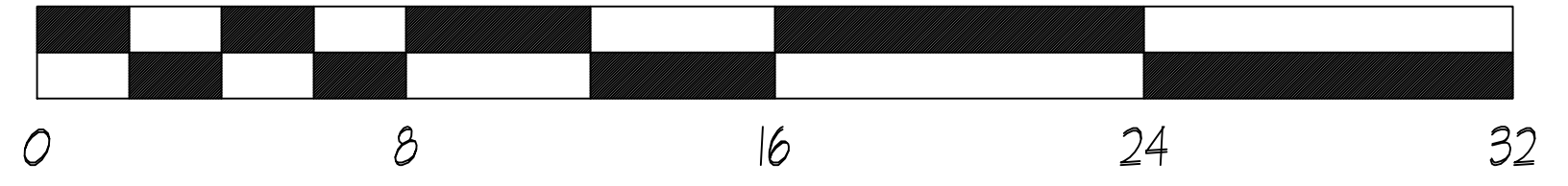
All dimensions to be verified by general contractor and sub-contractors prior to construction, fabrication and installation.

SHEET  
HDC-4  
PROJECT 223



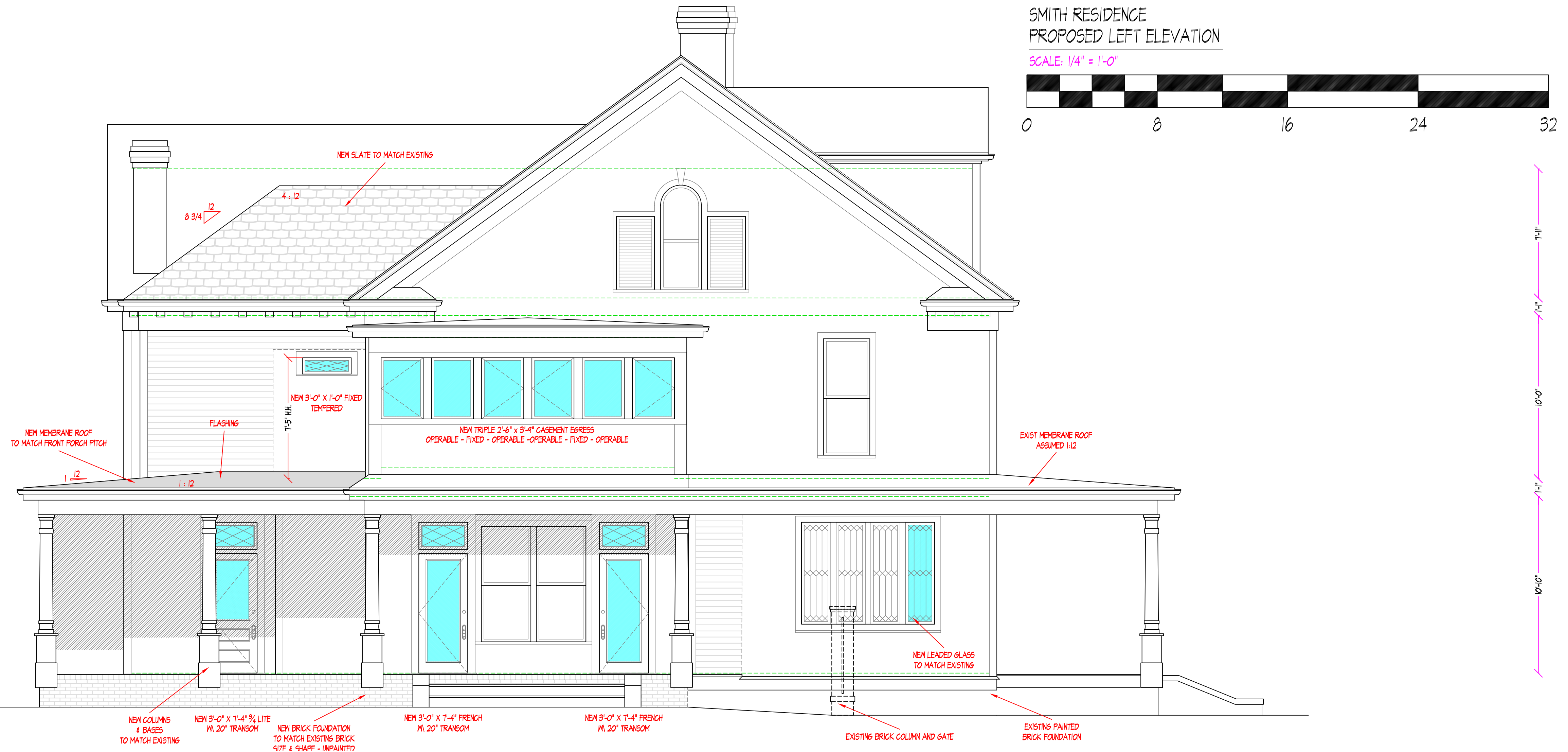
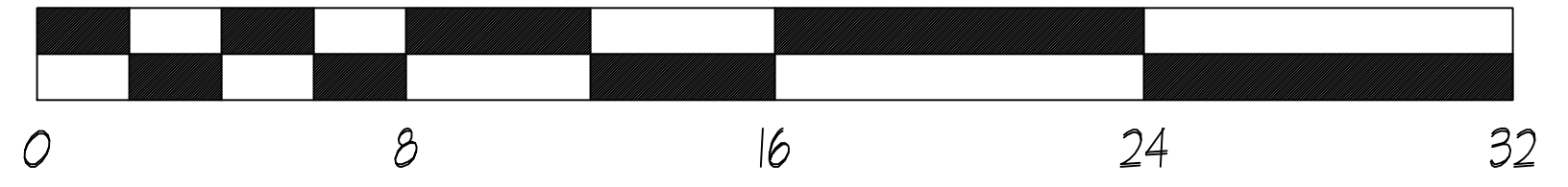
SMITH RESIDENCE  
EXISTING LEFT ELEVATION

SCALE: 1/4" = 1'-0"



SMITH RESIDENCE  
PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"



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CIV SHEET DATE

SCALE 1/4" = 1'-0"

LEFT ELEVATIONS  
EXIST & PROPOSED

All dimensions to be verified by general contractor and sub-contractors prior to construction, fabrication and installation.

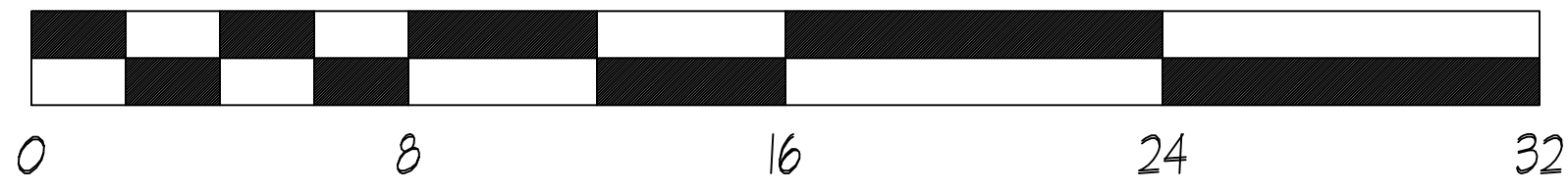
SHEET

HDC-5

PROJECT 223

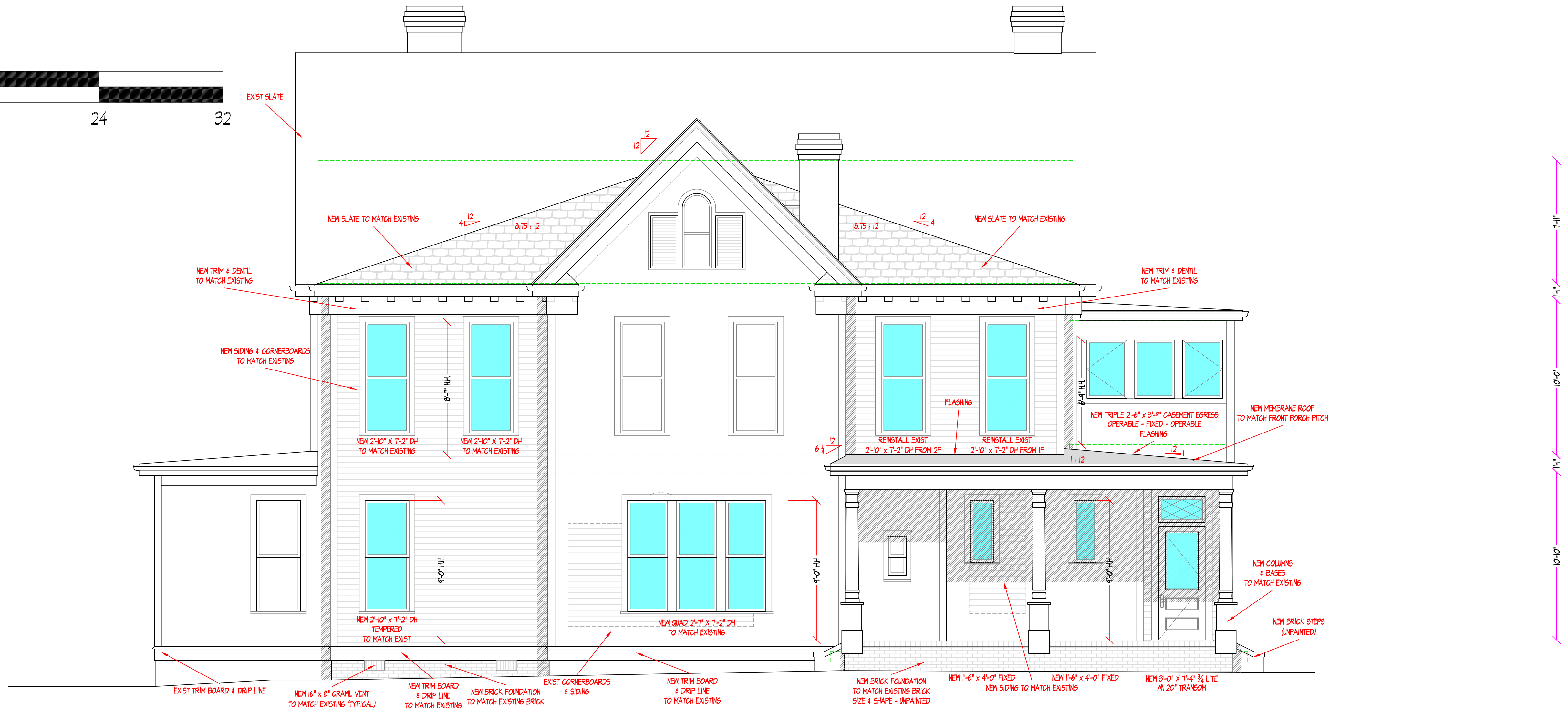
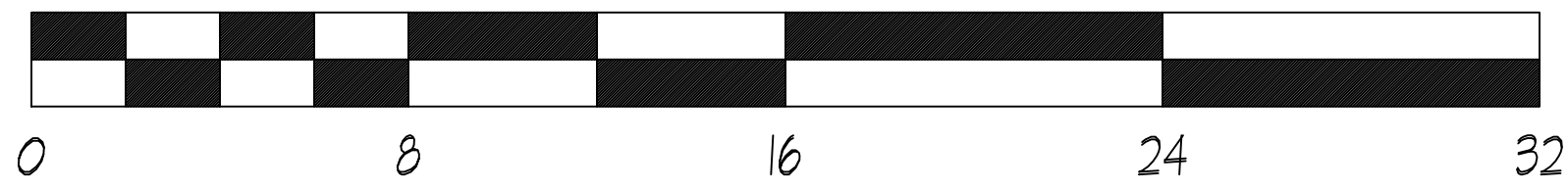
SMITH RESIDENCE  
EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"



SMITH RESIDENCE  
PROPOSED REAR ELEVATION

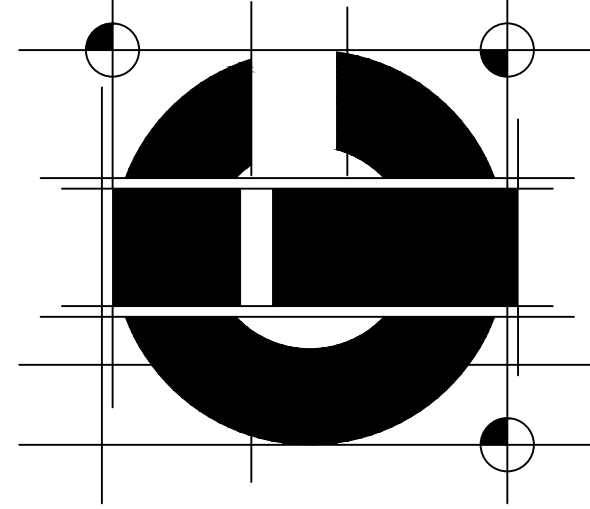
SCALE: 1/4" = 1'-0"



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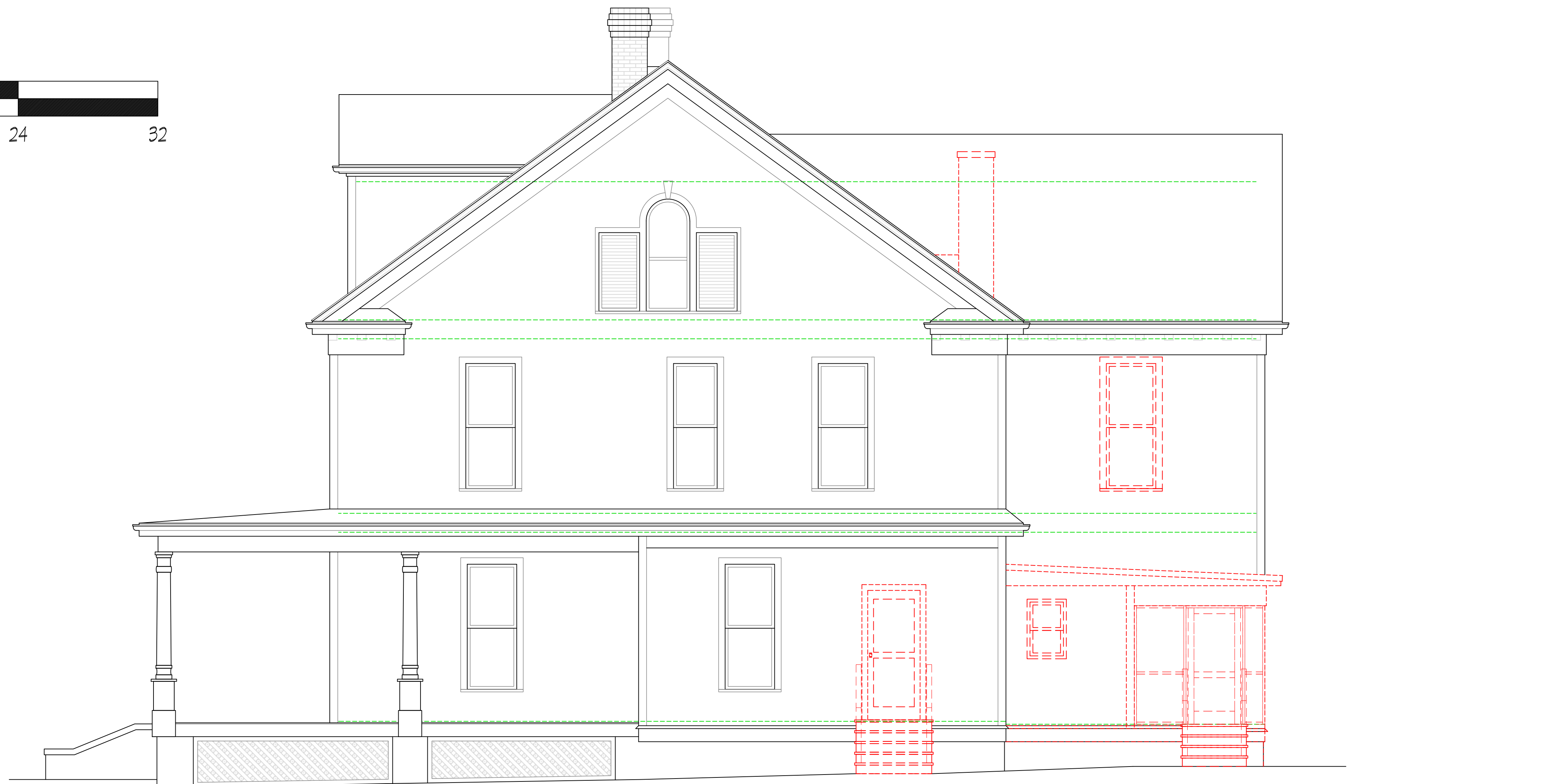
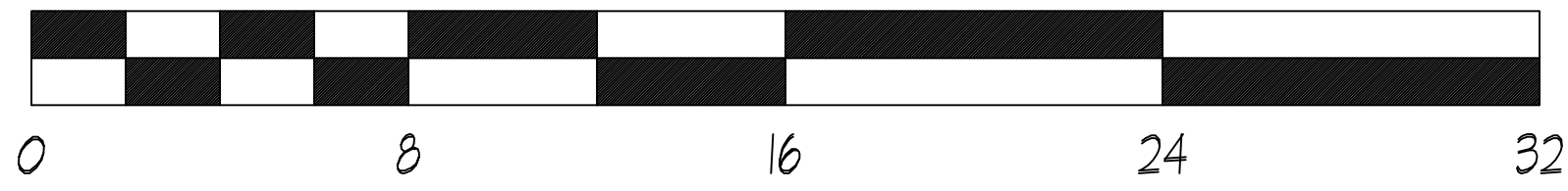
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PLANS DATE 03-05-2024  
CIV SHEET DATE  
SCALE 1/4" = 1'-0"

REAR ELEVATIONS  
EXIST & PROPOSED  
All dimensions to be verified by general contractor and sub-contractors prior to construction, fabrication and installation.

SHEET  
HDC-6  
PROJECT 223

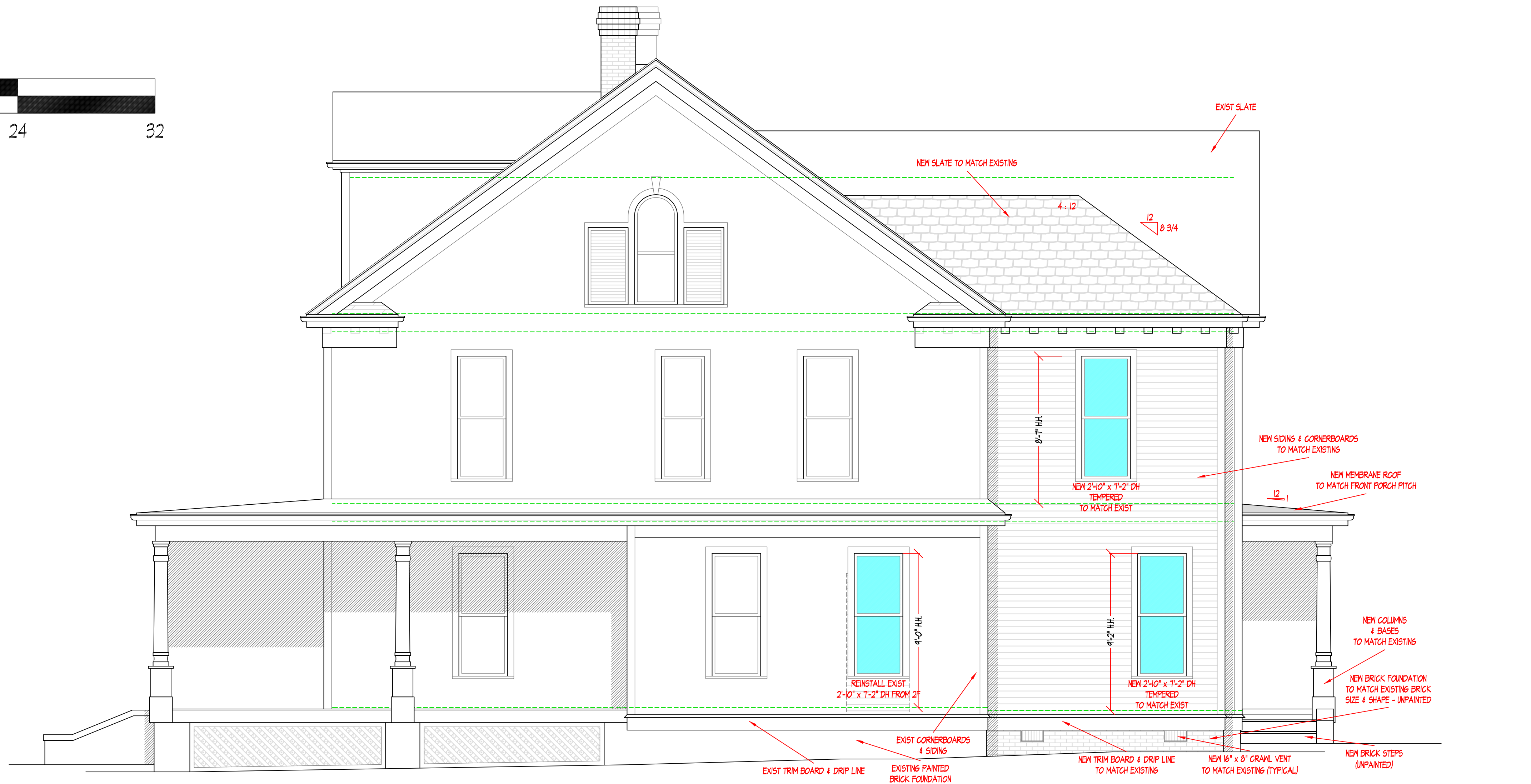
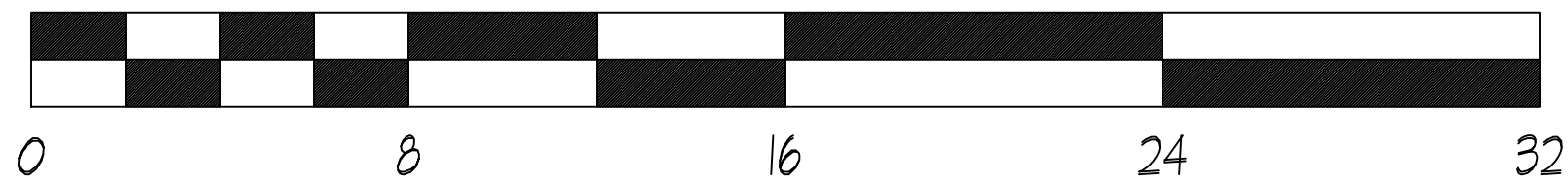
SMITH RESIDENCE  
EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



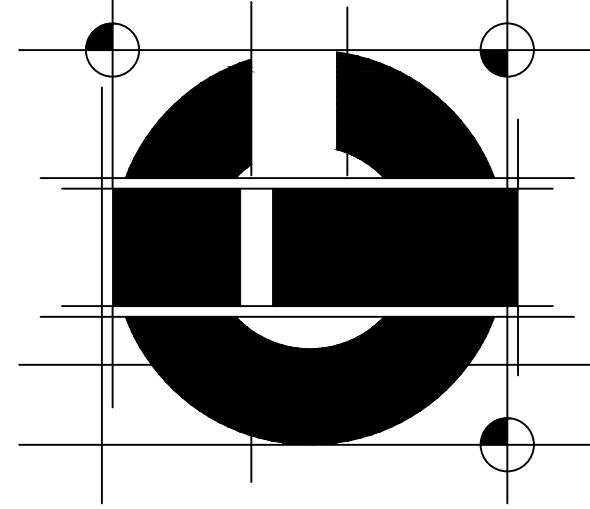
SMITH RESIDENCE  
PROPOSED RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

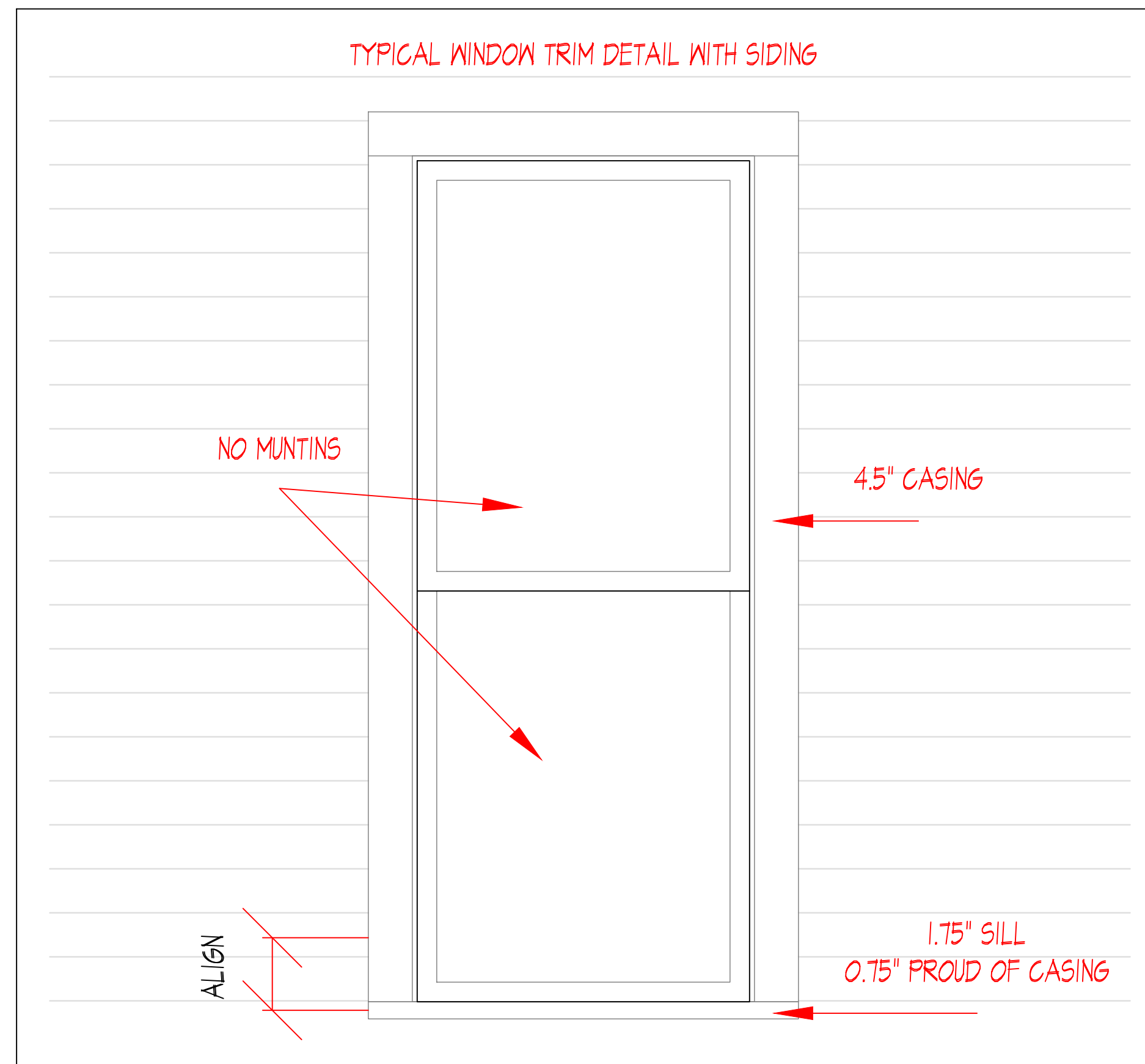
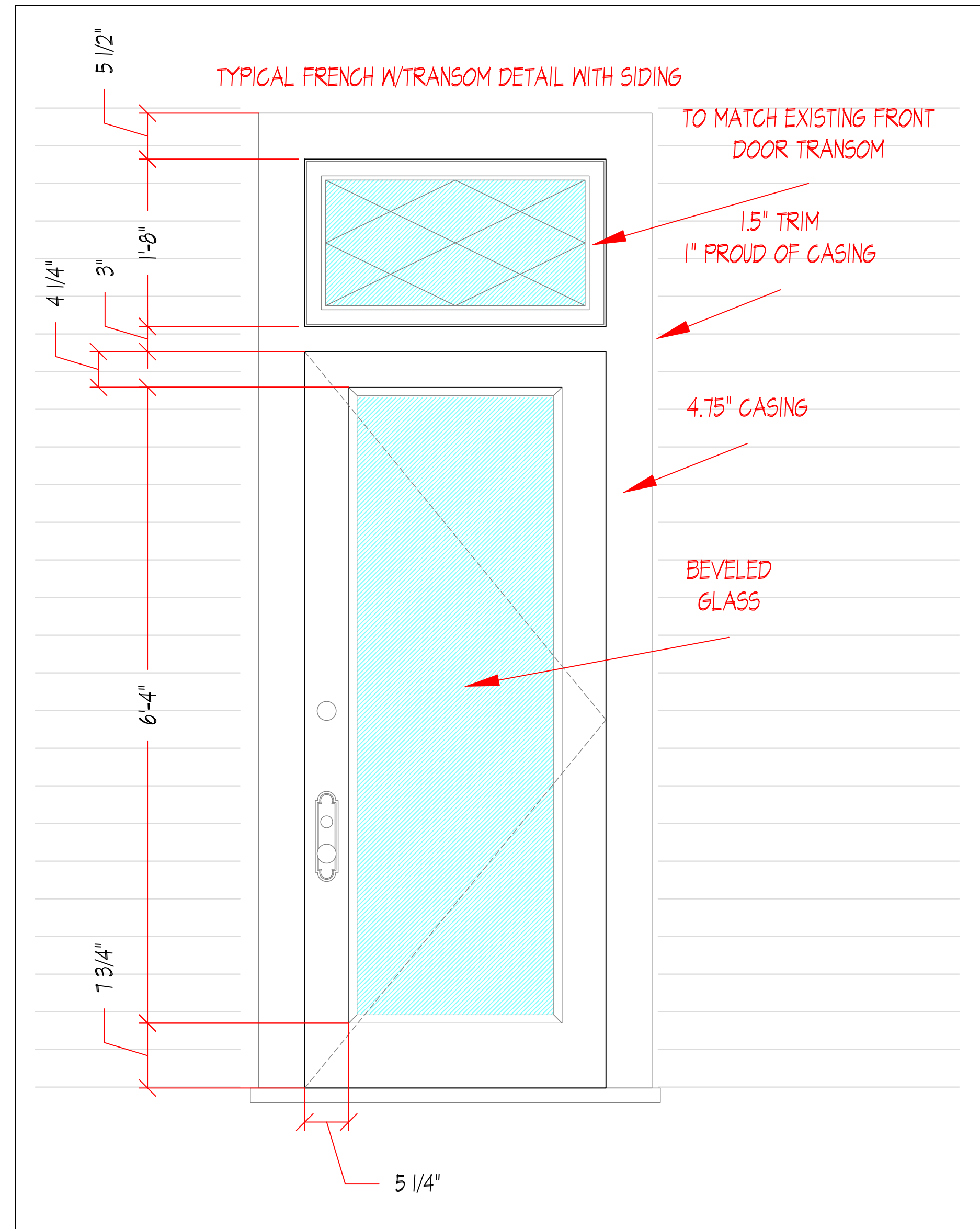
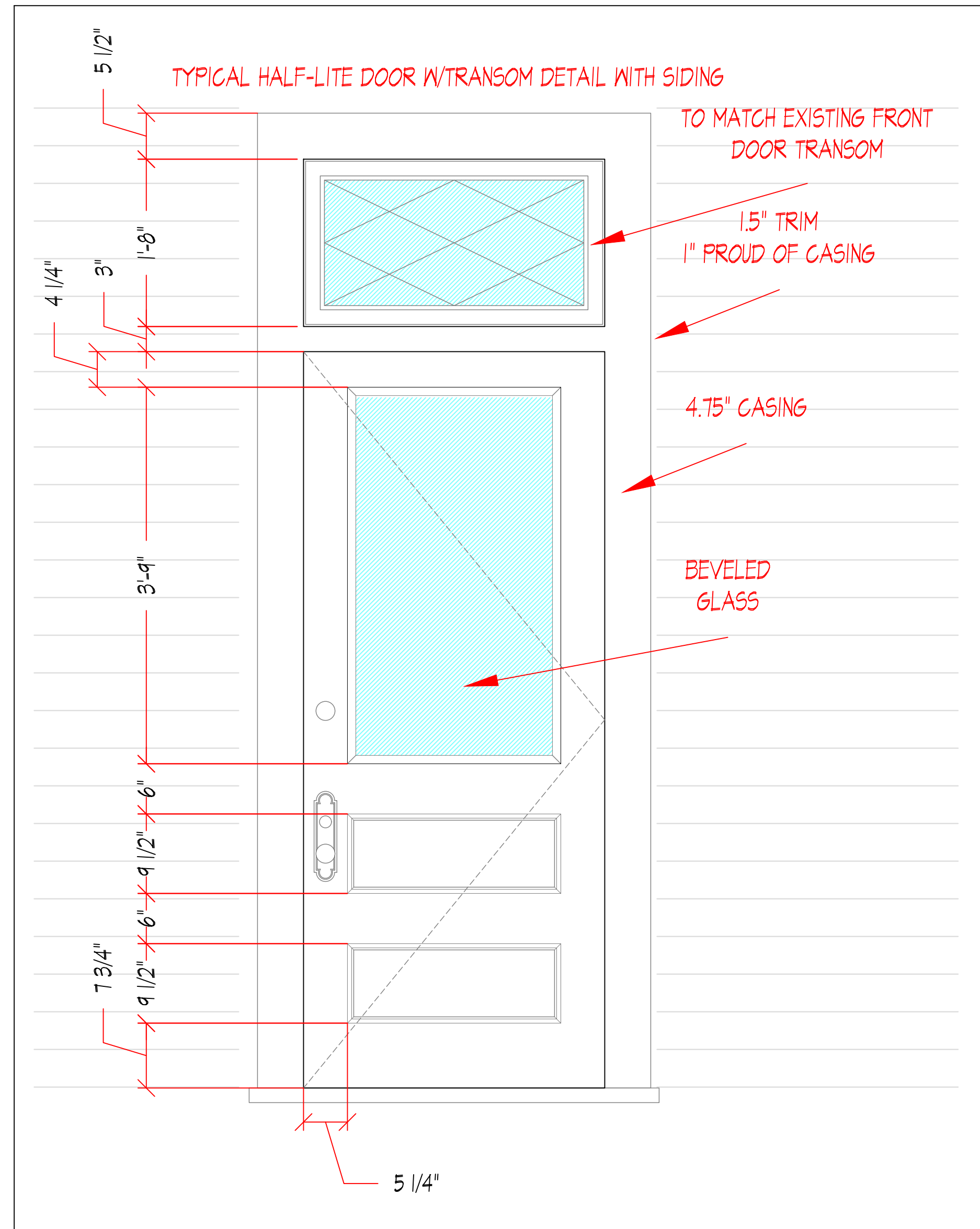


SMITH RESIDENCE  
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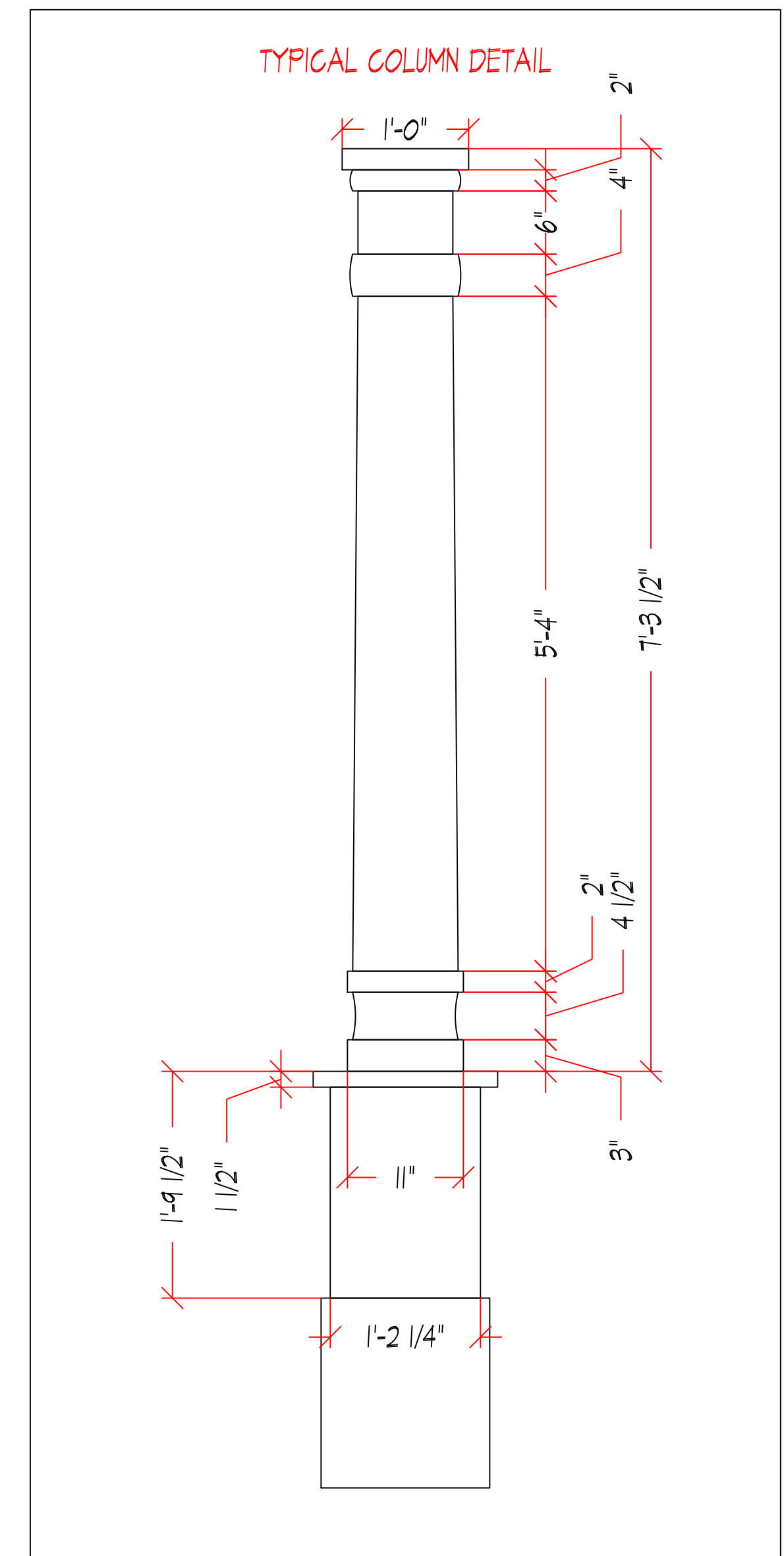


DRAFTED BY MAB	PLANS DATE 03-05-2024	CIV SHEET DATE	SCALE 1/4" = 1'-0"
RIGHT ELEVATIONS EXIST & PROPOSED		All dimensions to be verified by general contractor and sub-contractors prior to construction, fabrication and installation.	
SHEET HDC-7		PROJECT 223	



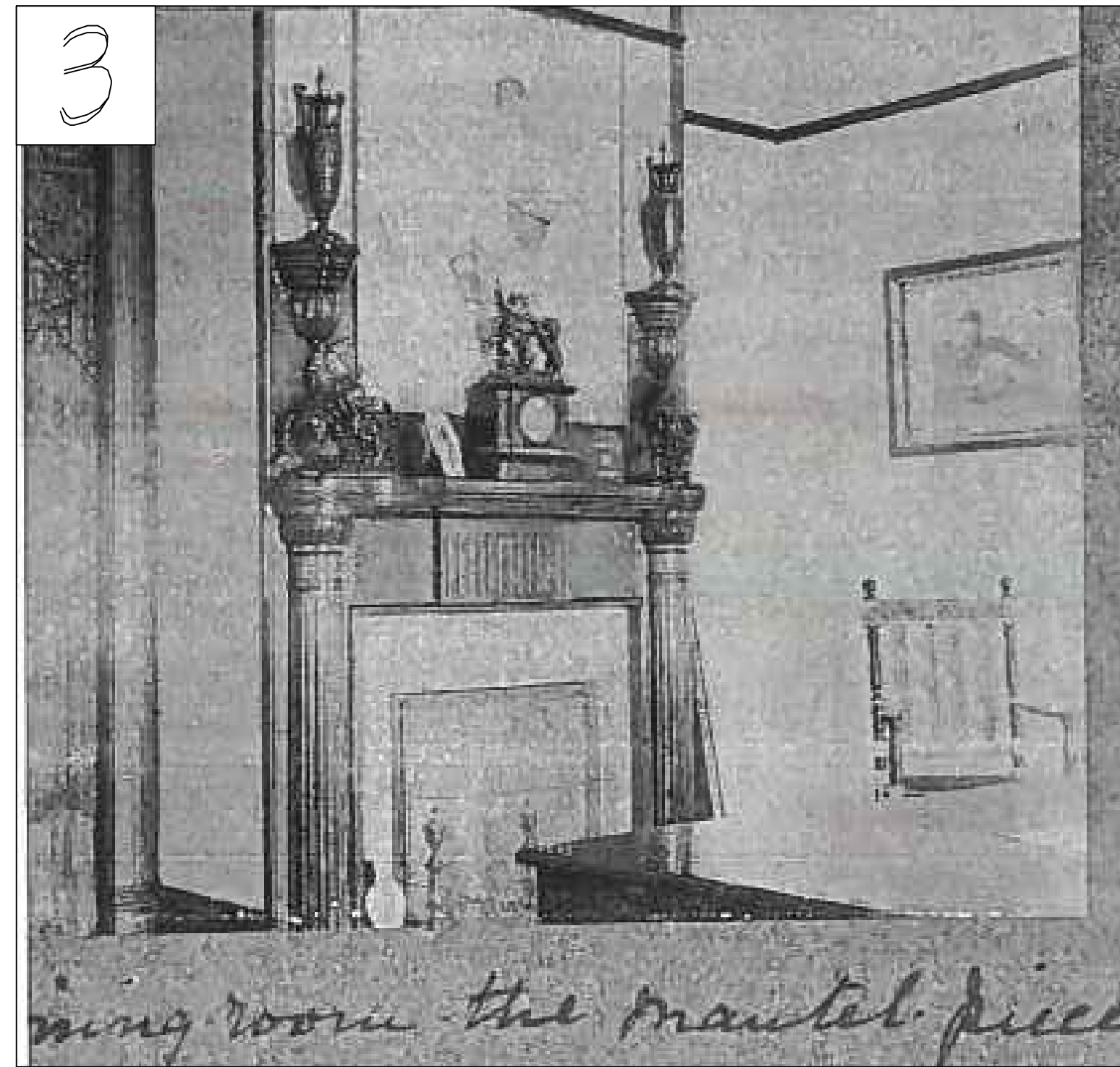
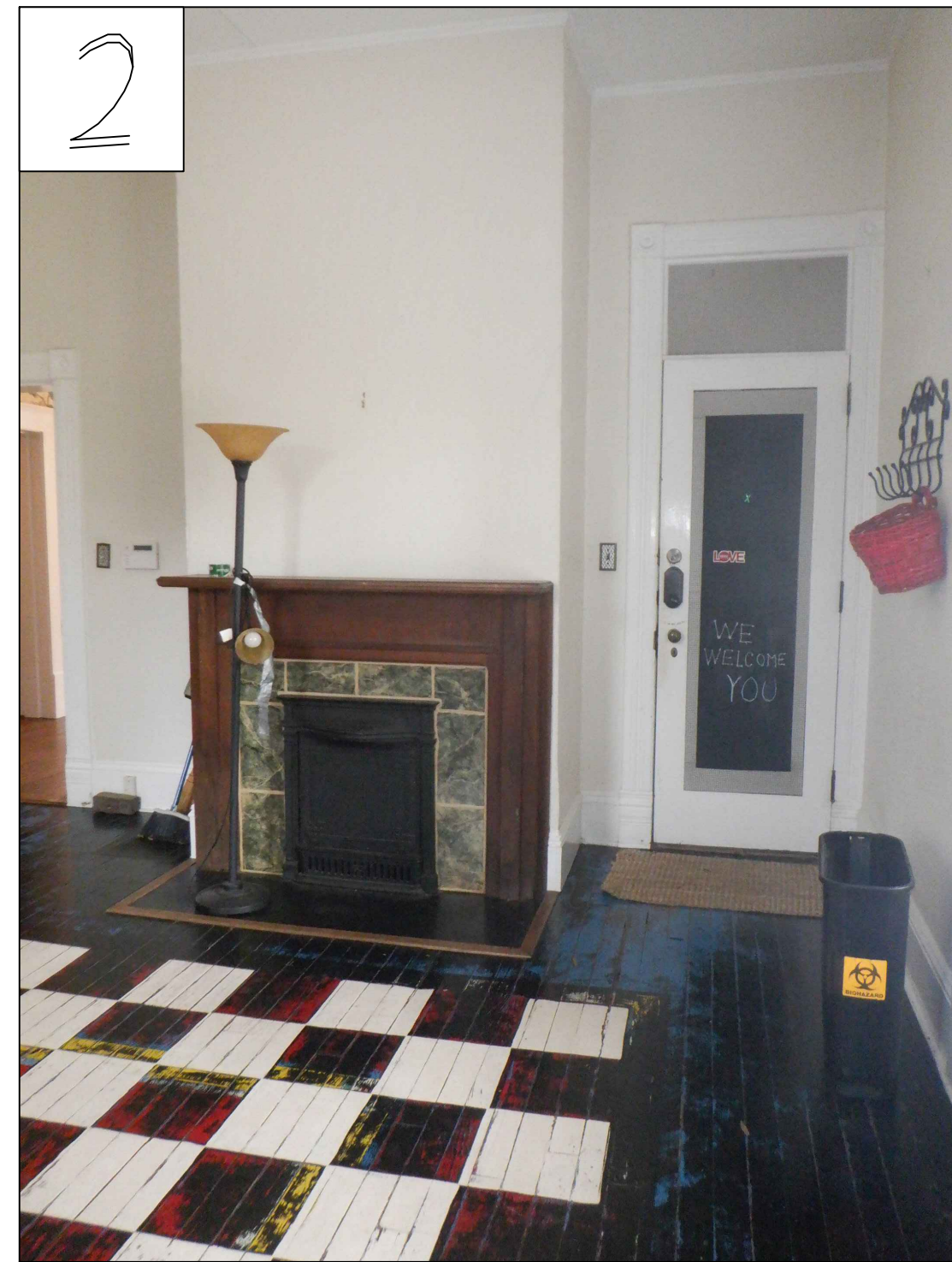
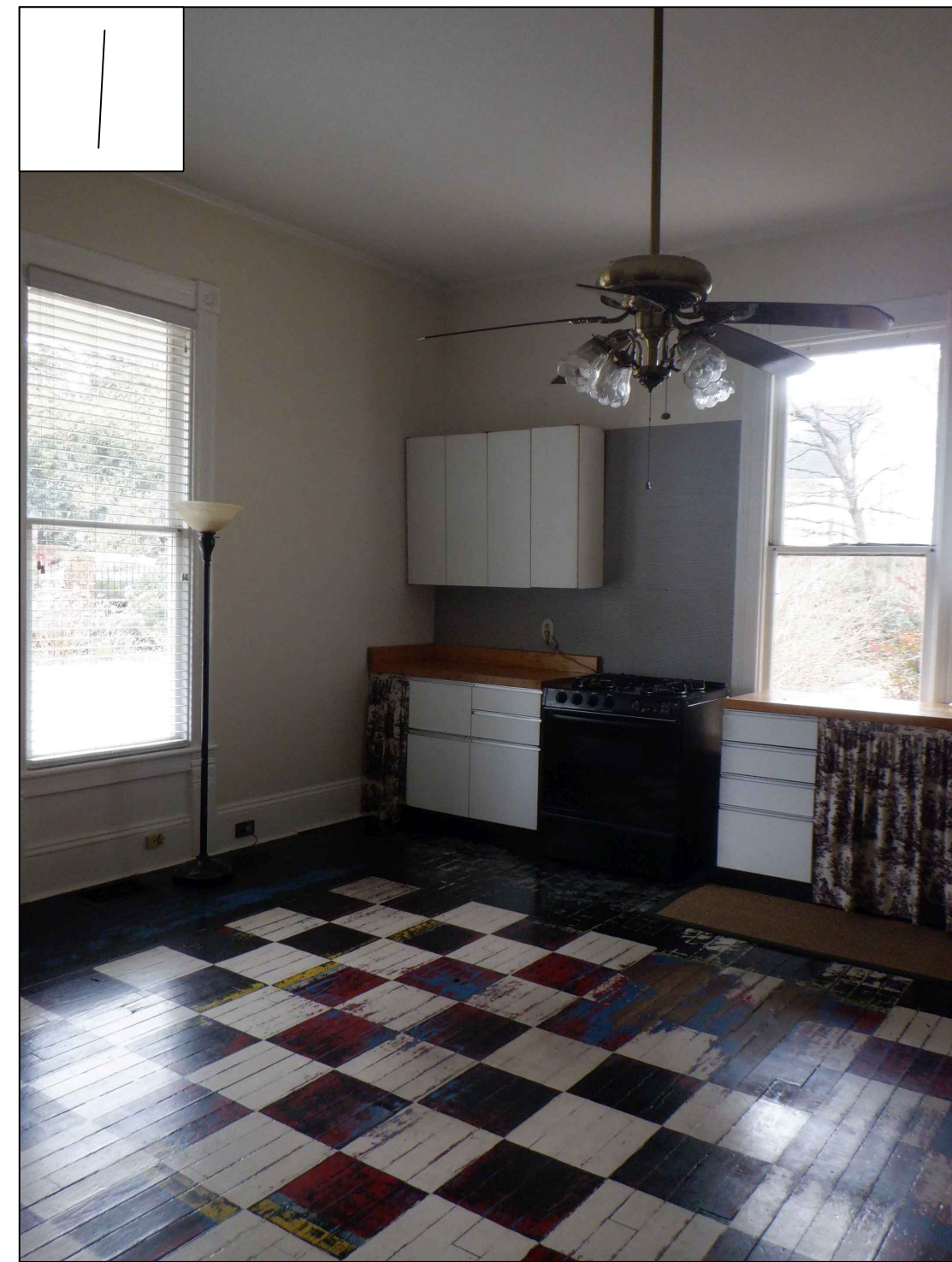
ARCHITECTURAL DETAILS  
320 EAST PARK AVE

FOR ADDITIONAL DETAILS  
REFER TO SIERRA PACIFIC  
ALL-WOOD SPEC SHEETS ON PAGE HDC-10



SMITH RESIDENCE 320 E. PARK AVENUE CHARLOTTE, NC 28203		223	
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DRAFTED BY MAB	PLANS DATE 03-05-2024	CIV SHEET DATE	SCALE 1" = 1'-0"
WINDOW & DOOR DETAILS I		All dimensions to be verified by general contractor and sub-contractors prior to construction, fabrication and installation.	
SHEET HDC-9		PROJECT 223	

# Current Kitchen & Dining Room:



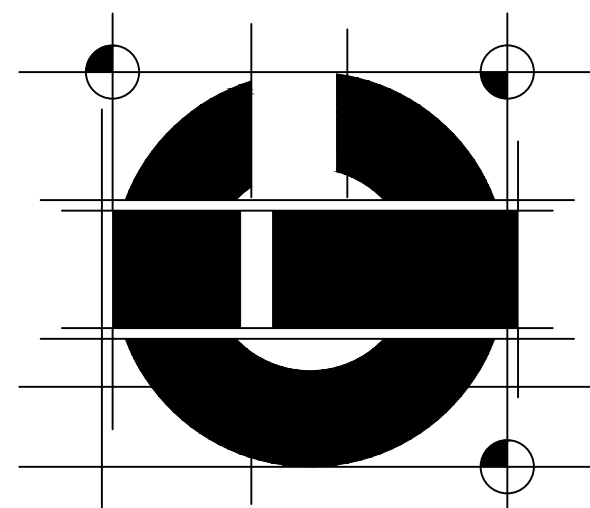
- 1 - Add drywall to flush the wall above the mantel in pic 4 to match original as shown in picture 3.
- 2 - Picture 2 to the left of fireplace - reopen the cased opening with new stained moldings between the current kitchen and dining room as shown in picture 3 and 6 (Picture 6 shows the formal foyer on the right).
- 3 - Picture 5: old drawing room with fireplace on angle, this mantel in picture 5 was previously removed.



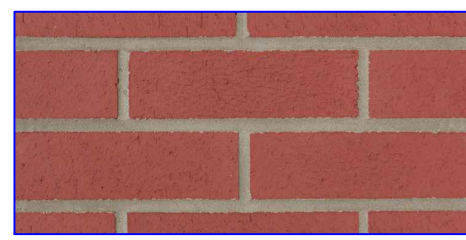
From our research: the old dining room is now the current kitchen, and the drawing room is the current dining room. Previous owners moved the mantel from the kitchen to the current dining room.

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LANDMARK PRESENTATION	DRAFTED BY	MAB	SCALE	1/4" = 1'-0"
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SHEET		HDC-13		
PROJECT		223		
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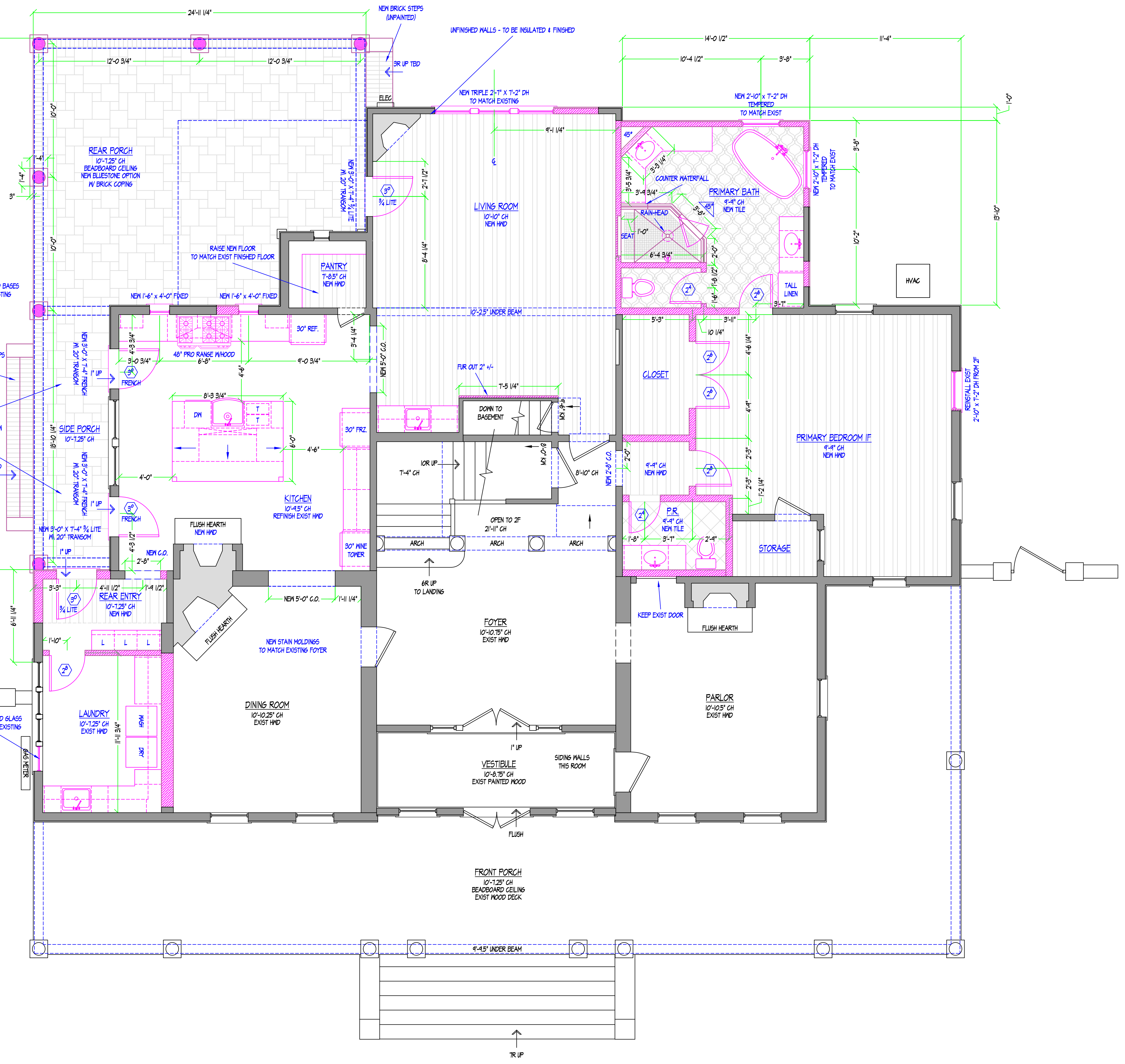
BRICK PAVER MATERIAL  
4 COLOR EXAMPLE  
GENERAL SHALE "DRECK"  
7 1/2" x 2 1/2" - BRICK COPING  
(MAKE NOT TO SCALE)



BLUESTONE MATERIAL  
4 COLOR EXAMPLE  
STONE CENTER LANDSCAPE & MASONRY  
BLUESTONE THERMAL FULL COLOR  
(MAKE NOT TO SCALE)

STAIRS:  
MAX RISER HT 8 1/4"  
MIN TREAD DEPTH 9"  
HANDRAIL HT 36" MIN, 38" MAX  
HANDRAIL PICKETS TO NOT ALLOW  
4-3/8" SPHERE TO PASS THROUGH

GUARDRAILS AT TOP OF  
STAIR MIN HT. 36"  
GUARDRAIL PICKETS TO NOT ALLOW  
4" SPHERE TO PASS THROUGH  
MIN HEAD CLEARANCE 6'-8"



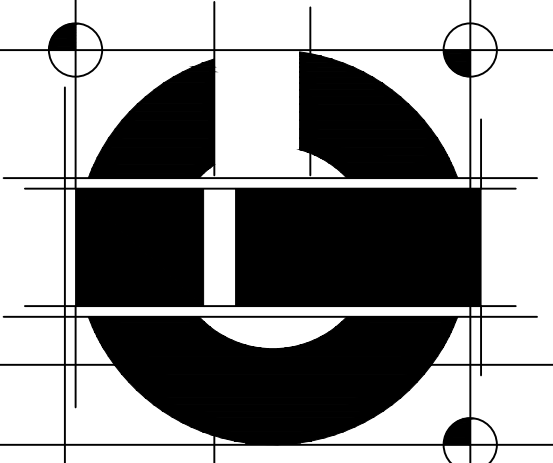
SMITH RESIDENCE  
MAIN FLOOR  
SCALE: 1/4" = 1'-0"

0' 5' 10'

**WALL LEGEND**  
 - EXIST. PARTITION WALL  
 - NEW PARTITION WALL  
 - WALL FOR DEMOLITION  
 - EXIST. BRICK VENEER  
 - NEW BRICK VENEER  
 - NEW EXTERIOR SIDING

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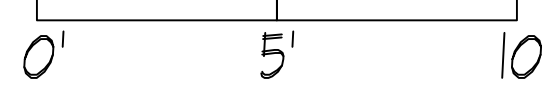
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FIRST FLOOR PLANS  
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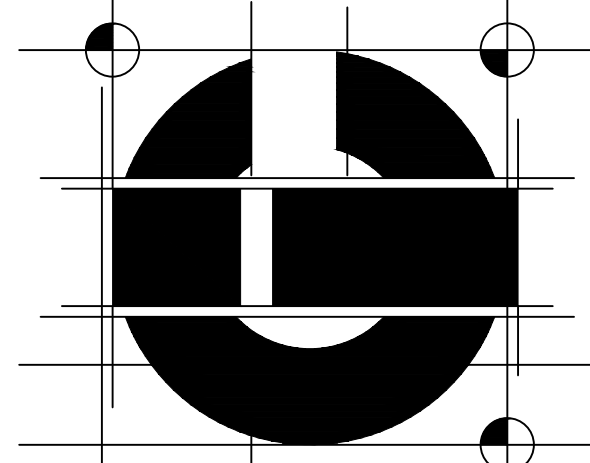
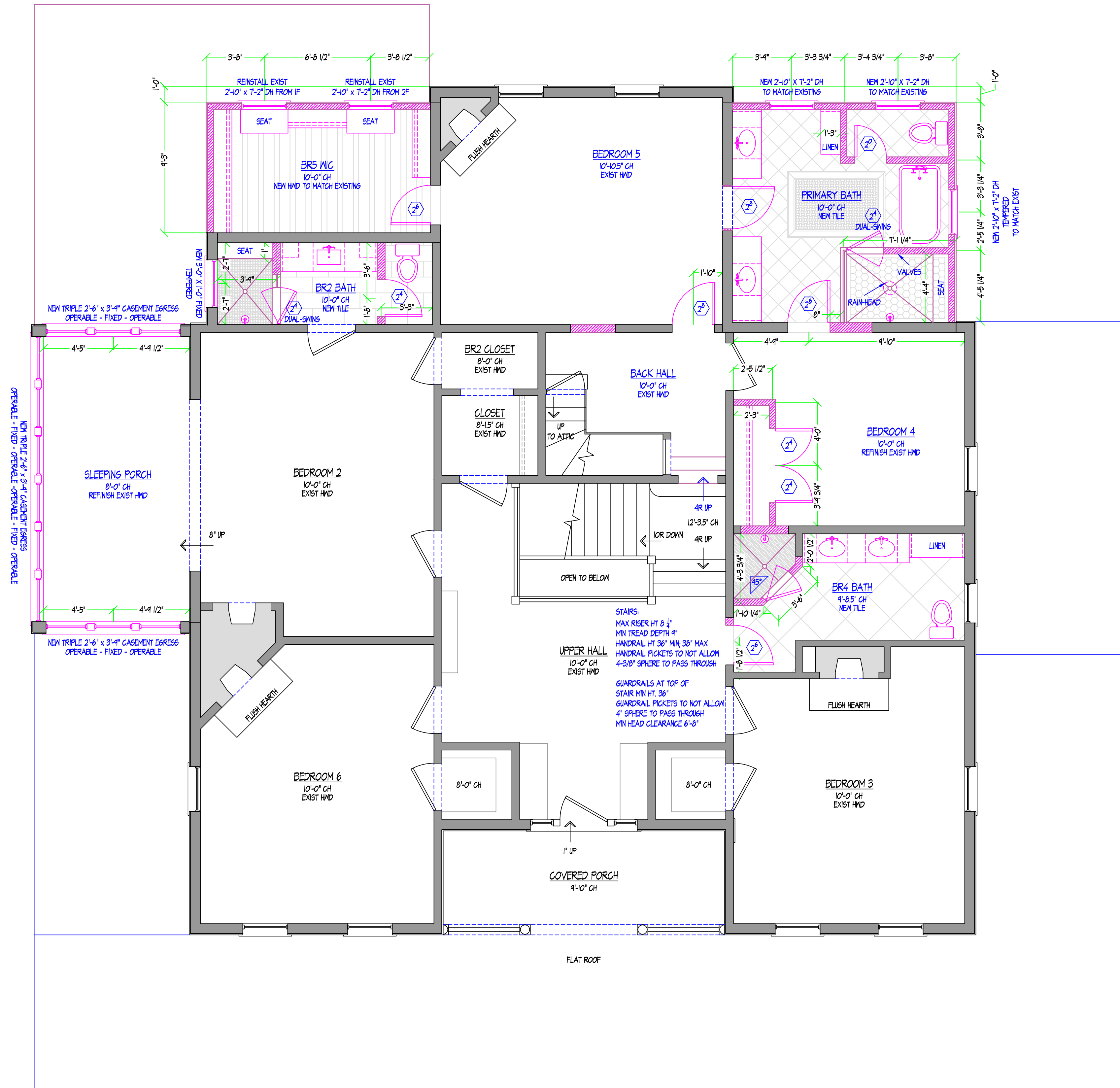
SHEET  
HDC-11  
PROJECT 223

SMITH RESIDENCE  
SECOND FLOOR

SCALE: 1/4" = 1'-0"



WALL LEGEND	
	EXIST. PARTITION WALL
	NEW PARTITION WALL
	WALL FOR DEMOLITION
	EXIST. BRICK VENEER
	NEW BRICK VENEER
	NEW EXTERIOR SIDING



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SECOND FLOOR PLANS

SHEET  
HDC-12  
PROJECT 223

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