

**Staff Report and Comments
Charlotte Woman's Club
1001 East Morehead Street, Charlotte
Application for COA HLC386**

Exhibits presented to and considered by the Commission:

Exhibit A – Project Description

Interior alterations primarily to the rear section of the building and landscape improvements.

Exhibit B – Map

Exhibit C – Project Plans

Based upon the information presented in the application, staff offers the following suggested findings of fact:

The HLC has acknowledged the need to alter or add to a historic property to meet continuing or new uses while retaining the property's historic character.

1. Many alterations were made to the middle and rear portions of the interior of the building in accordance with COA 08-20 issued in 2008. The current proposal maintains most of the original features in the front area. The modifications to the remainder of the building toward the rear are minor given previous modifications to the original building.
2. The proposed alterations meet the HLC Standard 2. The remaining historic character of the building will be retained and preserved.
3. The proposed alterations meet the HLC Standard 5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
4. The proposed alterations meet the HLC Standard 6. Deteriorated historic features will be repaired rather than replaced.
5. The proposed alterations meet the HLC Standard 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible.
6. The proposed alterations meet the HLC Standard 9. New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The proposed landscaping plan is compatible in scale and material and does not negatively impact the historic building.

Staff suggests that the Commission approve the application as presented.

THE HLC STANDARDS

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. Alterations, new additions, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Polaris 3G Map – Mecklenburg County, North Carolina

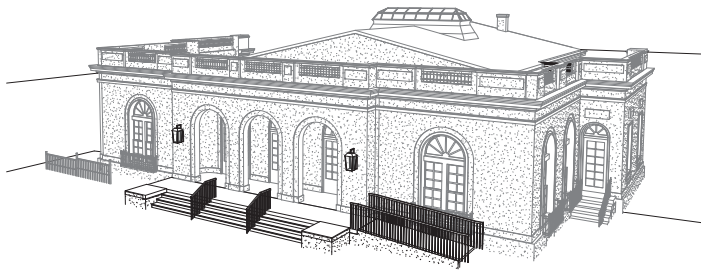
Exhibit B

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Pearl District - Ms Howards Property Upfit

1001 E Morehead St. Charlotte, NC 28204
Charlotte Woman's Club



GENERAL NOTE:
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Charlotte, NC 28208
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GENERAL

CS00 COVER SHEET

ARCHITECTURAL

A100 GROUND FLOOR PLANS
A101 FLOOR PLANS
A102 MECHANICAL DEPENDS PLANS
A103 FOUNDATION
A104 FOUNDATION & EQUIPMENT PLANS
A105 EXTERIOR ELEVATIONS
A106 EXTERIOR PLANS
A107 EXTERIOR ELEVATIONS
A108 DOOR SCHEDULE

CIVIL & LANDSCAPE

STRUCTURAL

PLUMBING

MECHANICAL

ELECTRICAL



Atrium Health
PROJECT & CONSTRUCTION MANAGEMENT
1617 Atkinson Station
Charlotte, NC 28273

Charlotte Woman's Club

REVISIONS			
Revision Schedule			

DATE: 02/20/23 DRAWN BY: JMT
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A/C # 2000000008
1001 E Morehead St
Atrium Health Building # 1631
1001 E Morehead St. Charlotte, NC 28204

Pearl District - Ms Howards Property Upfit

SHEET NAME
COVER SHEET

SHEET NUMBER
CS000



Atrium Health
PROJECT & CONSTRUCTION MANAGEMENT
1601 HOWARDS BLVD
CHARLOTTE, NC 28273

Charlotte Woman's Club

Design Development

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REVISIONS		
NO.	DESCRIPTION	DATE

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DATE: 12/21/2023 8:06:50 AM
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APP: JMT
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Atrium Health Building #11511
1001 E. Morehead St, Charlotte, NC 28204

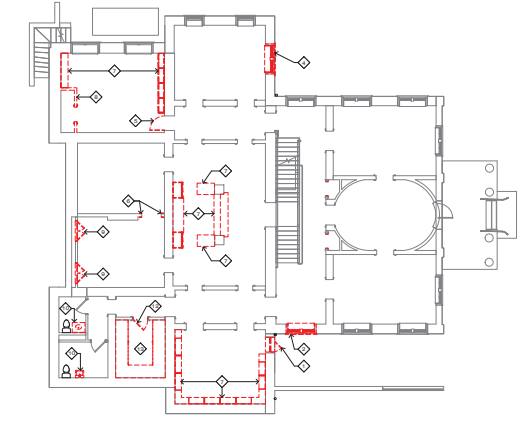
Pearl District - Ms Howards Property Uplift

SHEET NAME
DEMO FLOOR PLANS

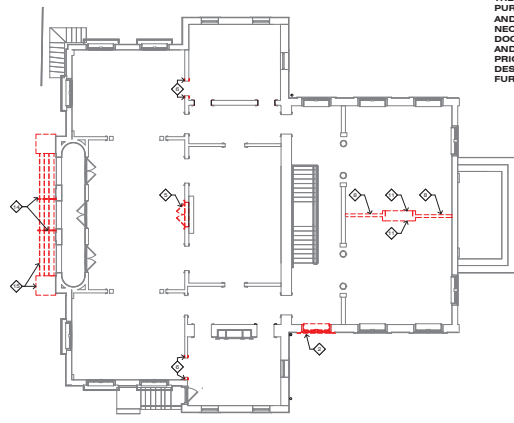
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A100

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1 FIRST FLOOR DEMO PLAN
1/8" = 1'-0"



2 SECOND FLOOR DEMO PLAN
1/8" = 1'-0"

GENERAL DEMOLITION NOTES

1. SEE SHALL LIST FURNISHINGS WITH THE PHASES AS WELL AS THE CONTRACT CONDITIONS AND SHALL REVIEW AND APPROVE CONDITIONS IN THE FIELD TO THE ARCHITECT IMMEDIATELY UPON OCCUPANCY.
2. COORDINATE ALL DEMOS WITH BUILDING OWNER AND TENANT PRIOR TO START OF WORK.
3. SEE SHALL STRIVE TO REUSE ALL EXISTING DOOR FRAMES AND HARDWARE WHERE LOCATIONS ARE POSSIBLE. PATCH/REPAIR COORS AS NECESSARY.
4. SEE SHALL STRIVE TO REUSE ALL EXISTING FLOOR FINISHES, LEVELS, OR CORES AS MUCH AS POSSIBLE. PATCH/REPAIR COORS AS NECESSARY.
5. COORDINATE ALL UTILITY CUTBACKS WITH BUILDING OWNER AND TENANT ONE WEEK IN ADVANCE.
6. ALL EXISTING CONSTRUCTION MATERIALS, SYSTEMS, EQUIPMENT, ETC. AND REMAINS OF BUILDING SHALL BE COORDINATE WITH THE OWNER, UP ALL ALL CUTBACKS & ETC. COORDINATE PRIOR TO START OF DEMOLITION.
7. REMOVE ALL MATERIALS TO BE DEMOLISHED BY OWNER IN A MANNER SO AS TO NOT DAMAGE OR HINDER USER'S USE.
8. SEE SHALL STRIVE TO REUSE ALL EXISTING CORES, PATHWAYS AND ETC. FOR REUSE OR REPAIR AND REPAIR/REPLACE.
9. THE S.C. SHALL MAINTAIN INTEGRITY OF ALL EXISTING INTERIOR WALLS AND FLOORS.
10. S.C. SHALL LOCATE QUARTERS PER OWNER DIRECTION SO AS TO NOT DISRUPT OPERATIONS OR BUSINESS OPERATIONS.

11. S.C. SHALL PROTECT EXISTING HVAC SYSTEM FROM DUST RAFTERS/PLUMB.
12. COORDINATE DEMOLITION OF WALLS OF ALL VAC. PLUMBING AND ELECTRICAL SYSTEMS (DRAINAGE AND DEMOLITION NOTES).
13. S.C. SHALL STRIVE TO REUSE ALL EXISTING BUILDING ELEMENTS TO BE REUSED AND/OR RELOCATED. SEE MEV FLOOR PLAN FOR COORDINATION, RELOCATION AND/OR RELOCATED.
14. REFER TO PUNCH PLANS FOR ALL TRADE RELATED DEMOLITION SCOPE.

DEMOLITION KEY NOTES

NO.	DESCRIPTION	NO.	DESCRIPTION
1	DEMOL EXTERIOR DOOR AND FRAME.	1	DEMOL INTERIOR FALSE FINISHES.
2	DEMOL EXTERIOR WINDOW, SURROUNDING TRIM, AND WALL BELOW TO PREPARE FOR NEW GLAZING.	2	DEMOL INTERIOR DOOR PANEL, AND HARDWARE. DOOR TRIM TO REMAIN.
3	DEMOL EXTERIOR WINDOW AND SURROUNDING TRIM.	3	DEMOL PLYWOOD STORAGE SHELVES.
4	DEMOL EXTERIOR WINDOW, SURROUNDING TRIM, AND WALL BELOW TO PREPARE FOR NEW DOOR.	4	DEMOL RAILING.
5	DEMOL INTERIOR DOOR, FRAME, AND TRIM.	5	DEMOL STRIPS & CONCRETE REBAR/WALLS TO PREPARE FOR NEW WORK.
6	DEMOL INTERIOR TRIM AT ENTRANCE.	6	
7	DEMOL INTERIOR MULLION.	7	
8	DEMOL INTERIOR WALLS IN THEIR ENTIRETY.	8	
9	DEMOL INTERIOR DOOR, FRAME, TRIM, AND STRIP LIGHTING BOLD/CUTTING.	9	
10	DEMOL EXISTING LAVATORY.	10	



Atrium Health
PROJECT & CONSTRUCTION MANAGEMENT
1601 Riverside Boulevard
Charlotte, NC 28273

Design Development

Charlotte Woman's Club

Pearl District - Ms Howards Property Uplift

12/27/2023 8:05:55 AM CSR #2300003788

Revision Schedule
Revision Number Description Revisions Date
1 1001 E Morehead St
Atrium Health Building #1 1011
1001 E Morehead St, Charlotte, NC 28204

Revision Schedule

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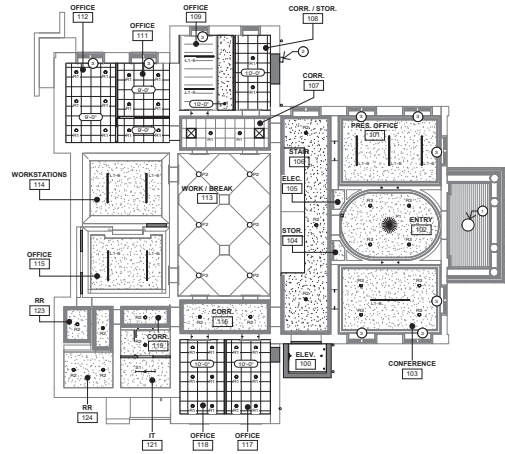
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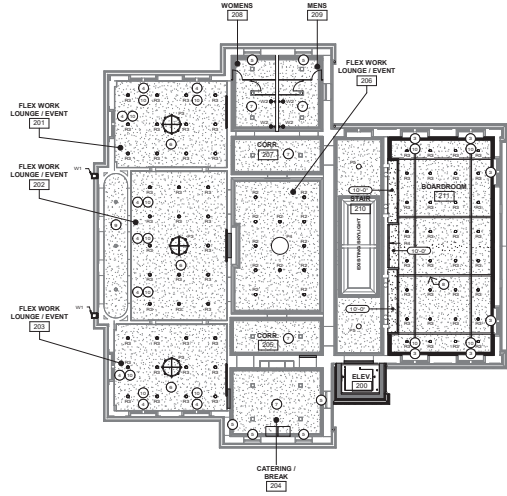
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1 FIRST FLOOR REFLECTED CEILING PLAN



2 SECOND FLOOR REFLECTED CEILING PLAN

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RCP KEY NOTES

1. MISSING EXTERIOR DECORATIVE CHANGELINE TO REMAIN.
2. MISSING EXTERIOR WALL FINISH.
3. MISSING FULL HEIGHT BUILT UP METAL FINISH. PROVIDE BUILT UP METAL FINISH ABOVE WINDOW CHANGELINE. (SEE WINDOW FINISH SCHEDULE FOR FINISHES).
4. PROVIDE 2" (50.8) SQUARES IN PLACE AT RECTANGULAR PORTIONS OF WINDOW CHANGELINE. (SEE WINDOW FINISH SCHEDULE FOR FINISHES).
5. PROVIDE EXTERIOR WINDOW FILM (SEE WINDOW FINISH SCHEDULE FOR FINISHES).
6. MISSING EXTERIOR WINDOW FILM (SEE WINDOW FINISH SCHEDULE FOR FINISHES).
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RCP SYMBOLS LEGEND

Symbol	Description	Symbol	Description
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20	MISSING EXTERIOR WINDOW FILM (SEE WINDOW FINISH SCHEDULE FOR FINISHES)	20	MISSING EXTERIOR WINDOW FILM (SEE WINDOW FINISH SCHEDULE FOR FINISHES)

Revision Schedule
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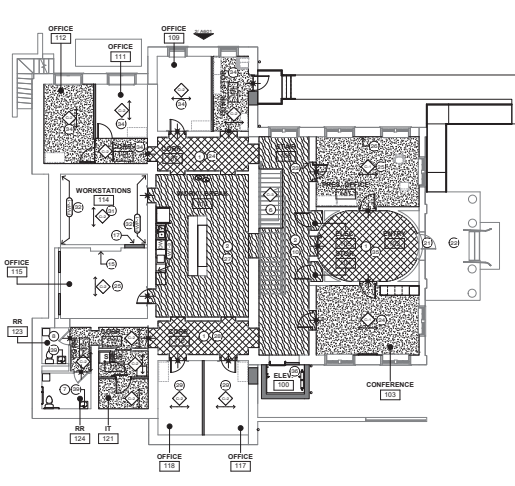
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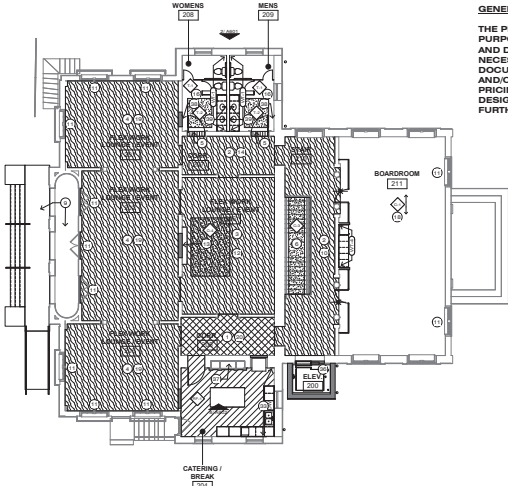
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Revision Number Description Revisions Date

SHEET NUMBER
A201



FIRST FLOOR FINISH PLAN
1/8" = 1'-0"



SECOND FLOOR FINISH PLAN
1/8" = 1'-0"

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Charlotte Woman's Club
Pearl District - Ms Howards Property Light

FINISH GENERAL NOTES	
1. ALL INTERIOR WALLS AND CEILING FINISH SHALL CONFORM WITH FINISH SCHEDULE 001. ALL FINISH SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.	11. PROVIDE ALL FINISHES TO MATCH THE FINISHES OF THE EXISTING WORK.
2. REFER TO THE CONSTRUCTION PLAN DIMENSIONS FOR ALL DIMENSIONS UNLESS OTHERWISE NOTED. THE FINISH SHALL BE INSTALLED TO THE CENTERLINE UNLESS OTHERWISE NOTED.	12. PROVIDE ALL FINISHES TO MATCH THE FINISHES OF THE EXISTING WORK.
3. UNLESS OTHERWISE NOTED, ALL FINISHES SHALL BE INSTALLED TO THE CENTERLINE UNLESS OTHERWISE NOTED. THE FINISH SHALL BE INSTALLED TO THE CENTERLINE UNLESS OTHERWISE NOTED.	13. PROVIDE ALL FINISHES TO MATCH THE FINISHES OF THE EXISTING WORK.
4. CONTINUE FINISHING MATERIALS AS SCHEDULED UNLESS OTHERWISE NOTED. FINISHING MATERIALS SHALL BE INSTALLED TO THE CENTERLINE UNLESS OTHERWISE NOTED.	14. PROVIDE ALL FINISHES TO MATCH THE FINISHES OF THE EXISTING WORK.
5. REFER TO THE CONSTRUCTION PLAN DIMENSIONS FOR ALL DIMENSIONS UNLESS OTHERWISE NOTED. THE FINISH SHALL BE INSTALLED TO THE CENTERLINE UNLESS OTHERWISE NOTED.	15. PROVIDE ALL FINISHES TO MATCH THE FINISHES OF THE EXISTING WORK.
6. UNLESS OTHERWISE NOTED, ALL FINISHES SHALL BE INSTALLED TO THE CENTERLINE UNLESS OTHERWISE NOTED. THE FINISH SHALL BE INSTALLED TO THE CENTERLINE UNLESS OTHERWISE NOTED.	16. PROVIDE ALL FINISHES TO MATCH THE FINISHES OF THE EXISTING WORK.
7. UNLESS OTHERWISE NOTED, ALL FINISHES SHALL BE INSTALLED TO THE CENTERLINE UNLESS OTHERWISE NOTED. THE FINISH SHALL BE INSTALLED TO THE CENTERLINE UNLESS OTHERWISE NOTED.	17. PROVIDE ALL FINISHES TO MATCH THE FINISHES OF THE EXISTING WORK.

FINISH KEY NOTES	
1. FINISH SCHEDULE 001 - WALLS AND CEILING	11. FINISH SCHEDULE 001 - WALLS AND CEILING
2. FINISH SCHEDULE 002 - WALLS AND CEILING	12. FINISH SCHEDULE 002 - WALLS AND CEILING
3. FINISH SCHEDULE 003 - WALLS AND CEILING	13. FINISH SCHEDULE 003 - WALLS AND CEILING
4. FINISH SCHEDULE 004 - WALLS AND CEILING	14. FINISH SCHEDULE 004 - WALLS AND CEILING
5. FINISH SCHEDULE 005 - WALLS AND CEILING	15. FINISH SCHEDULE 005 - WALLS AND CEILING
6. FINISH SCHEDULE 006 - WALLS AND CEILING	16. FINISH SCHEDULE 006 - WALLS AND CEILING
7. FINISH SCHEDULE 007 - WALLS AND CEILING	17. FINISH SCHEDULE 007 - WALLS AND CEILING
8. FINISH SCHEDULE 008 - WALLS AND CEILING	18. FINISH SCHEDULE 008 - WALLS AND CEILING
9. FINISH SCHEDULE 009 - WALLS AND CEILING	19. FINISH SCHEDULE 009 - WALLS AND CEILING
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FINISH LEGEND	
(Symbol)	FINISH KEY NOTE
(Symbol)	FINISH SCHEDULE 001 - WALLS AND CEILING
(Symbol)	FINISH SCHEDULE 002 - WALLS AND CEILING
(Symbol)	FINISH SCHEDULE 003 - WALLS AND CEILING
(Symbol)	FINISH SCHEDULE 004 - WALLS AND CEILING
(Symbol)	FINISH SCHEDULE 005 - WALLS AND CEILING
(Symbol)	FINISH SCHEDULE 006 - WALLS AND CEILING
(Symbol)	FINISH SCHEDULE 007 - WALLS AND CEILING
(Symbol)	FINISH SCHEDULE 008 - WALLS AND CEILING
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(Symbol)	FINISH SCHEDULE 020 - WALLS AND CEILING

12/21/2023 8:10:17 AM CDR #2300003786

Revision Schedule

REVISIONS

Rev	Description	By	Date
01	Issue for Bid		

1001 E Morehead St
Atrium Health Building # 1511
1001 E Morehead St Charlotte, NC 28204

Pearl District - Ms Howards Property Light

SHEET NAME
FINISH PLANS

SHEET NUMBER
A301



Atrium Health
PROJECT & CONSTRUCTION MANAGEMENT
1601 HOWARDS BLVD. #200
CHARLOTTE, NC 28203

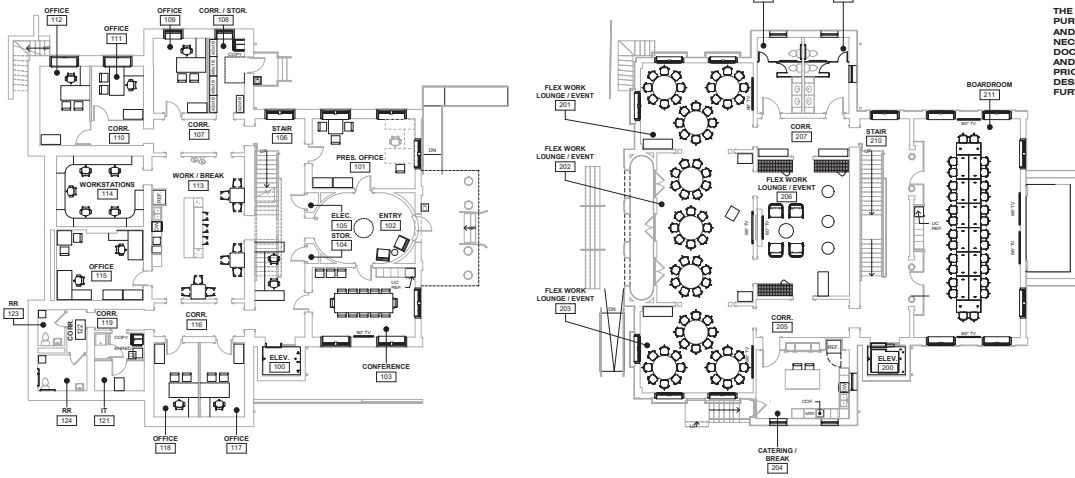
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Pearl District - Ms Howards Property Uplift CSR #23000003788

GENERAL NOTE:

THE PRICING DOCUMENT PROVIDED IS FOR THE PURPOSES OF ILLUSTRATING A DESIGN INTENT AND DOES NOT CONTAIN ALL THE INFORMATION NECESSARY FOR CONSTRUCTION DOCUMENTATION. ANY MISSING SPECIFICATIONS AND/OR DETAILS THAT MAY HAVE AN IMPACT ON PRICING SHOULD BE BROUGHT TO REDLINE DESIGN GROUPS ATTENTION SO AS TO RECEIVE FURTHER CLARIFICATION.



○ FIRST FLOOR PLAN
108 - 1.0'

○ SECOND FLOOR PLAN
108 - 1.0'

APPLIANCE & EQUIPMENT LEGEND

	QUANTITY: 1 REFRIGERATOR/FREEZER AND PREP KIT INSTALLATED BY OWNER AND TO PROVIDE POWER, WATER LINE & DRAIN CONSTRUCTION BY TRADE CONTRACTOR RELOCATED FROM EAST BLVD.		QUANTITY: 1 COPIER/PRINTER/SCANNER INSTALLATED BY OWNER AND TO PROVIDE POWER & DATA CONSTRUCTION BY TRADE CONTRACTOR RELOCATED FROM EAST BLVD.
	QUANTITY: 1 MICROWAVE INSTALLATED BY OWNER AND TO PROVIDE POWER CONSTRUCTION BY TRADE CONTRACTOR RELOCATED FROM EAST BLVD.		QUANTITY: 1 PRINTER INSTALLATED BY OWNER AND TO PROVIDE POWER & DATA CONSTRUCTION BY TRADE CONTRACTOR RELOCATED FROM EAST BLVD.
	QUANTITY: 1 COUNTERTOP ICE MAKER & SINK DISPENSER INSTALLATED BY OWNER AND TO PROVIDE POWER, WATER LINE & DRAIN CONSTRUCTION BY TRADE CONTRACTOR RELOCATED FROM EAST BLVD.		QUANTITY: 1 SHARED WiFi INSTALLATED BY OWNER AND TO PROVIDE POWER & DATA CONSTRUCTION BY TRADE CONTRACTOR RELOCATED FROM EAST BLVD.
	QUANTITY: 1 OFFICE PRINTER INSTALLATED BY OWNER AND TO PROVIDE POWER, WATER LINE & DRAIN CONSTRUCTION BY TRADE CONTRACTOR RELOCATED FROM EAST BLVD.		QUANTITY: 1 SHARED WiFi INSTALLATED BY OWNER AND TO PROVIDE POWER, WATER LINE & DRAIN CONSTRUCTION BY TRADE CONTRACTOR RELOCATED FROM EAST BLVD.
	QUANTITY: 1 OFFICE PRINTER INSTALLATED BY OWNER AND TO PROVIDE POWER, WATER LINE & DRAIN CONSTRUCTION BY TRADE CONTRACTOR RELOCATED FROM EAST BLVD.		QUANTITY: 1 SHARED WiFi INSTALLATED BY OWNER AND TO PROVIDE POWER, WATER LINE & DRAIN CONSTRUCTION BY TRADE CONTRACTOR RELOCATED FROM EAST BLVD.

REVISIONS	
NO.	REVISION

REVISION: 12/27/23 DRAWN BY: Austin
12/27/2023 9:10:02 AM
CSR # 23000003788
A/E/C: 2000000000
1001 E. Morehead St
Atrium Health Building # 1631
1001 E Morehead St. Charlotte, NC 28204

Pearl District - Ms Howards Property Uplift

SHEET NAME
FURNITURE & EQUIPMENT
PLANS

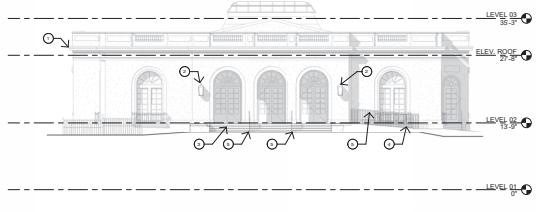
SHEET NUMBER
A401



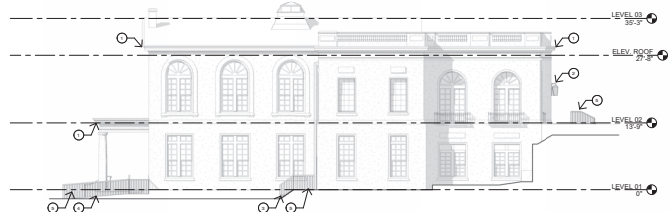
Atrium Health
 PROJECT & CONSTRUCTION MANAGEMENT
 5401 HOWARDS BLVD
 CHARLOTTE, NC 28273

Charlotte Woman's Club

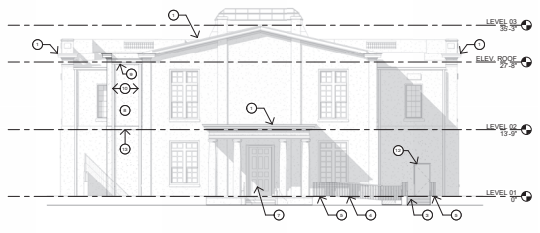
Design Development Pearl District - Ms Howards Property Light CDR #2300003788



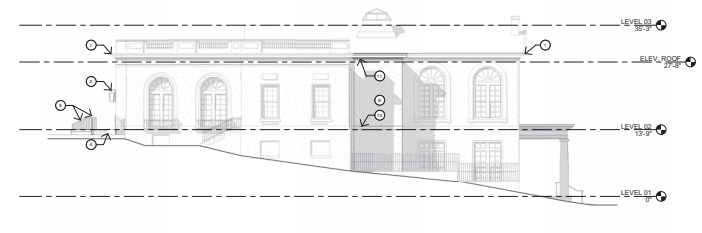
FRONT EXTERIOR ELEVATION
 1/8" = 1'-0"



RIGHT EXTERIOR ELEVATION
 1/8" = 1'-0"



REAR EXTERIOR ELEVATION
 1/8" = 1'-0"



LEFT EXTERIOR ELEVATION
 1/8" = 1'-0"

GENERAL EXT. PRICING NOTES	
1	PROVIDE BUDGET LINE ITEM TO RE-ROOF ENTIRE BUILDING AT 60 POUND ROCK SLATE, EXISTING STRUCTURE AND REPLACE WITH NEW BURRIS 60/40 ARTIFICIAL SLATE. PROVIDE BUDGET LINE ITEM TO PROVIDE NEW BURRIS 60/40 ARTIFICIAL SLATE. PROVIDE BUDGET LINE ITEM TO PROVIDE NEW BURRIS 60/40 ARTIFICIAL SLATE.
2	REPLACE ALL MISSING DOWNSPOUTS. REPAIR AND/OR REPLACE GUTTERS AS REQUIRED.
3	PROVIDE BUDGET LINE ITEM TO REPLACE ALL EXTERIOR DOORS.
4	PROVIDE BUDGET LINE ITEM TO PROVIDE NEW FLASHING AND SEALANT AT ALL EXTERIOR WINDOWS. REPLACE ALL DAMAGED WINDOW FRAMES.
5	PROVIDE BUDGET LINE ITEM TO PROVIDE NEW FLASHING AND SEALANT AT BRIGHT.
6	GLAZES, ALL EXTERIOR GLAZES SHALL BE CONSIDERED TRANSPARENT.
7	PROVIDE BUDGET LINE ITEM TO REMOVE ENTIRE EXTERIOR OF BUILDING INCLUDING EXISTING WINDOW AND DECORATIVE TRIM.
8	GC TO PROVIDE BATTERY BACK-UP EMERGENCY EXGRESS LIGHTING AT ALL EXTERIOR DOOR LOCATIONS, LVL.
9	

EXTERIOR ELEVATION KEY NOTES			
1	CONTACT EXISTING TRIM AT TOP OF WALL AND REPLACE IN-PICH. REPAIR EXISTING TRIM AND FINISH TO MATCH.	NEW TRIM AT TOP OF WALL TO MATCH EXISTING. SEE WALL SECTION.	1
2	NEW EXTERIOR WALL SIDINGS. SEE REFLECTED CEILING PLAN.	NEW EXTERIOR WALL OCCUR A FRAME. FINISH TO MATCH EXISTING WALL.	1
3	NEW CONCRETE STAIRS. SEE FRESH PLANS FOR TRACED & REBAR FRASH.	NEW REPAIRS AT WALL TO MATCH EXISTING. SEE WALL SECTION.	1
4	NEW CONCRETE RAMP. SEE FRESH PLANS FOR TRACED & REBAR FRASH.		1
5	NEW DECORATIVE METAL HANDRAIL.		1
6	- NOT USED -		1
7	REPAIR EXISTING WOOD DOOR. REPLACE DECORATIVE TRIM & MULLIONS TO MATCH EXISTING.		1
8	NEW EXTERIOR ELEVATOR SHAFT WALLS. SEE FLOOR PLAN FOR KEYNOTES.		1
9	NEW METAL SLUTTER TO MATCH EXISTING.		1
10	NEW METAL DOWNSPOUTS TO MATCH EXISTING.		1

REVISIONS

NO.	REVISION	DATE

REVISED: 03/20/23 DRAWN BY: JMT
 10/20/2023 9:10:23 AM
 CDR # 2300003788
 A/E: JAMES M. TAYLOR
 1001 E. HOWARDS ST.
 ATRIUM HEALTH BUILDING #1
 1001 E. HOWARDS ST. CHARLOTTE, NC 28204

Pearl District - Ms Howards Property Light

SHEET NAME
EXTERIOR ELEVATIONS

SHEET NUMBER
A601



Atrium Health
PROJECT & CONSTRUCTION MANAGEMENT
8427 Arrowhead Boulevard
Charlotte, NC 28273

Charlotte Woman's Club

Design Development

PEARL DISTRICT - Ms Howards Property Uplift

PEARL DISTRICT - Ms Howards Property Uplift

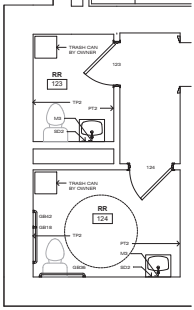
REVISIONS	
NO.	REVISION

DATE: 12/16/23 DRAWN BY: Austin
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CSP # 23000003788
A/E # 23000003788
1001 E Morehead St
Atrium Health Facility # 1631
1001 E Morehead St, Charlotte, NC 28204

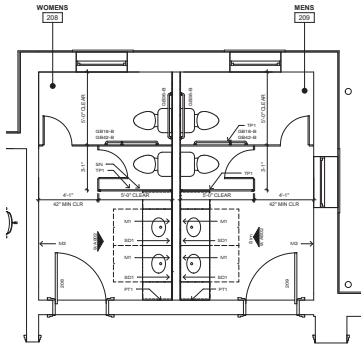
Pearl District - Ms Howards Property Uplift

SHEET NAME
ENLARGED PLANS

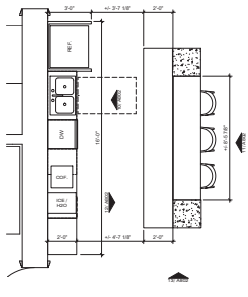
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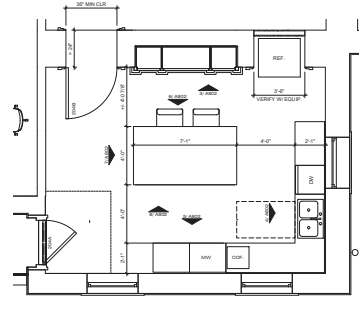
ENLARGED PLAN AT RESTROOMS 123 & 124
3/8" = 1'-0"



ENLARGED PLAN AT RESTROOMS 208 & 209
3/8" = 1'-0"



ENLARGED PLAN AT WORK / BREAK 113
3/8" = 1'-0"



ENLARGED PLAN AT CATERING / BREAK 204
3/8" = 1'-0"

TOILET ACCESSORIES LEGEND		
	208	PARTITION-MOUNTED TOILET PAPER DISPENSER, PAPER: BLACK
	209	SURFACE-MOUNTED TOILET PAPER DISPENSER, PAPER: BLACK
	210	COUNTER-MOUNTED SOAP DISPENSER 10" W/ SPOUT LENGTH, PAPER: BLACK
	211	WALL-MOUNTED SOAP DISPENSER, PAPER: BLACK
	212	MIRROR, 24" WIDE, 18" HIGH, 1/2" THICK, POLISHED BRASS, 1/2" DIA. MOUNTING BRACKET, 1/2" DIA. MOUNTING BRACKET, 1/2" DIA. MOUNTING BRACKET
	213	FULL-LENGTH MIRROR, PROVIDE AT ALLOWANCE OF \$1,300 EACH
	214	SOAP/WELSH FRAME MIRROR, 24" WIDE, 18" HIGH, 1/2" THICK, POLISHED BRASS, 1/2" DIA. MOUNTING BRACKET, 1/2" DIA. MOUNTING BRACKET
	215	48" FROSTED GLASS DOOR BANK, NO FINISHED GIMP SURFACE, PAPER: BLACK
	216	48" FROSTED GLASS DOOR BANK, NO FINISHED GIMP SURFACE, PAPER: BLACK
	217	48" FROSTED GLASS DOOR BANK, NO FINISHED GIMP SURFACE, PAPER: BLACK
	218	48" FROSTED GLASS DOOR BANK, NO FINISHED GIMP SURFACE, PAPER: BLACK
	219	48" FROSTED GLASS DOOR BANK, NO FINISHED GIMP SURFACE, PAPER: BLACK
	220	48" FROSTED GLASS DOOR BANK, NO FINISHED GIMP SURFACE, PAPER: BLACK



Atrium Health Foundation

DESIGN DEVELOPMENT MEETING
12-12-2023



Atrium Foundation – Design Development

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BOARD ROOM RENDERING
12.12.2023



Atrium Foundation – Design Development

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EVENT SPACE RENDERING
12.12.2023

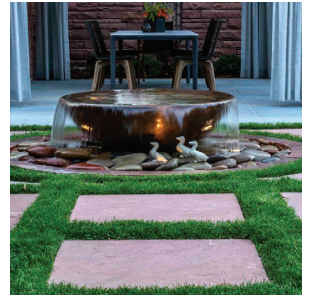


Atrium Foundation – Design Development

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FIREPLACE LOUNGE RENDERING
12.12.2023

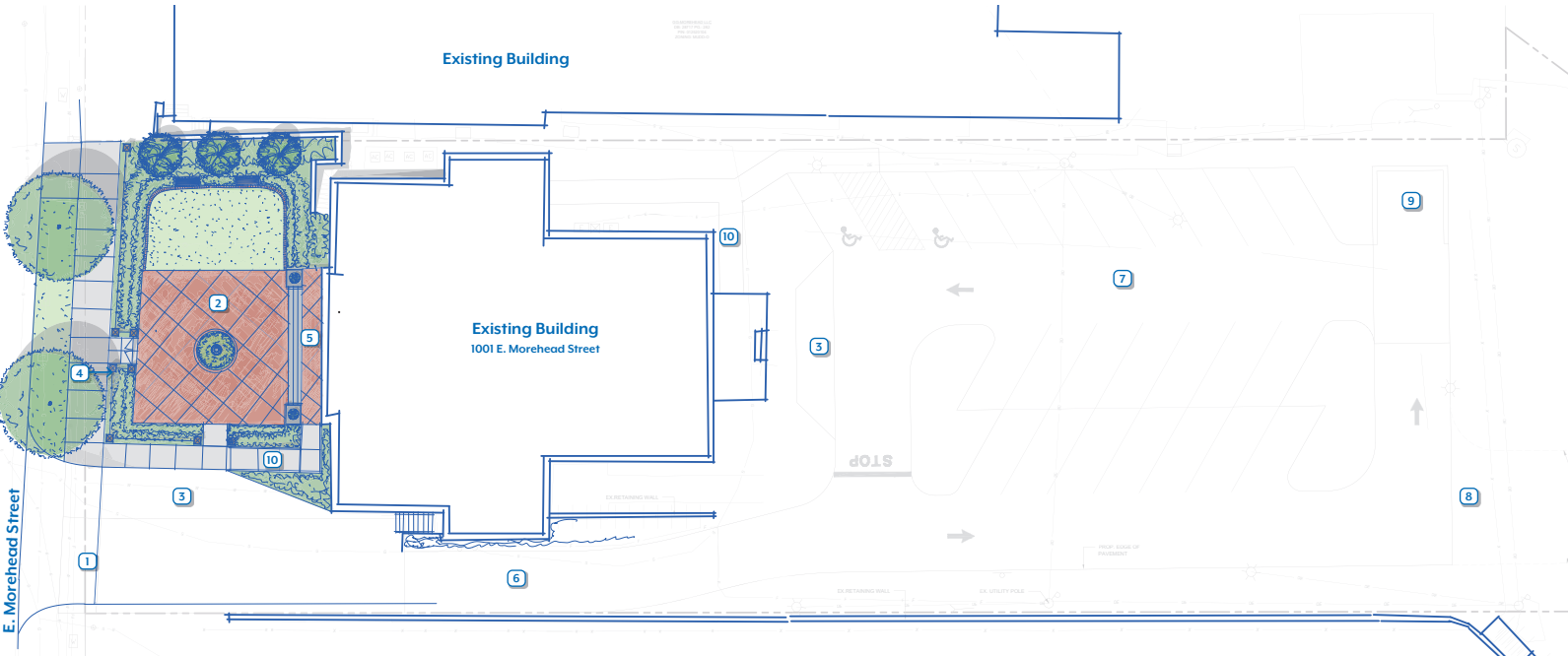
Charlotte Woman's Club
ATRIUM FOUNDATION
GARDEN CONCEPT



Charlotte Woman's Club
ATRIUM FOUNDATION SITE IMPROVEMENTS | GARDEN CONCEPT
#23020 | 01.08.2024 | Prepared for Atrium Foundation



Charlotte Woman's Club
ATRIUM FOUNDATION SITE IMPROVEMENTS | GARDEN CONCEPT
#23020 | 01.08.2024 | Prepared for Atrium Foundation



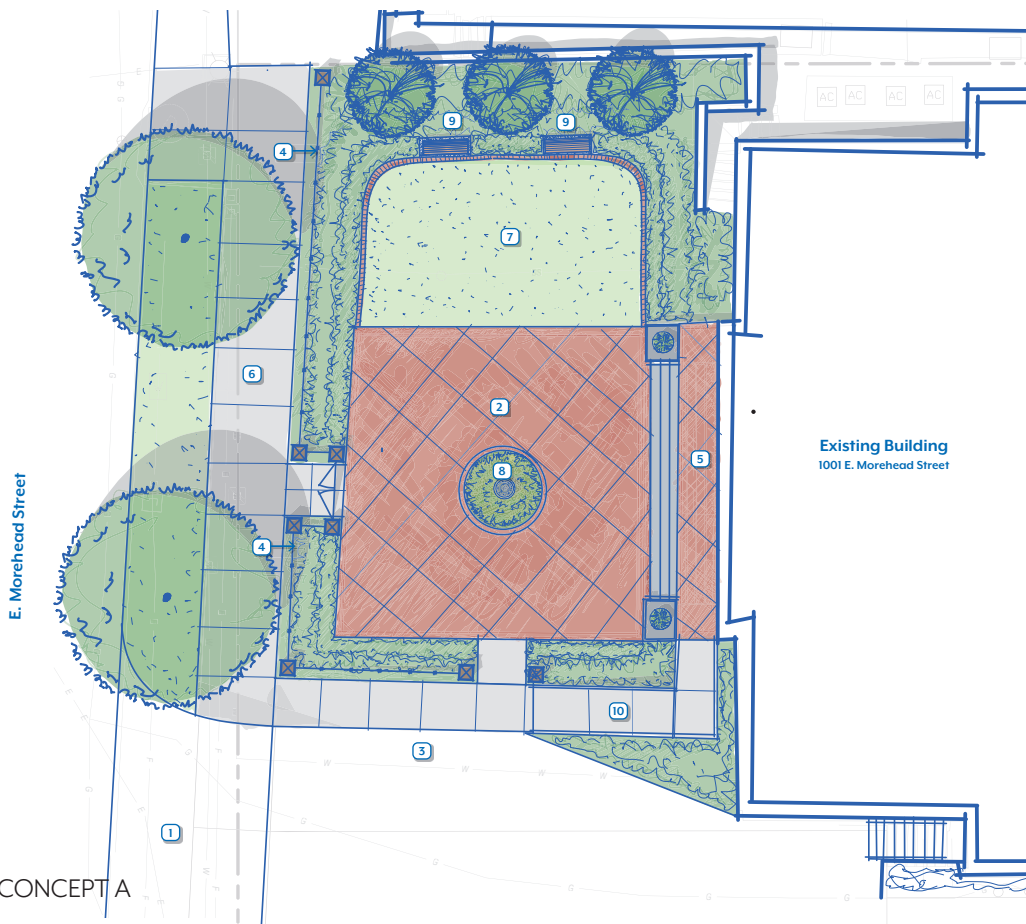
OVERALL SITE PLAN

Charlotte Woman's Club
ATRIUM FOUNDATION SITE IMPROVEMENTS | GARDEN CONCEPT
 #23020 | 01.08.2024 | Prepared for Atrium Foundation

- KEY:**
- 1 EXISTING DRIVEWAY
 - 2 BRICK PATIO
 - 3 VISITOR DROP-OFF
 - 4 FENCE AND COLOMNS
 - 5 STAIRS AND PORCH EXPANSION
 - 6 EXISTING DRIVE
 - 7 PARKING LOT
 - 8 FUTURE CONNECTION
 - 9 DUMPSTER
 - 10 SIDEWALK/ ADA ACCESS

0 10 20 30 40 N

dpr
design 4



KEY:

- 1 DRIVEWAY
- 2 BRICK PATIO
- 3 VISITOR DROP-OFF
- 4 FENCE AND COLOMNS
- 5 STAIRS AND PORCH EXPANSION
- 6 8' SIDEWALK
- 7 FORMAL LAWN
- 8 FOUNTAIN OR STATUE
- 9 BENCH
- 10 ADA RAMP

CONCEPT A

Charlotte Woman's Club

ATRIUM FOUNDATION SITE IMPROVEMENTS | GARDEN CONCEPT

#23020 | 01.08.2024 | Prepared for Atrium Foundation





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