

**Staff Report and Comments
Dowd House
2216 Monument Street, Charlotte
Application for COA HLC381**

Exhibits presented to and considered by the Commission:

Exhibit A – Project description (from application)

Adding a second structure to the Historic Dowd House Property to be called the Carriage House. This second building was approved in the original site plan approved by City of Charlotte, Mecklenburg County and HLC.

Exhibit B – Map

Exhibit C - Project Plans

Based upon the information presented in the application, staff offers the following suggested findings of fact:

1. The HLC has acknowledged the need to alter or add to a historic property to meet continuing or new uses while retaining the property's historic character.
2. The location and footprint of the proposed auxillary building was approved on 07/02/2021 with the issuance of HLC059.
3. The proposed auxillary building is architecturally differentiated from the Dowd House, in keeping with HLC Standard 9.
4. The proposed plan meets HLC Standard 2, as the rear location and the scale of the auxillary building would not significantly negatively impact the historic character of the Dowd House.
5. The proposed auxillary building could be removed in the future without compromising the historic character of the property in accordance with HLC Standard 10.

Staff suggests that the Commission approve the application as presented.

THE HLC STANDARDS

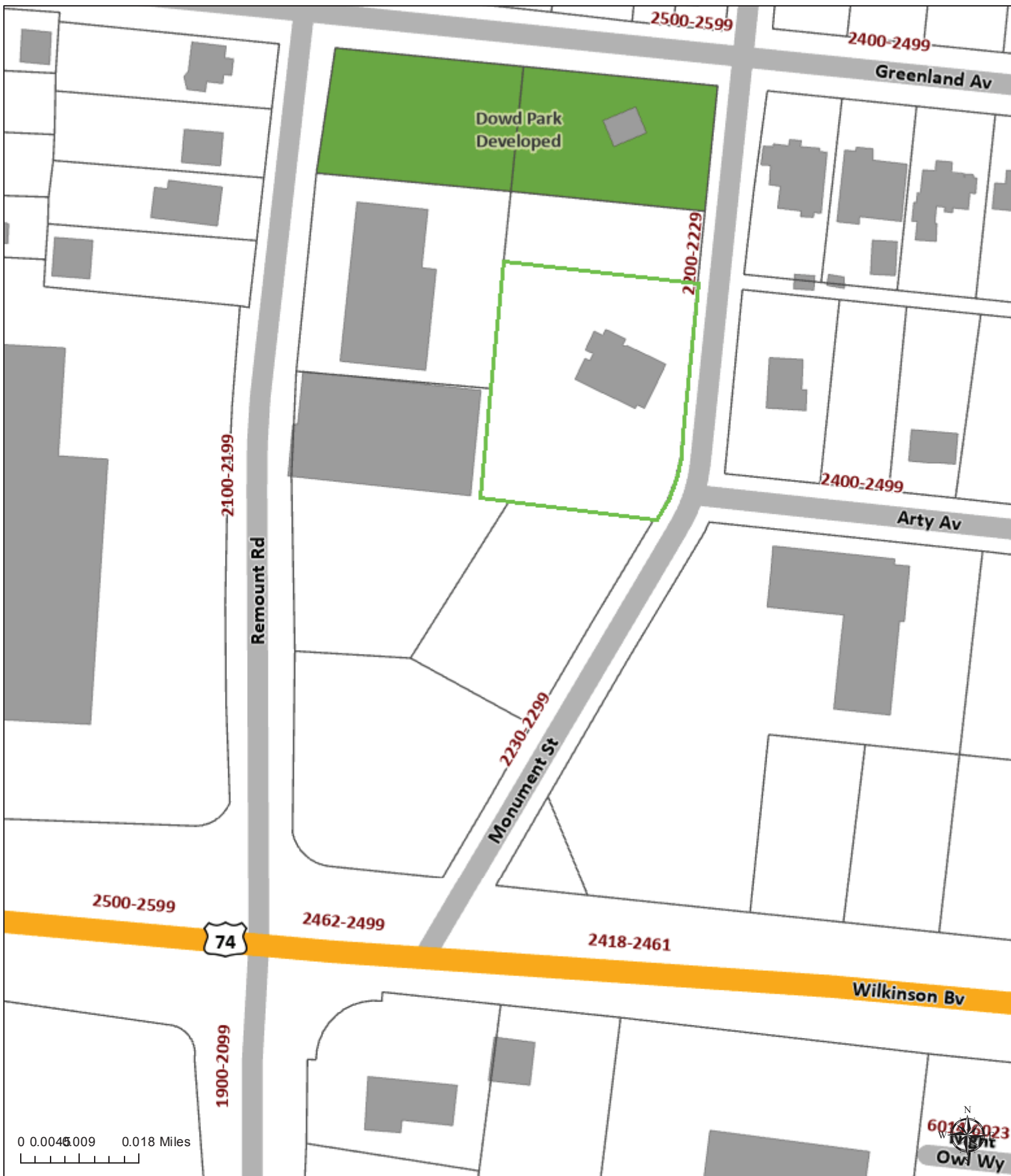
Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. Alterations, new additions, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Polaris 3G Map – Mecklenburg County, North Carolina

Exhibit B

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This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and data. Users of this map or report are hereby notified that the aforementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no legal responsibility for the information contained herein.

CIVIL SHEET LIST

- C0.00 COVER SHEET
- R21.0 SCHEMATIC SITE PLAN
- C1.00 SURVEY
- C1.01 DEMOLITION PLAN
- C2.00 SITE PLAN
- C3.00 EROSION CONTROL PH1
- C3.01 EROSION CONTROL PH2
- C4.00 GRADING PLAN
- C4.50 STORM PLAN
- C5.00 UTILITY PLAN
- C5.01 UTILITY PROFILE
- C6.00 LANDSCAPE PLAN
- C6.01 LANDSCAPE NOTES
- C7.00 ISD PLAN AND PROFILE
- C8.00 SITE DETAILS
- C8.01 SITE DETAILS
- C8.02 SITE DETAILS
- C8.03 SITE DETAILS
- C9.00 CIVIL DETAILS

Exhibit C



CARRIAGE HOUSE

2220 MONUMENT ST, CHARLOTTE, NC 28208



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Structural

Applied Technical Services, LLC
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(801) 836 - 2320
www.atslab.com

Civil

Design Resource Group
2459 Wilkinson Blvd STE 200, Charlotte, NC 28208
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designresourcegroup.com

ARCHITECTURAL SHEET LIST

- A000 COVER SHEET
- A001 GENERAL NOTES AND LEGENDS
- A002 APPENDIX B
- A003 LIFE SAFETY PLANS
- A004 WALL TYPES AND FIRE RATED ASSEMBLIES
- A005 PERSPECTIVES
- A010 SITE PLAN
- A101 FLOOR PLANS
- A102 REFLECTED CEILING PLANS
- A103 ROOF PLAN
- A201 ELEVATIONS
- A202 ELEVATIONS
- A301 BUILDING SECTIONS
- A302 WALL SECTIONS
- A303 WALL SECTIONS
- A304 WALL SECTIONS
- A305 WALL SECTIONS & DETAILS
- A401 ENLARGED PLANS
- A402 ENLARGED PLANS
- A403 ENLARGED PLANS
- A601 SCHEDULES
- A602 SCHEDULES

STRUCTURAL SHEET LIST

- S001 GENERAL NOTES
- S100 FOUNDATION & 2ND FLOOR FRAMING PLANS
- S200 2ND FLOOR CEILING & ROOF FRAMING PLANS
- S300 DETAILS
- S301 DETAILS

PLUMBING SHEET LIST

- P001 PLUMBING COVER SHEET
- P101 SANITARY PLAN
- P102 DOMESTIC WATER PLAN

MECHANICAL SHEET LIST

- M001 MECHANICAL COVER SHEET
- M100 MECHANICAL PLANS

ELECTRICAL SHEET LIST

- E001 ELECTRICAL COVER SHEET
- E002 ELECTRICAL SPECIFICATIONS
- E003 ELECTRICAL DETAILS
- E004 RISER DIAGRAM AND SCHEDULES
- E102 POWER PLANS
- E201 LIGHTING PLANS

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Revision Schedule

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PLAN NORTH	TRUE NORTH

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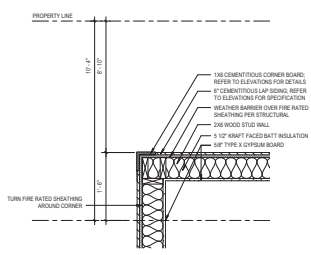
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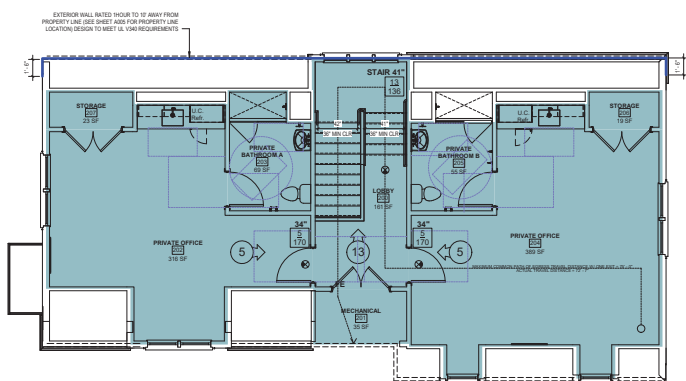
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3 FIRE RATED WALL PLAN DETAIL
A003 1" = 1/4"



2 LEVEL 02 LIFE SAFETY PLAN
A003 1/4" = 1/0"

- LIFE SAFETY NOTES:**
- THIS SHEET VOID UNLESS PRINTED IN COLOR.
 - FIRE EXTINGUISHERS TO BE SURFACE MOUNTED. FULL GLASS PNEUMATICALLY INSULATED TO RESIST HEAT FROM FIRE. PAINT TO MATCH ADJACENT WALL. FIRE-RATED WALL MOUNT FIRE EXTINGUISHERS AT 5' AFF. BACK TO TOP OF FIRE RATED WALL.
 - INSTALL FIRE EXTINGUISHERS AS DIRECTED BY FIRE DEPARTMENT.
 - REFER TO CODE SUMMARY, WALL TYPES AND LIFE SAFETY PLANS FOR FIRE RATED ASSEMBLY LOCATIONS.

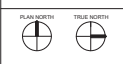
- LIFE SAFETY LEGEND:**
- EXIT SIGN
 - 68" EXIT WIDTH IN INCHES
 - 20' OCCUPANT LOAD
 - FE FIRE EXTINGUISHER
 - PH PANIC HARDWARE
 - 11R FIRE RATED - RATING UL V90

AREA	AREA	AREA	AREA	AREA	AREA	AREA	AREA	AREA	AREA
STAIR #1	138	STAIR #2	138	STAIR #3	138	STAIR #4	138	STAIR #5	138
LOBBY	170	LOBBY	170	LOBBY	170	LOBBY	170	LOBBY	170
PRIVATE OFFICE	238	PRIVATE OFFICE	238	PRIVATE OFFICE	238	PRIVATE OFFICE	238	PRIVATE OFFICE	238
PRIVATE BATHROOM A	59	PRIVATE BATHROOM B	59	PRIVATE BATHROOM A	59	PRIVATE BATHROOM B	59	PRIVATE BATHROOM A	59
STORAGE	233	STORAGE	233	STORAGE	233	STORAGE	233	STORAGE	233
MECHANICAL		MECHANICAL		MECHANICAL		MECHANICAL		MECHANICAL	

AREA	AREA	AREA	AREA	AREA	AREA	AREA	AREA	AREA	AREA
STAIR #1	138	STAIR #2	138	STAIR #3	138	STAIR #4	138	STAIR #5	138
LOBBY	170	LOBBY	170	LOBBY	170	LOBBY	170	LOBBY	170
PRIVATE OFFICE	238	PRIVATE OFFICE	238	PRIVATE OFFICE	238	PRIVATE OFFICE	238	PRIVATE OFFICE	238
PRIVATE BATHROOM A	59	PRIVATE BATHROOM B	59	PRIVATE BATHROOM A	59	PRIVATE BATHROOM B	59	PRIVATE BATHROOM A	59
STORAGE	233	STORAGE	233	STORAGE	233	STORAGE	233	STORAGE	233
MECHANICAL		MECHANICAL		MECHANICAL		MECHANICAL		MECHANICAL	

- OCCUPANCY COLOR LEGEND**
- BUSINESS @ 100 GROSS
 - S-2 STORAGE @ 300 GROSS
 - UTILITY @ 200 GROSS

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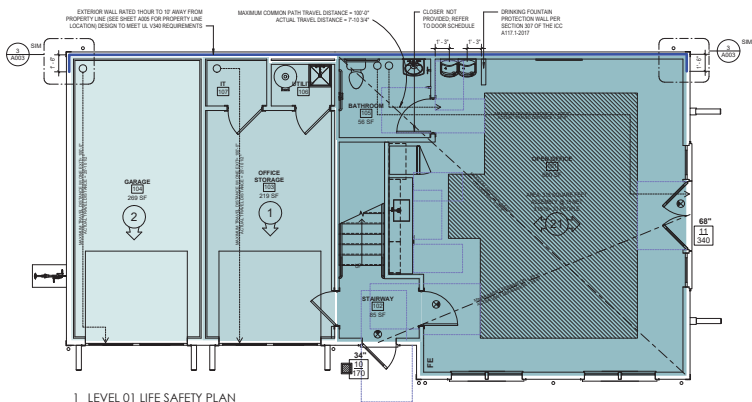


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LIFE SAFETY PLANS
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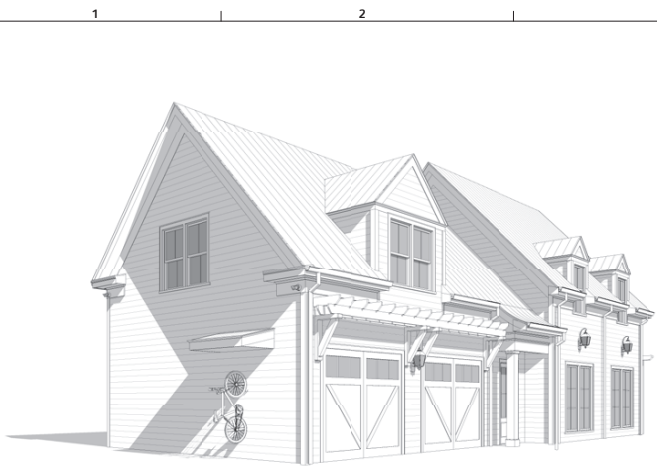
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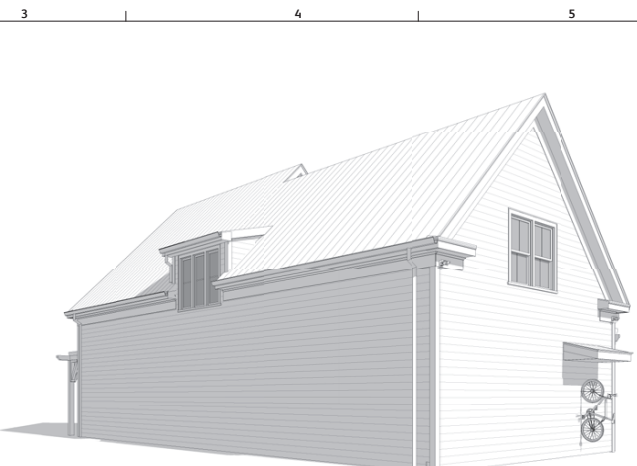


1 LEVEL 01 LIFE SAFETY PLAN
A003 1/4" = 1/0"

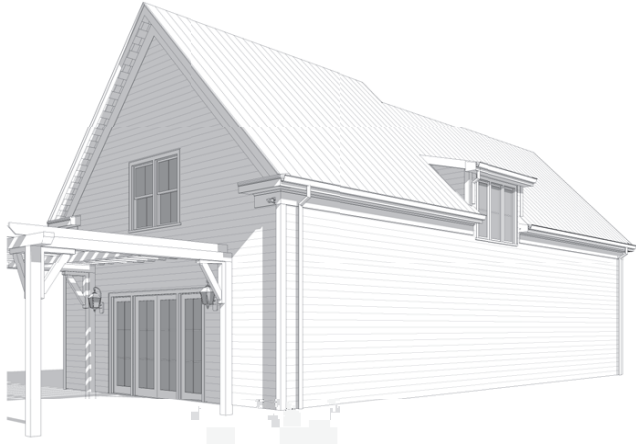
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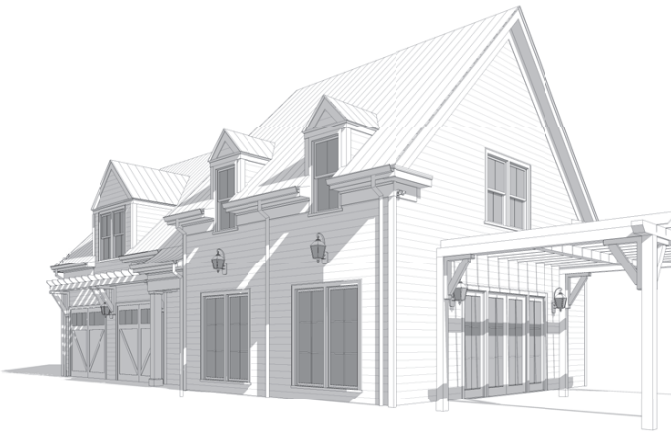
4 PERSPECTIVE FOUR
A005



3 PERSPECTIVE THREE
A005



2 PERSPECTIVE TWO
A005

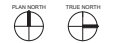


1 PERSPECTIVE ONE
A005

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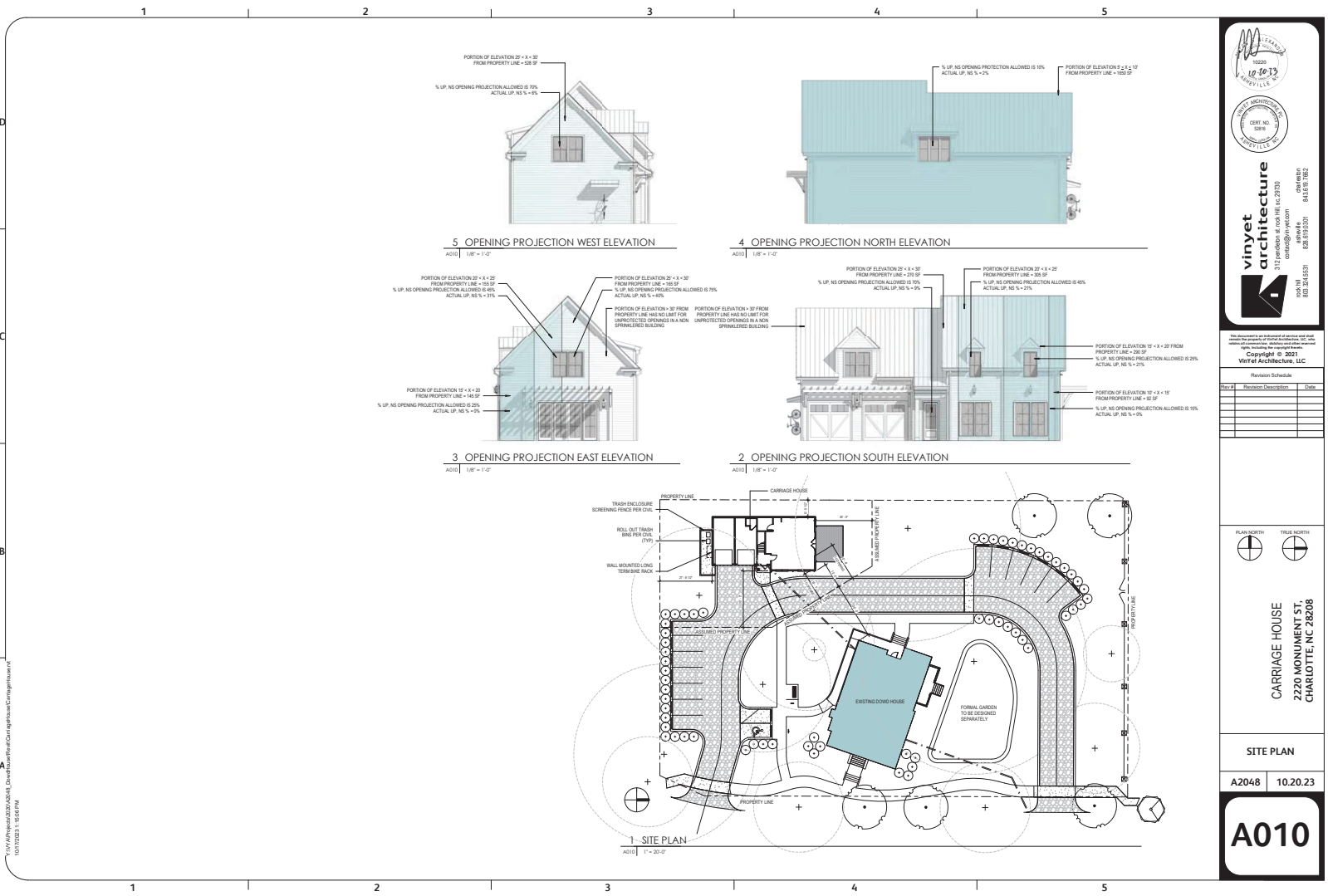
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PERSPECTIVES

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REVISION SCHEDULE

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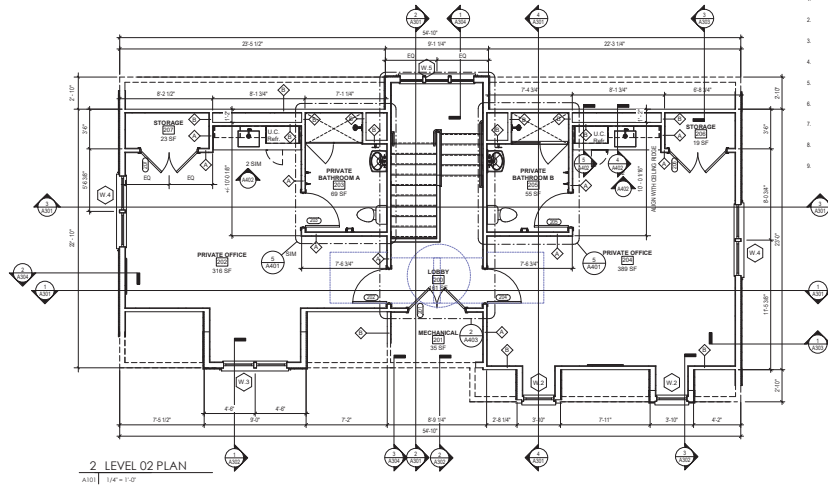
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SITE PLAN

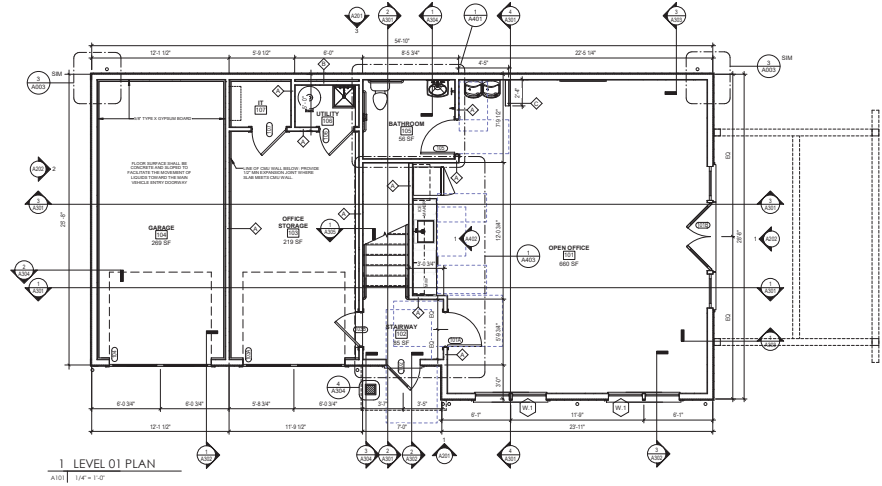
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- FLOOR PLAN NOTES**
1. ALL INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
 2. OPENING DIMENSIONS OF WINDOWS AND DOORS ARE TO CENTERLINE OF MANUFACTURED UNITS UNLESS OTHERWISE NOTED.
 3. CONTRACTOR TO VERIFY ALL ROUGH OPENING DIMENSIONS WITH MANUFACTURED UNIT PRIOR TO FRAMING.
 4. ALL WALL AND SLAB ARE AT 8" TO EACH OTHER UNLESS OTHERWISE NOTED.
 5. CONTRACTOR SHALL PROVIDE AND INSTALL ALL BLOCKING AND BRACING FOR CEILING ACCESSORIES ETC. AS REQUIRED.
 6. REFER TO BUILDING ELEVATIONS AND SECTIONS FOR ALL WINDOW STOREFRONT HEAD HEIGHTS.
 7. REFER TO BUILDING ELEVATIONS FOR ALL EXTERIOR FINISH MATERIALS, COLORS, AND TRIM DETAILS.
 8. ALL FIXTURE TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR PER THE MANUFACTURER'S RECOMMENDATIONS.
 9. DOORS TO BE 4" OFF STUD/GRID.



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PROJECT
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REVISION SCHEDULE

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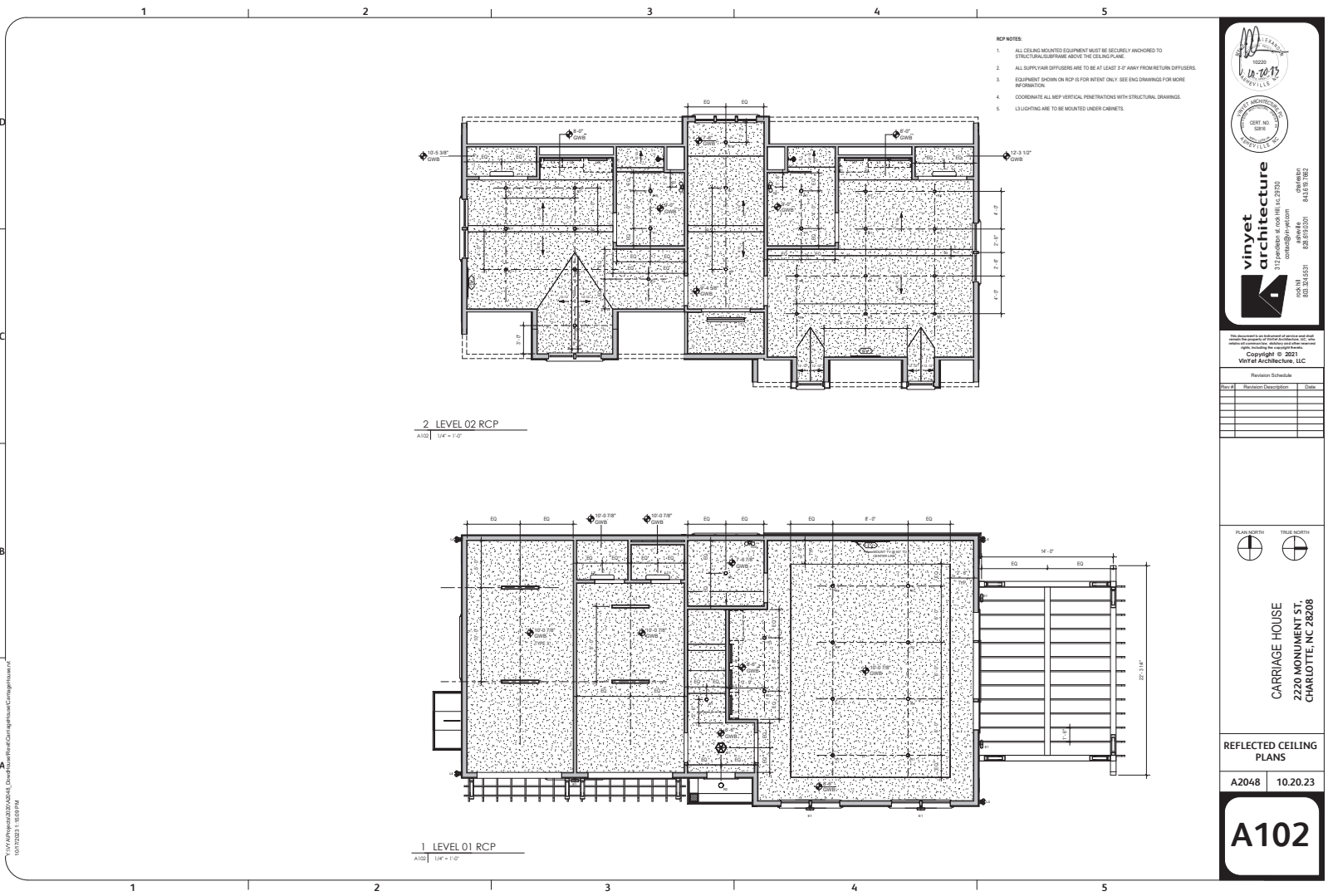
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FLOOR PLANS

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A101

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- RCP NOTES**
1. ALL CEILING MOUNTED EQUIPMENT MUST BE SECURELY ANCHORED TO STRUCTURAL/SUBFRAME ABOVE THE CEILING PLANE.
 2. ALL SUPPLY/AIR DIFFUSERS ARE TO BE AT LEAST 3'-0" AWAY FROM RETURN DIFFUSERS.
 3. EQUIPMENT SHOWN ON RCP IS FOR INTENT ONLY. SEE ENG DRAWINGS FOR MORE INFORMATION.
 4. COORDINATE ALL MEP VERTICAL PENETRATIONS WITH STRUCTURAL DRAWINGS.
 5. LIGHTING ARE TO BE MOUNTED UNDER CABINETS.

2 LEVEL 02 RCP
A102 | 1/4" = 1'-0"

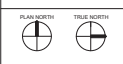
1 LEVEL 01 RCP
A102 | 1/4" = 1'-0"

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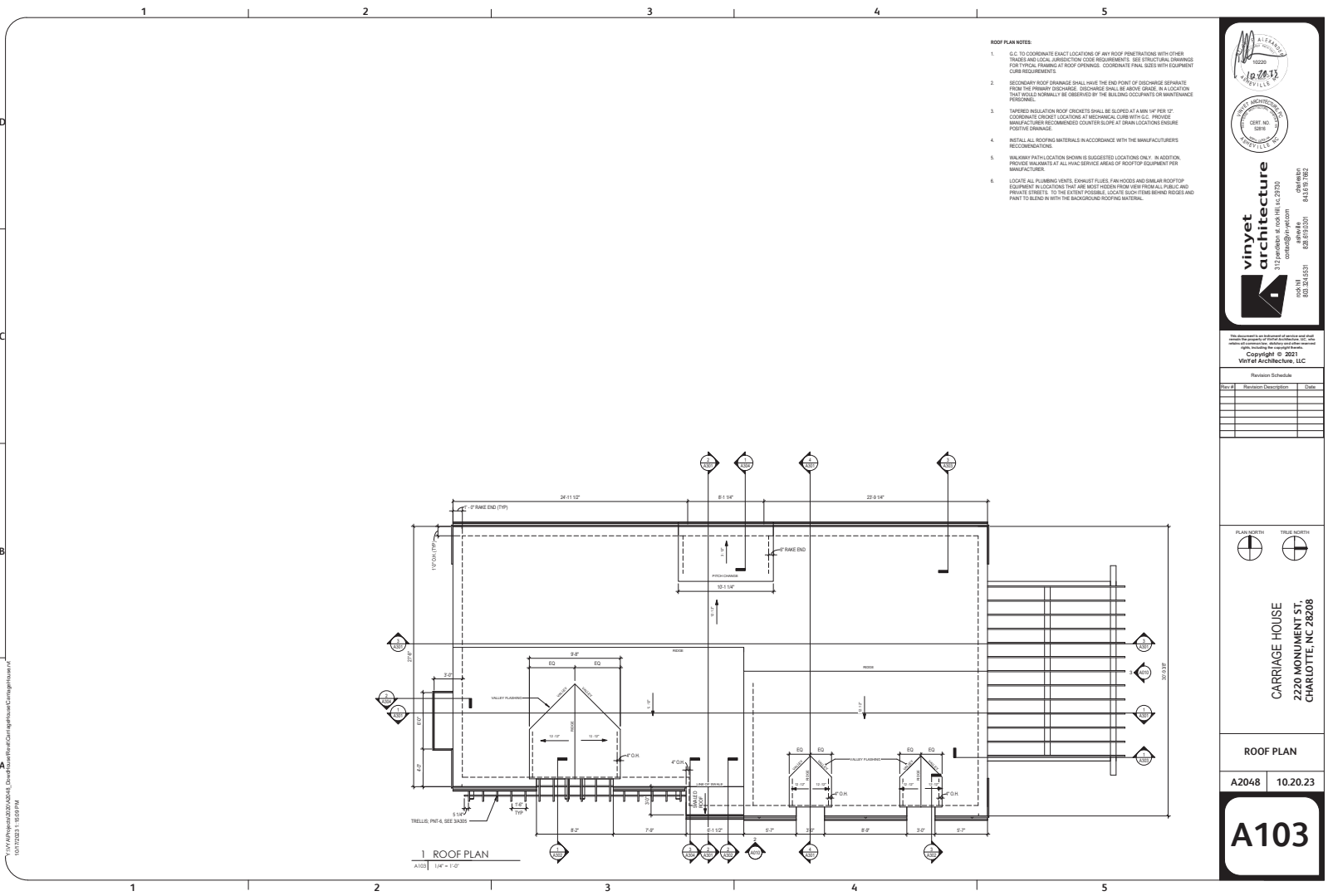
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REFLECTED CEILING PLANS

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A102

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- ROOF PLAN NOTES:**
1. G.C. TO COORDINATE EXACT LOCATIONS OF ANY ROOF PENETRATIONS WITH OTHER TRADES AND LOCAL JURISDICTION CODE REQUIREMENTS. SEE STRUCTURAL DRAWINGS FOR TYPICAL FRAMING AT ROOF OPENINGS. COORDINATE FINAL SIZES WITH EQUIPMENT CURB REQUIREMENTS.
 2. SECONDARY ROOF DRAINAGE SHALL HAVE THE END POINT OF DISCHARGE SEPARATE FROM THE PRIMARY DISCHARGE. DISCHARGE SHALL BE ABOVE GRADE. IN A LOCATION THAT WOULD NORMALLY BE OBSERVED BY THE BUILDING OCCUPANTS OR MAINTENANCE PERSONNEL.
 3. TAPERED INSULATION ROOF CROCKETS SHALL BE SLOPED AT A MIN. 1/4" PER 12". COORDINATE CROCKET LOCATIONS AT MECHANICAL CURB WITH G.C. PROVIDE MANUFACTURER RECOMMENDED COUNTER SLOPE AT DRAIN LOCATIONS ENSURE POSITIVE DRAINAGE.
 4. INSTALL ALL ROOFING MATERIALS IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
 5. WALKWAY WITH GRATES SHOWN IS SUGGESTED LOCATIONS ONLY. IN ADDITION, PROVIDE WALKWAYS AT ALL HVAC SERVICE AREAS OF ROOF TOP EQUIPMENT PER MANUFACTURER.
 6. LOCATE ALL PLUMBING VENTS, EXHAUST FUELS, FAN HOODS AND SIMILAR ROOFTOP EQUIPMENT IN LOCATIONS THAT ARE MOST HIDDEN FROM VIEW FROM ALL PUBLIC AND PRIVATE STREETS. TO THE EXTENT POSSIBLE, LOCATE EACH FAN/BURNER HOOD AND PAINT TO BLEND IN WITH THE BACKGROUND ROOFING MATERIAL.

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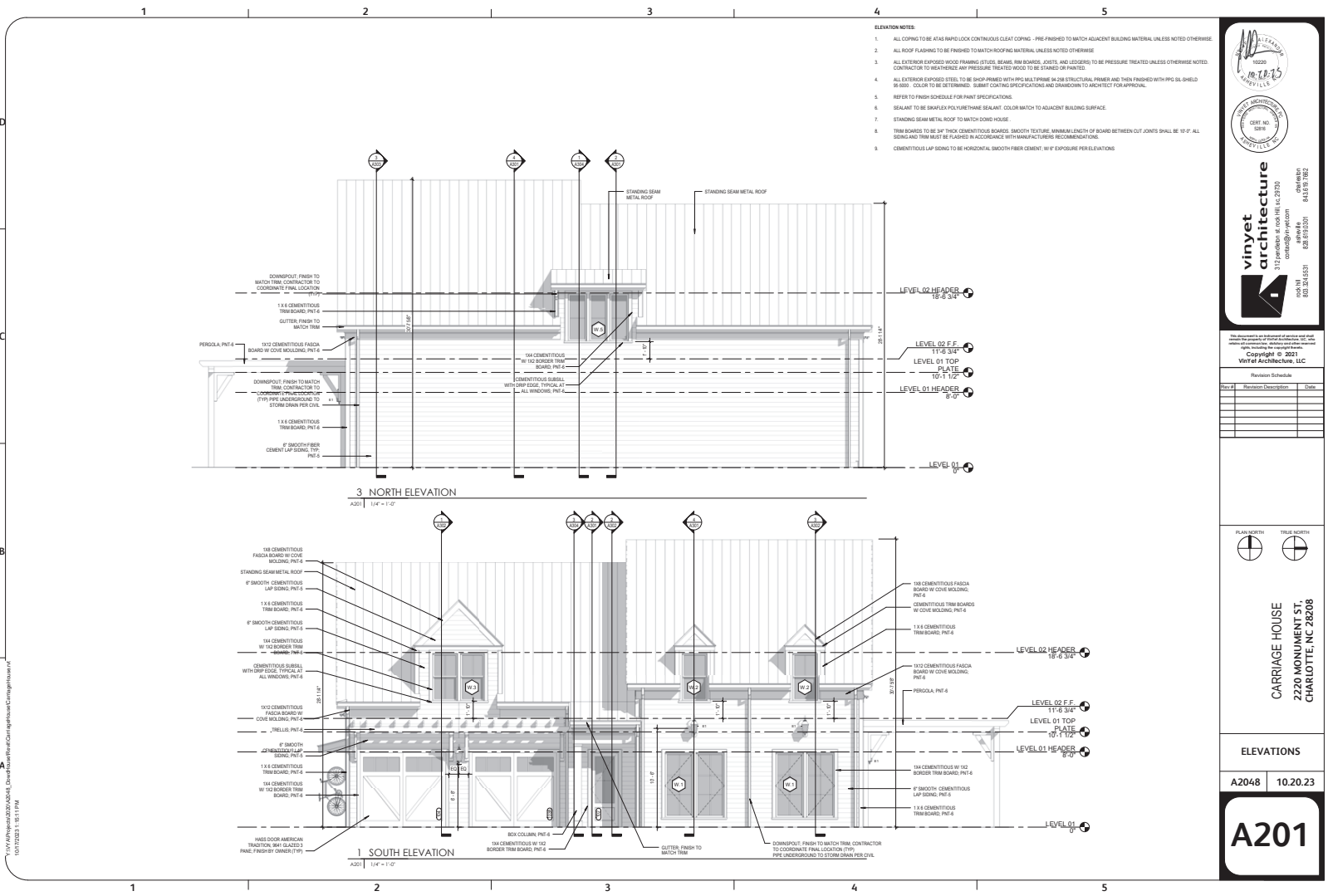
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ROOF PLAN

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- ELEVATION NOTES:**
1. ALL COPINGS TO BE AT 45° W/ 40° LOCK CONTINUOUS GLEAT COPING - P/66 FINISHED TO MATCH ADJACENT BUILDING MATERIAL UNLESS NOTED OTHERWISE.
 2. ALL ROOF FLASHING TO BE FINISHED TO MATCH ROOFING MATERIAL UNLESS NOTED OTHERWISE.
 3. ALL EXTERIOR EXPOSED WOOD FRAMING STUDS, BEAMS, RIM BOARDS, JOISTS, AND LINGERS TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED. CONTRACTOR TO WEATHERIZE ANY PRESSURE TREATED WOOD TO BE STAINED OR PAINTED.
 4. ALL EXTERIOR EXPOSED STEEL TO BE BOND-PRIMED WITH W/PO MULTIPRIME 34-268 STRUCTURAL PRIMER AND THEN FINISHED WITH W/PO SL-SHIELD W-800. COLOR TO BE DETERMINED. SUBMIT COLOR SPECIFICATIONS AND SWATCHBOOK TO ARCHITECT FOR APPROVAL.
 5. REFER TO FINISH SCHEDULE FOR PAINT SPECIFICATIONS.
 6. SEALANT TO BE SKAFLEX POLYURETHANE SEALANT. COLOR MATCH TO ADJACENT BUILDING SURFACE.
 7. STANDING SEAM METAL ROOF TO MATCH DOWN HOUSE.
 8. TRIM BOARDS TO BE 3/4" THICK CEMENTITIOUS BOARD, SMOOTH TEXTURE MINIMUM 1/8" OF BOARD BETWEEN CUT JOINTS SHALL BE 10'-0". ALL BOARDS AND TRIM MUST BE FLASHED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 9. CEMENTITIOUS LAP SOING TO BE HORIZONTAL, SMOOTH FIBER CEMENT, W/ F EXPOSURE PER ELEVATIONS.

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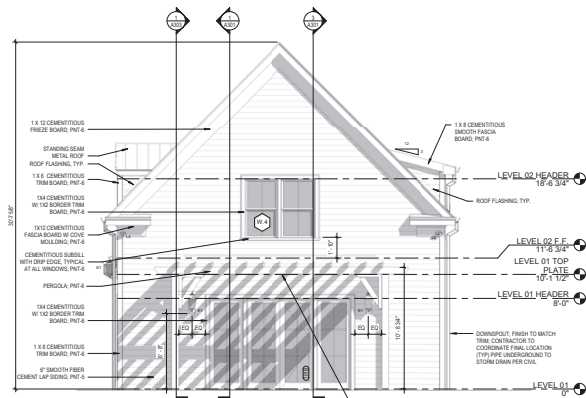
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ELEVATIONS

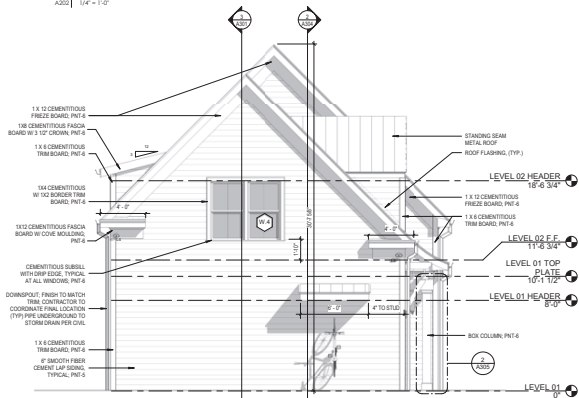
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A201

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1 EAST ELEVATION
A202 1/4" = 1'-0"

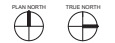


2 WEST ELEVATION
A202 1/4" = 1'-0"

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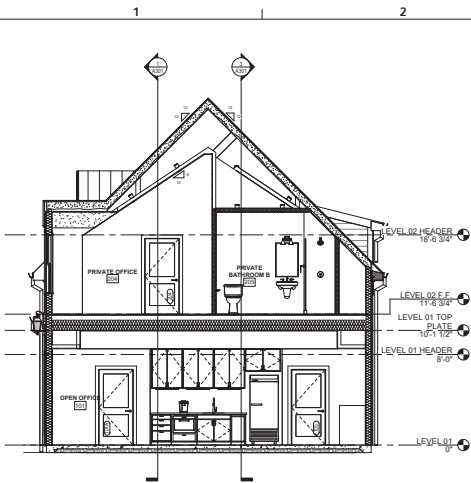
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ELEVATIONS

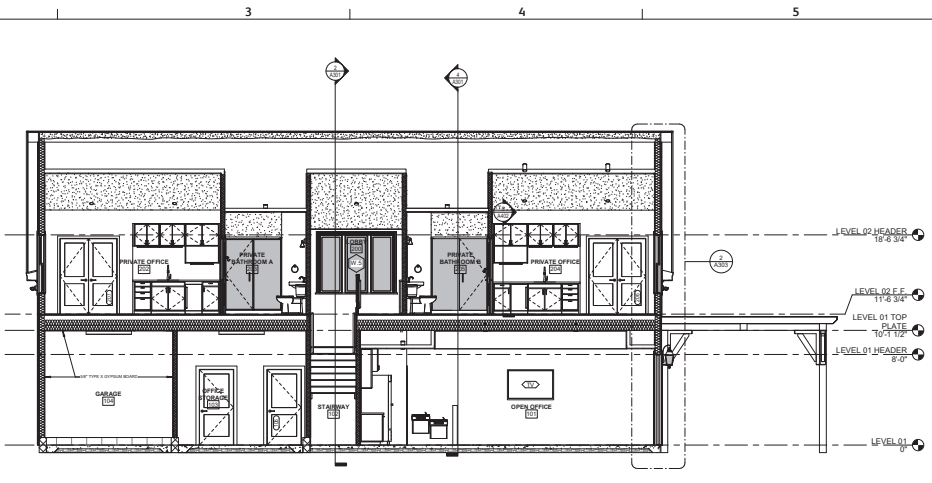
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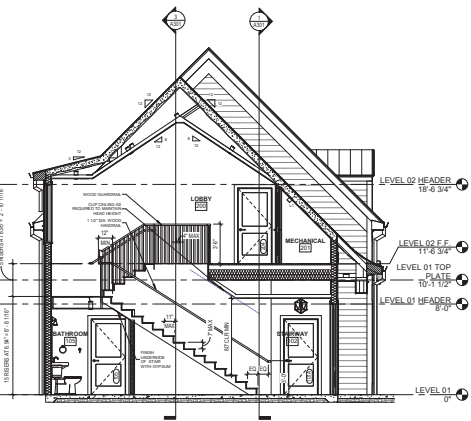
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4 SECTION 04
A301 | 1/4" = 1'-0"



3 SECTION 03
A301 | 1/4" = 1'-0"



2 SECTION 02
A301 | 1/4" = 1'-0"



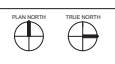
1 SECTION 01
A301 | 1/4" = 1'-0"

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Revision Schedule	Revision Description	Date

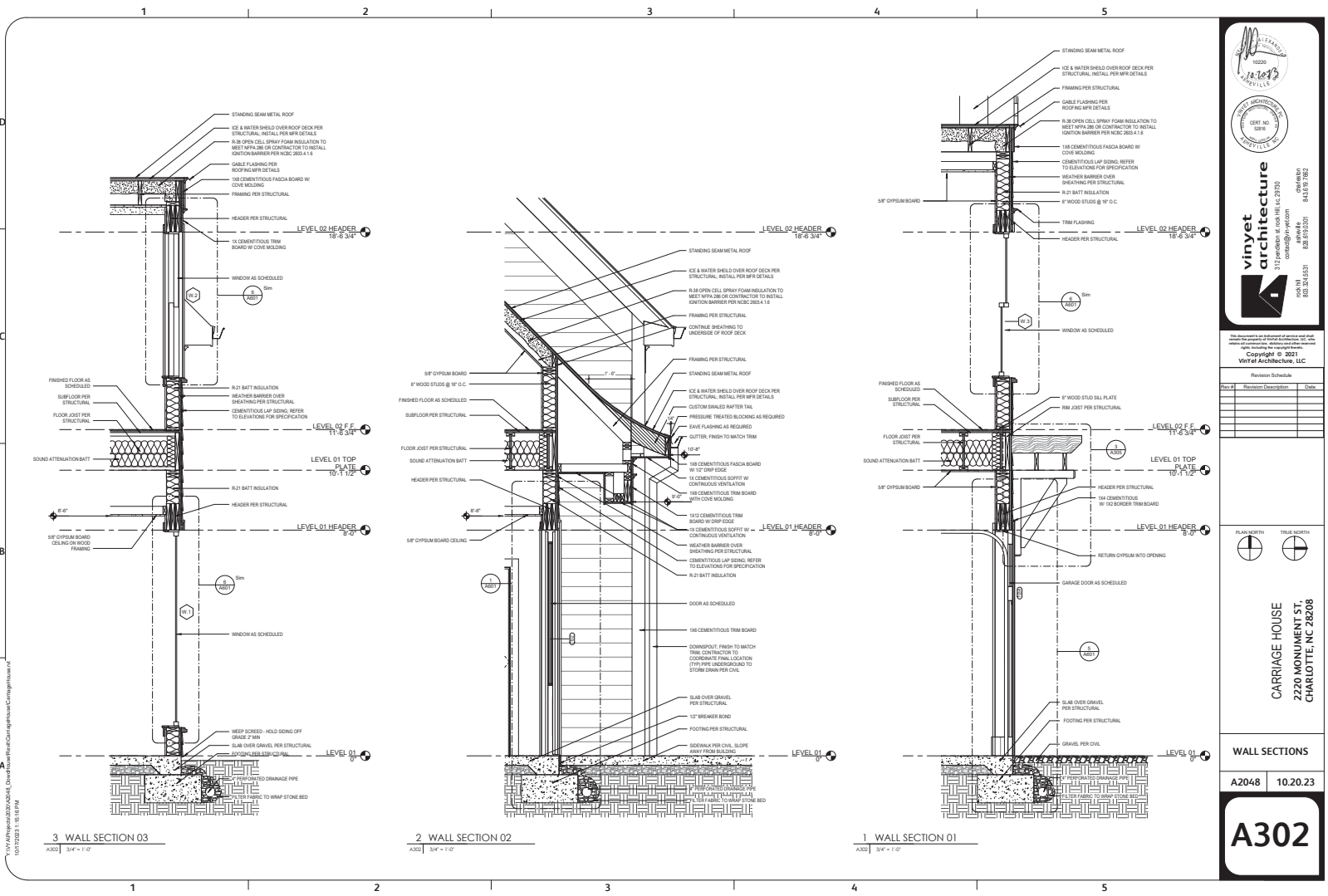


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BUILDING SECTIONS

A2048 | 10.20.23

A301



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Revisions Schedule

Rev#	Revision Description	Date

PLAN NORTH TRUE NORTH

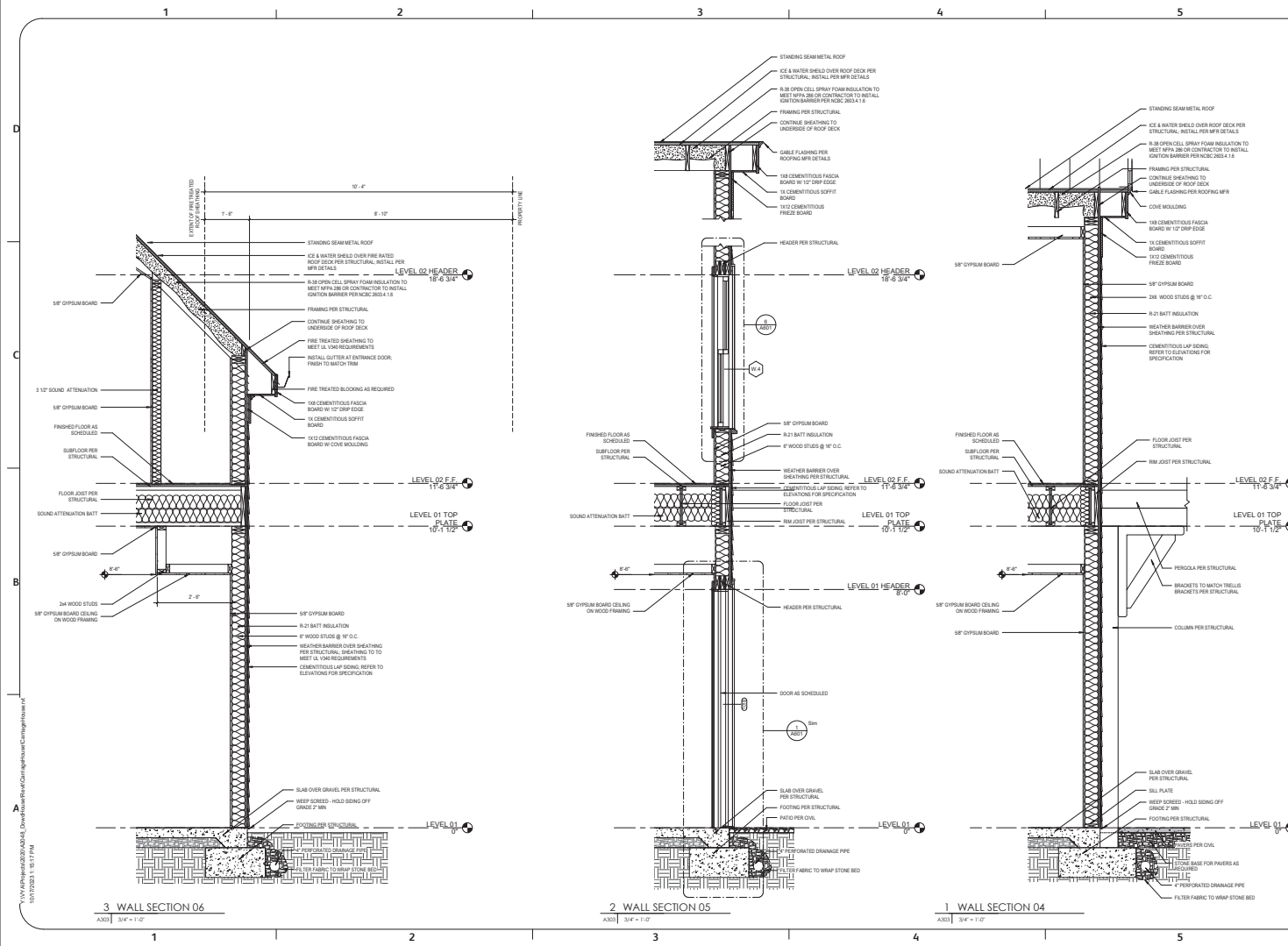
CARRIAGE HOUSE
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 CHARLOTTE, NC 28208

WALL SECTIONS

A2048 10.20.23

A302

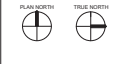
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Rev #	Revision Description	Date

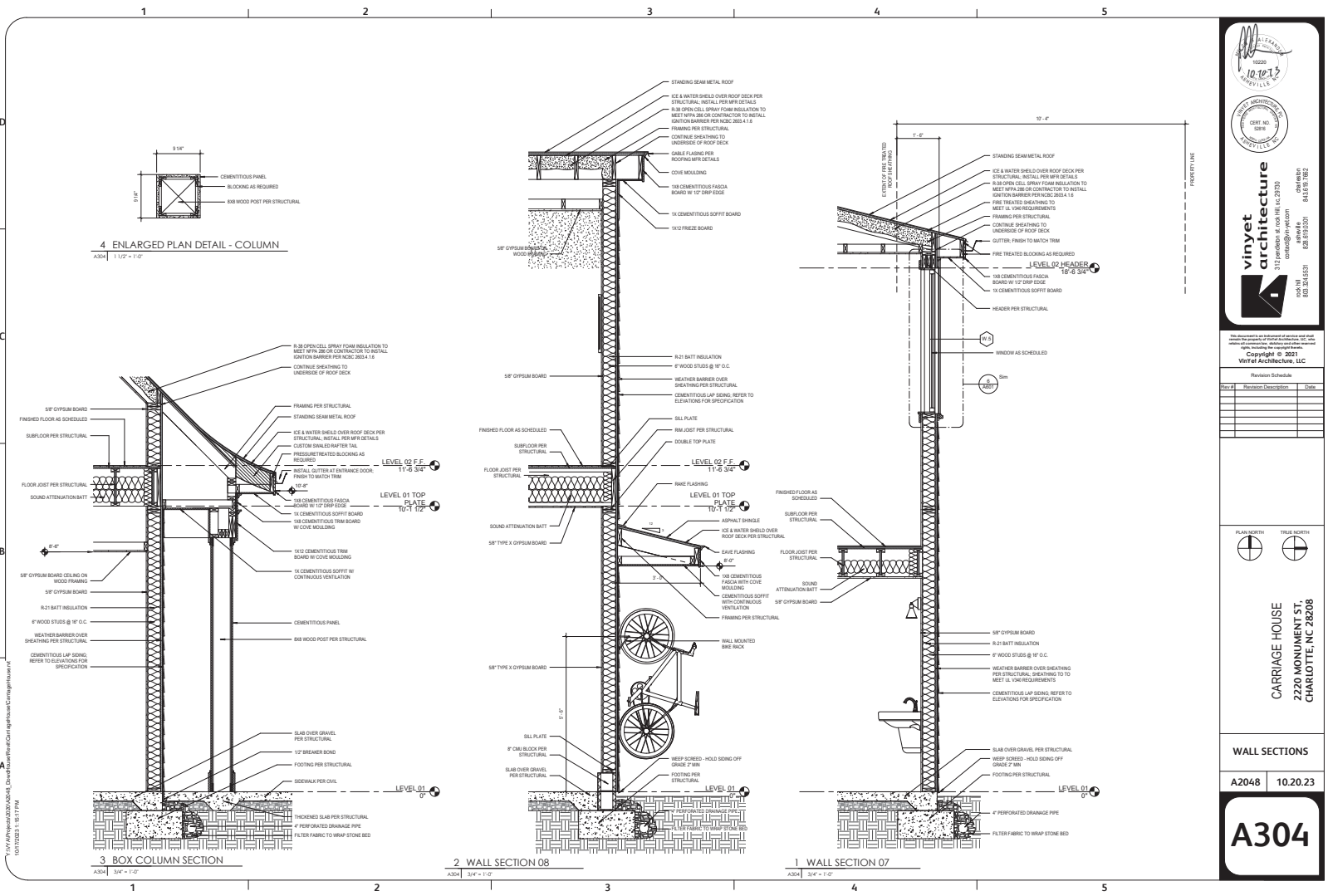


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WALL SECTIONS
A2048 10.20.23

A303

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Revisions Schedule

Rev #	Revision Description	Date

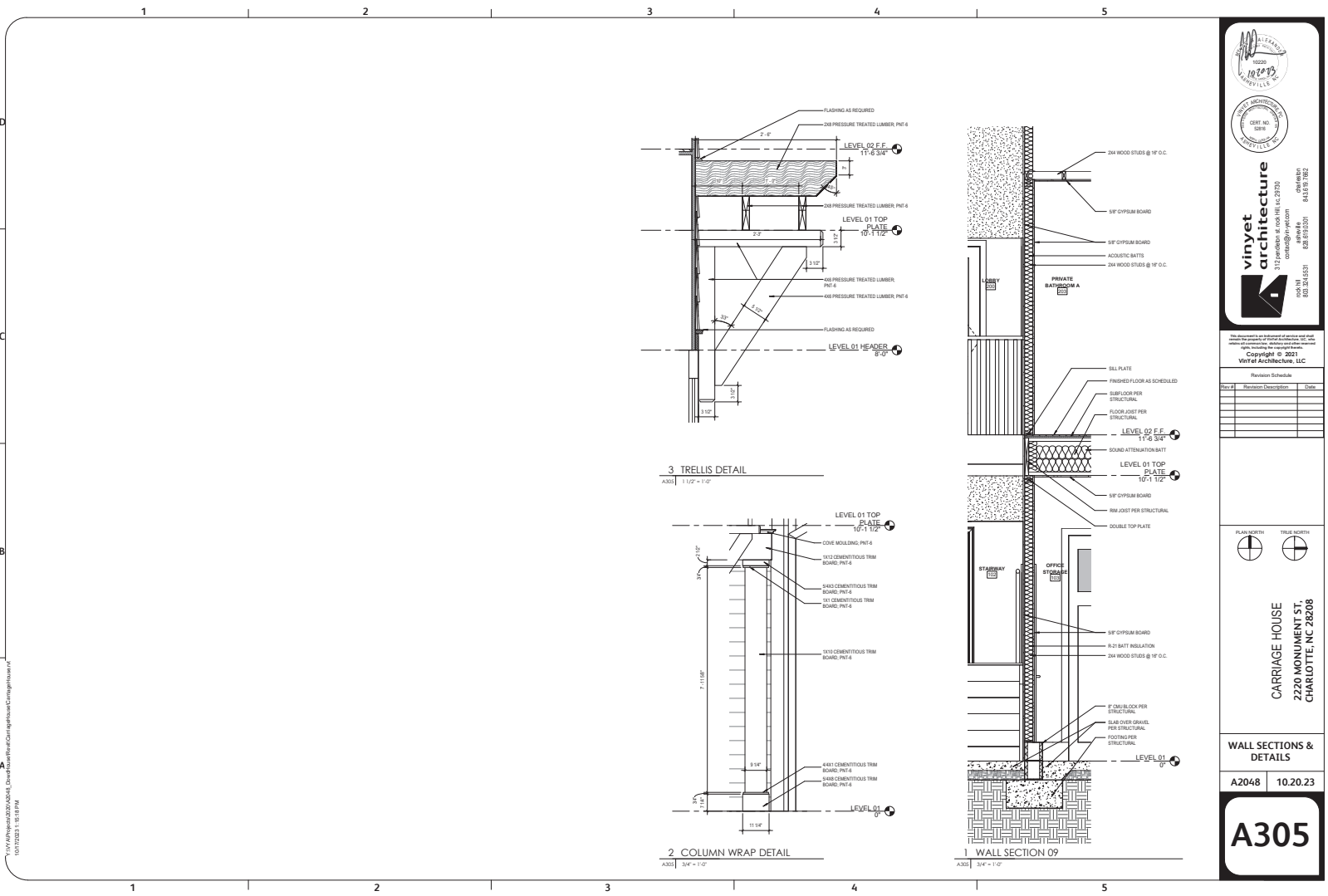
PLAN NORTH TRUE NORTH

CARRIAGE HOUSE
 2220 MONUMENT ST.
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WALL SECTIONS

A2048 10.20.23

A304

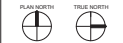


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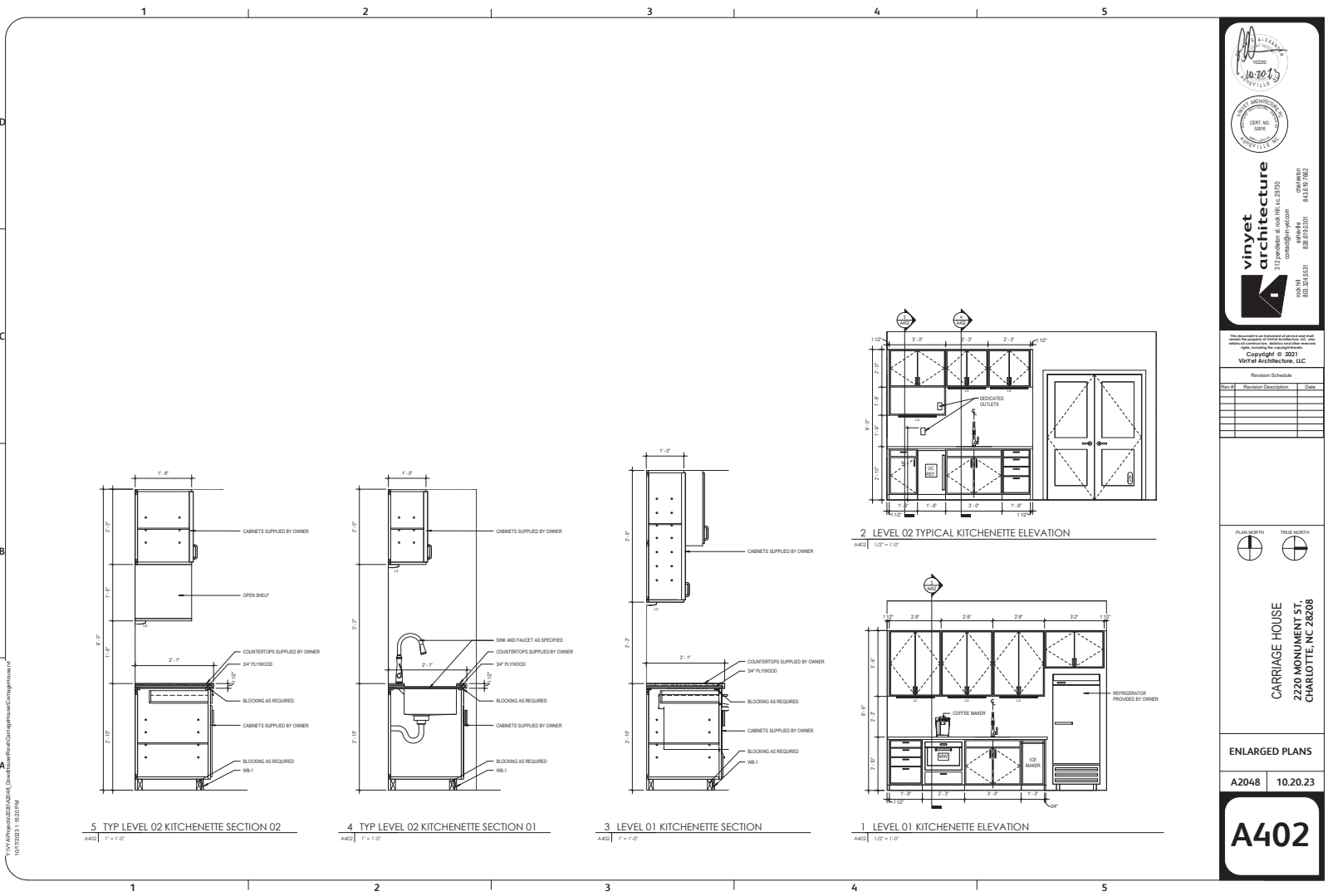
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WALL SECTIONS & DETAILS

A2048 10.20.23

A305

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5 TYP LEVEL 02 KITCHENETTE SECTION 02
A402 1" = 1'-0"

4 TYP LEVEL 02 KITCHENETTE SECTION 01
A402 1" = 1'-0"

3 LEVEL 01 KITCHENETTE SECTION
A402 1" = 1'-0"

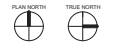
2 LEVEL 02 TYPICAL KITCHENETTE ELEVATION
A402 1/2" = 1'-0"

1 LEVEL 01 KITCHENETTE ELEVATION
A402 1/2" = 1'-0"



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ENLARGED PLANS

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A402

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NUMBER	NAME	BASE	R. DIM	WALL FINISH						CEILING	COMMENTS
				W/TH	SC/TH	ACE	SEEP	CEILING	COMMENTS		
01	OPEN OFFICE	WB-1	CE-1	PN-1	PN-1	PN-1	PN-1	PN-1	PN-1		
02	STAIRWAY	WB-1	WOOD TRIM	PN-1	PN-1	PN-1	PN-1	PN-1	PN-1		MATCH TRIM TO 001
03	OFFICE STORAGE	WB-1	ST-1	PN-1	PN-1	PN-1	PN-1	PN-1	PN-1		
04	CORRIDOR	WB-1	ST-1	PN-1	PN-1	PN-1	PN-1	PN-1	PN-1		
05	BATHROOM	WB-1	ST-1	PN-2	PN-2	PN-2	PN-2	PN-2	PN-2		
06	UTILITY	WB-1	ST-1	PN-2	PN-2	PN-2	PN-2	PN-2	PN-2		
07	LOBBY	WB-1	WB-1	PN-1	PN-1	PN-1	PN-1	PN-1	PN-1		
08	MECHANICAL	WB-1	WB-1	PN-1	PN-1	PN-1	PN-1	PN-1	PN-1		
09	PRIVATE OFFICE	WB-1	WB-1	PN-1	PN-1	PN-1	PN-1	PN-1	PN-1		
10	PRIVATE BATHROOM	WB-1	CT-1 @ CT-2	PN-2	PN-2	PN-2	PN-2	PN-2	PN-2		WT-1 @ SHOWER WALLS
11	PRIVATE OFFICE	WB-1	WB-1	PN-1	PN-1	PN-1	PN-1	PN-1	PN-1		
12	STORAGE	WB-1	WB-1	PN-1	PN-1	PN-1	PN-1	PN-1	PN-1		

FINISH NOTES

- GENERAL**
- ALL INTERIOR WALL AND CEILING FINISHES ARE CLASS A AND MEET THE REQUIREMENTS IN TABLE 803.11 IN THE 2018 NORTH CAROLINA BUILDING CODE. ALL FLOOR FINISHES AND FLOOR COVERINGS MEET SECTION 904.2 CLASS 1 IN ACCORDANCE WITH IBC.
 - FURNISH AND INSTALL ALL MATERIALS IN COMPLIANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS.
 - FINISH LEVEL TO MEET OR EXCEED ASTM D4418 LEVEL 5. CONTRACTOR TO PRESERVE WORK, CLEAN, SAND SURFACES AS REQUIRED TO ACHIEVE REQUIRED FINISH.
 - ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE INTERIOR DESIGNER'S ATTENTION IMMEDIATELY. SHOPFILES MUST BE SUBMITTED TO THE INTERIOR DESIGNER FOR APPROVAL BEFORE ANY SUBSTITUTIONS CAN BE ACCEPTED.
 - NO IDENTIFICATIONS WILL BE ALLOWED EXCEPT AS APPROVED BY ARCHITECT.
 - ANY FINISH FOUND TO BE IN CONFLICT WITH DETAILS OR PLANS SHALL BE CLARIFIED WITH THE ARCHITECT PRIOR TO BIDDING.
 - ALL THE EXPOSURE CABINETS, ELECTRICAL PANELS AND METAL GRILLS TO BE PAINTED ENAMEL PAINT TO MATCH ADJACENT WALL U.G.O.
- FLOORING**
- TRANSITION BETWEEN DISSIMILAR FLOOR FINISHES TO OCCUR AT CENTERLINE OF DOOR WHEN CLOSED. UNLS.
 - EXTEND FLOOR FINISH MATERIALS UNDER ANY MILLWORK THAT DOES NOT MEET THE FLOOR AND INTO ANEED AND TOE KICK SPACES, DOOR REVEALS, AND SIMILAR OPENINGS.
- WALLS**
- ALL WALLCOVERING TO BE INSTALLED FOLLOWING THE MANUFACTURERS WRITTEN INSTRUCTIONS AND HANGING METHOD.
 - ALL JOINT FACERS SHALL BE SAME FINISH AS ADJACENT WALL FINISH UNLS.
- MILLWORK**
- MILLWORK PROVIDED BY OWNER.
- CEILING**
- ALL GYPSUM BOARD CEILING, INCLUDING BULKHEADS, TO BE PAINTED PNT-3 UNLS.

FINISH LEGEND						
FINISH CODE	MATERIAL	PRODUCT DESCRIPTION	PATTERN	COLOR	SIZE	COMMENTS
OP-1	CARPET TILES	SELECTION BY OWNER - PROVIDED INSTALLED BY GC		BY OWNER	BY OWNER	INSTALL PER MANUFACTURERS RECOMMENDATIONS
CT-1	CERAMIC TILE - FLOOR	SELECTION BY OWNER - PROVIDED INSTALLED BY GC		BY OWNER	BY OWNER	COORDINATE THRESHOLD AT TRANSITION FROM TILE TO ADJACENT FLOORING - TRANSITION TO BE NOT MORE THAN 1/8" BEVELLED
CT-2	CERAMIC TILE - SHOWER FLOOR	SELECTION BY OWNER - PROVIDED INSTALLED BY GC		BY OWNER	BY OWNER	COORDINATE THRESHOLD AT TRANSITION FROM TILE TO ADJACENT FLOORING - TRANSITION TO BE NOT MORE THAN 1/8" BEVELLED
CSB-1	CERAMIC TILE BASE	SELECTION BY OWNER - PROVIDED INSTALLED BY GC		BY OWNER	BY OWNER	
EP-1	EPICURE COATING	PRIMER: PPO FLOORING CONCRETE EPOXY PRIMER AT A RATE OF 250 SQ GAL EPOXY. PPO FLOORING SELF-LEVELING EPOXY AT A RATE OF 150 SQ GAL. URETHANE TOP COAT: PPO FLOORING WEAR RESISTANT URETHANE AT A RATE OF 100 SQ GAL.		BY OWNER	BY OWNER	COMMENT: SECTIONS CONCRETE FLOOR TO BE DAMAGED GROUND OR SPOT PATCH TO SURFACE PROFILE OF SSP 184-4. ENSURE POSITIVE FLOOR DRAINAGE TO ANY FLOOR DRAIN
HW-1	HARDWOOD	OWNER PROVIDED GLE DOWN HARDWOOD - GC INSTALLED		BY OWNER	BY OWNER	INSTALL PER MANUFACTURERS RECOMMENDATIONS
LVT-1	LUXURY VINYL TILE	SELECTION BY OWNER - PROVIDED INSTALLED BY GC		BY OWNER	BY OWNER	INSTALL PER MANUFACTURERS RECOMMENDATIONS
PN-1	PAINT	ONE COAT LATEX PRIMER - SHERWIN WILLIAMS PRO-MAR 200 EXTERIOR OR EQUAL PLUS TWO COATS LATEX INTERIOR - SHERWIN WILLIAMS PRO-MAR 300 501-300 SERIES OR EQUAL.	EGG-SHELL FINISH	BY OWNER		INTERIOR WALL
PN-2	PAINT	ONE COAT LATEX PRIMER - SHERWIN WILLIAMS PRO-MAR 200 EXTERIOR OR EQUAL PLUS TWO COATS INDUSTRIAL PRE-CATALYZED WATER BASED EPOXY - SHERWIN WILLIAMS PRO INDUSTRIAL 875-300 SERIES OR EQUAL.	SEMI-GLOSS FINISH	BY OWNER		INTERIOR WALL - WASHABLE
PN-3	PAINT	ONE COAT LATEX PRIMER - SHERWIN WILLIAMS PRO-MAR 200 EXTERIOR OR EQUAL PLUS TWO COATS LATEX INTERIOR - SHERWIN WILLIAMS PRO-MAR 300 501-300 SERIES OR EQUAL.	FLAT FINISH	BY OWNER		INTERIOR CEILING
PN-4	PAINT	ONE COAT LATEX PRIMER - SHERWIN WILLIAMS PRO-MAR 200 EXTERIOR OR EQUAL PLUS TWO COATS INDUSTRIAL PRE-CATALYZED WATER BASED EPOXY - SHERWIN WILLIAMS PRO INDUSTRIAL 875-300 SERIES OR EQUAL.	SEMI-GLOSS FINISH	BY OWNER		INTERIOR TRIM
PN-5	PAINT	MINIMUM TWO COATS PREMIUM EXTERIOR LATEX, SELF PRIMING, 100% ACRYLIC - SHERWIN WILLIAMS KAB SERIES OR EQUAL.	FLAT FINISH	BY OWNER		EXTERIOR BODY
PN-6	PAINT	MINIMUM TWO COATS PREMIUM EXTERIOR LATEX, SELF PRIMING, 100% ACRYLIC - SHERWIN WILLIAMS KAB SERIES OR EQUAL.	SATIN FINISH	BY OWNER		EXTERIOR TRIM
WB-1	WOOD WALL BASE	1 1/2" PAINT GRADE WOOD BASE WITH 3/4" ROUND SHOE MOLDING		106		FINISH TO MATCH PNT-4
WT-1	WALL TILE	SELECTION BY OWNER - PROVIDED INSTALLED BY GC		BY OWNER	BY OWNER	GROUT TO BE 3/32" W/ICE NON-SANDED EPOXY GROUT

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Revision Schedule

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SCHEDULES

A2048	10.20.23
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A602

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