

**Staff Report and Comments
Charlotte Fire Station No. 4
420 West Fifth Street, Charlotte, NC
Application for COA HLC334**

Exhibits presented to and considered by the Commission:

Exhibit A – Project description from the application

Renovation to the Historical Fire Station 04 will consist of exterior window/ door replacement. The front of the building will have removable planter boxes and tables/ chairs. Constructed a new ADA concrete ramp and stair off the back of the building. Interior renovation consists of first floor renovation to a bar/ seating area with restrooms. Second floor will consist of general cleaning and patch, The first floor will be occupied, and second floor will be unoccupied.

Exhibit B – Map

Exhibit C - Project Plans

Based upon the information presented in the application, staff offers the following suggested findings of fact:

1. The HLC has acknowledged the need to alter or add to a historic property to meet continuing or new uses while retaining the property's historic character.
2. The plan is in accord with HLC Standards 2 and 5 in that nearly all of the exterior changes to the front and side elevations involve non-original doors and windows.
3. The proposed ADA compliant ramp and new concrete steps will require the demolition of a non-original addition and will not significantly obscure the rear elevation and are in accord with HLC Standard 9.
4. The proposed alterations to the interior are in accord with HLC Standards 2 and 5 in that minimal demolition will be required and changes to the two-story office will restore the historic design.
5. The proposed rear ramp and stairs, and the new interior feature could be removed in the future without compromising the historic character of the property in accordance with HLC Standard 10.
6. The presented plan has been approved by the Charlotte Historic District Commission.

Staff suggests that the Commission approve the application as presented.

THE STANDARDS

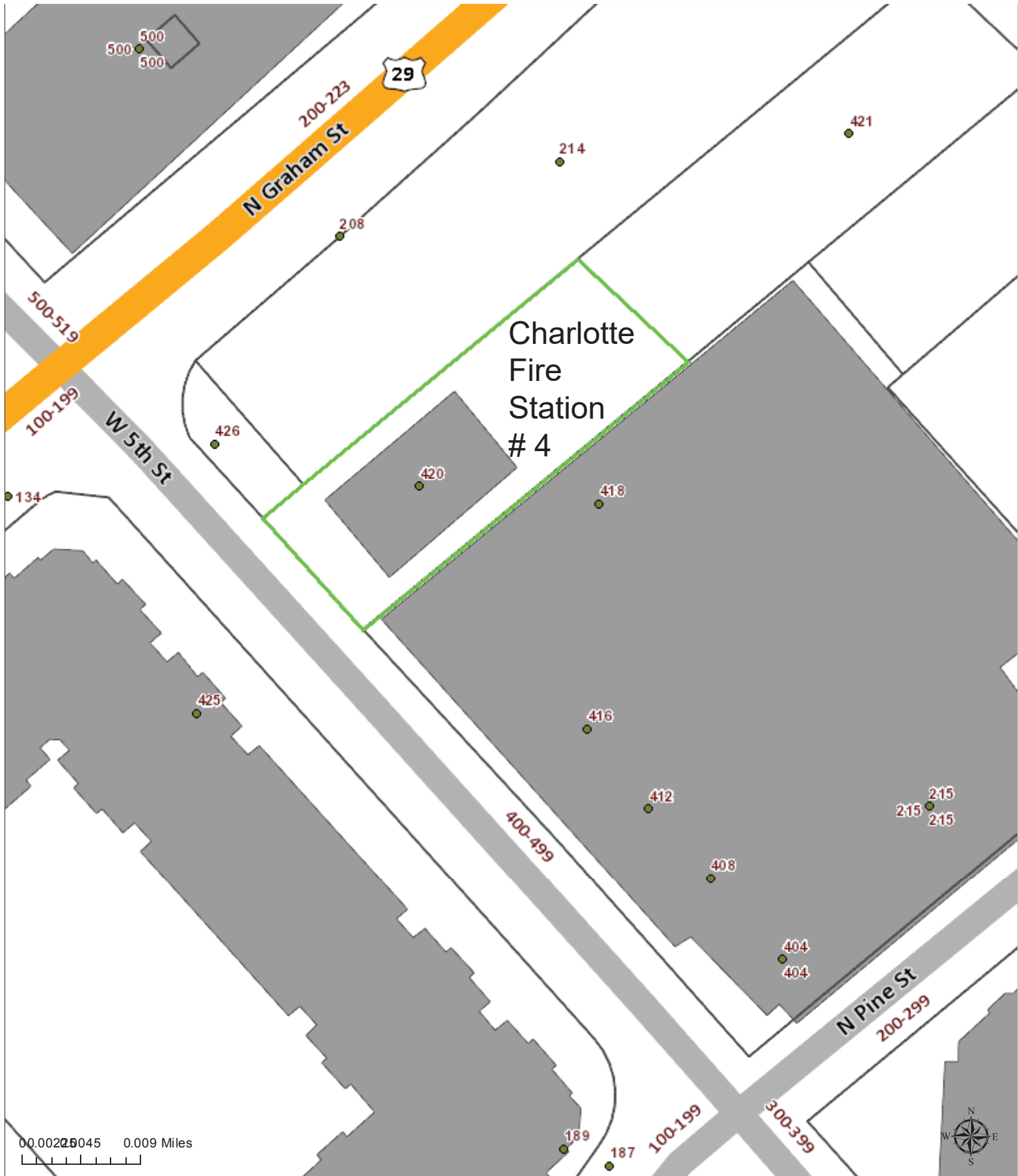
Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. Alterations, new additions, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Polaris 3G Map – Mecklenburg County, North Carolina

EXHIBIT B

Date Printed: 8/8/2023 11:39:23 AM



This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and data. Users of this map or report are hereby notified that the aforementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no legal responsibility for the information contained herein.

HISTORICAL FIRE STATION 4

EXHIBIT C



HISTORICAL APPLICATION: HDCCMI-2023-00237

JULY 12, 2023



REDLINE
925 Tuckaseegee Rd.
Suite 110
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704.377.2990
www.redlinedg.com

No. 4 Historical Fire Station Renovations

420 W 5TH STREET
CHARLOTTE, NC 28202

#	Δ	DESCRIPTION	DATE
1		HCD APPLICATION	6.22.23
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EXISTING CONDITIONS PHOTOS

SCALE: **A0-1**



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No. 4 Historical Fire Station Renovations

420 W 5TH STREET
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CFD PROJECT CODE: 22-036
ARCH. PROJECT #

HISTORICAL PHOTOS

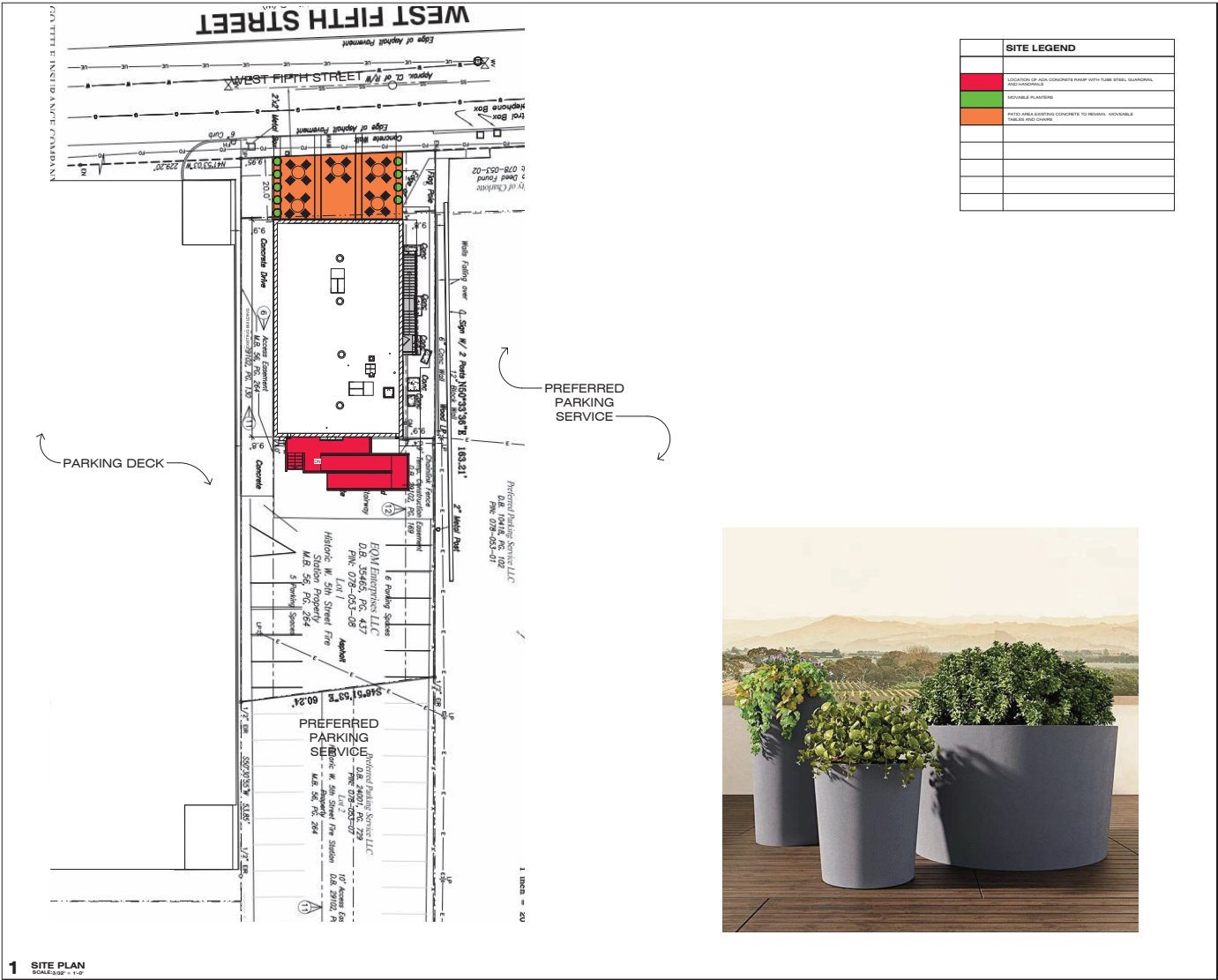
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CHARLOTTE FIRE DEPARTMENT NO. 4
2023





SITE LEGEND	
[Red Box]	LOCATION OF ADA COMPLIANT RAMP WITH TUBE STEEL, BURNING, AND HANDRAILS
[Green Box]	MOVABLE PLANTERS
[Orange Box]	PAVED AREA EXISTING CONCRETE TO REMAIN, INDICABLE FROM THE AIR COVER





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No. 4 Historical Fire Station

Renovations

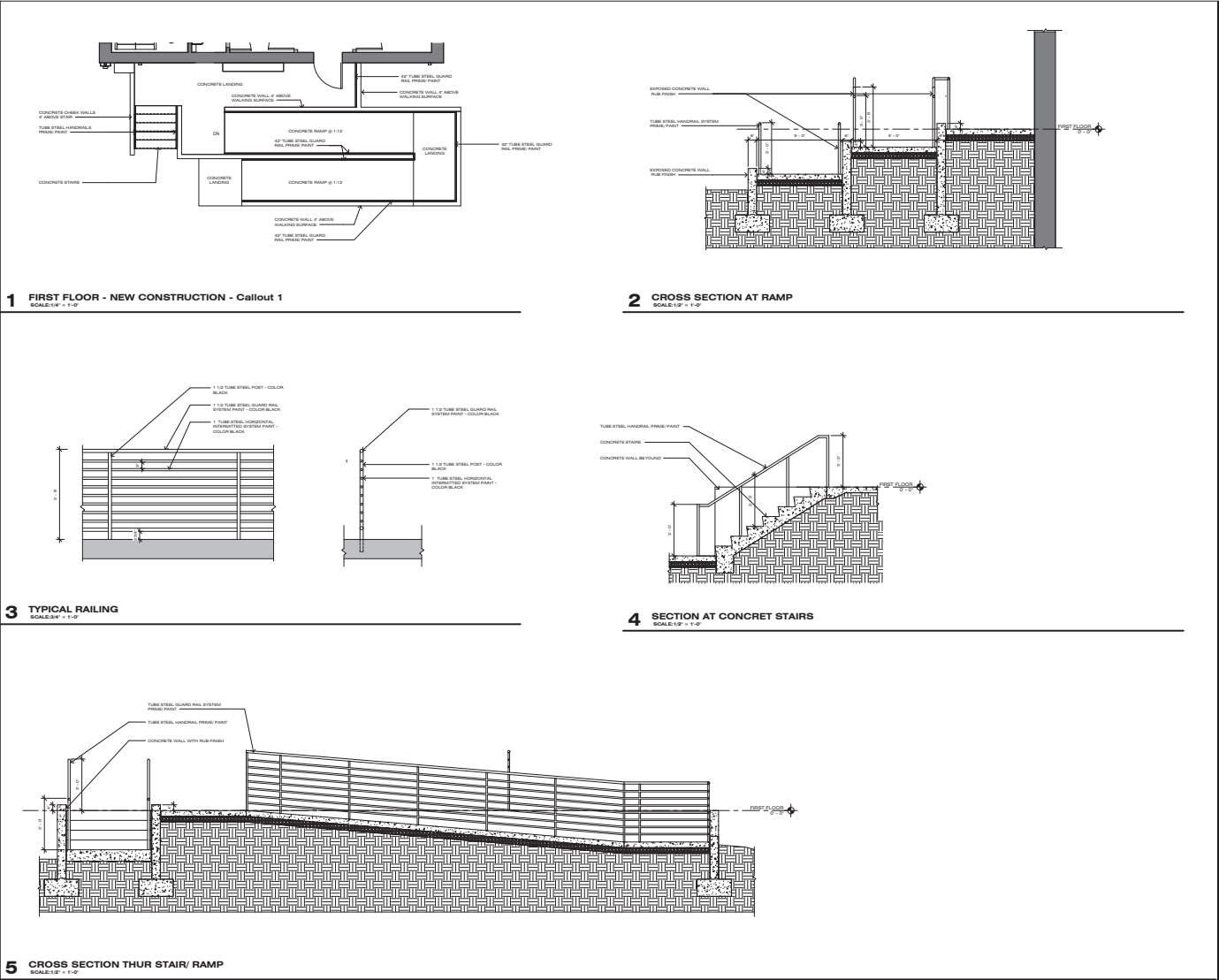
420 W 5TH STREET
CHARLOTTE, NC
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ARCH PROJECT CODE: CPO
ARCH. PROJECT #: 22-036
ARCHITECTURAL SITE PLAN
SCALE: As Indicated
SHEET # **A0.3**



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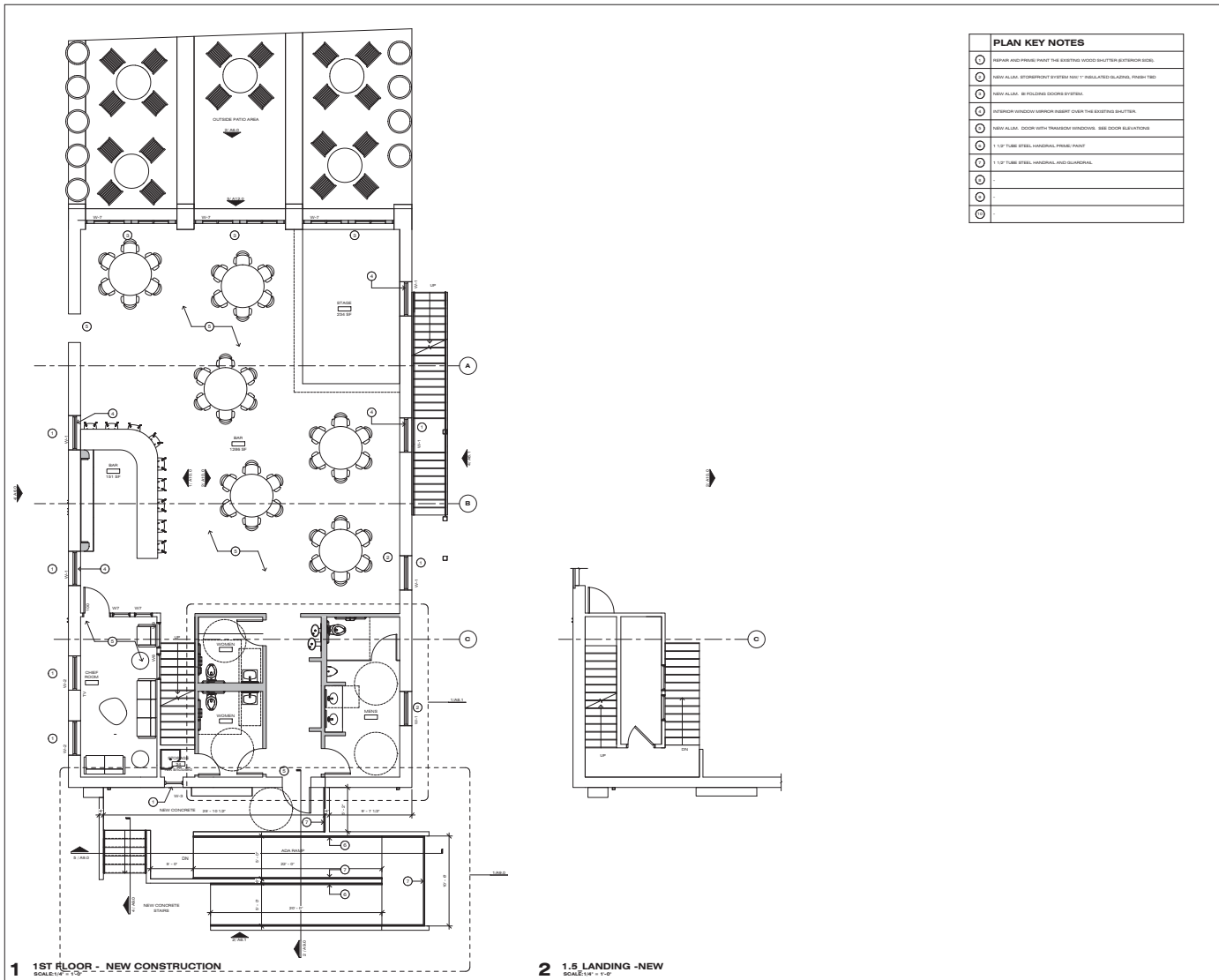
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CFD PROJECT CODE: 22-036
ARCH. PROJECT #

BUILDING DETAILS

SCALE: As Indicated
SHEET #

A9.0



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#	DESCRIPTION	DATE
1	ACD APPLICATION	8.22.22
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DATE PREPARED: 08/22/22 BY: REDLINE ARCHITECTS
PROJECT: NO. 4 HISTORICAL FIRE STATION RENOVATIONS
SHEET: 1ST FLOOR PLAN

ARCH PROJECT CODE: CFD
ARCH. PROJECT #: 22-036

1ST FLOOR PLAN

SCALE: As Indicated

SHEET #

A1.1



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Fire Station No. 4

Renovations

420 W 5TH STREET
CHARLOTTE, NC 28202

1 2 SECOND FLOOR - DEMOLITION

GENERAL DEMO NOTES

1. DEMOLITION SHALL BE CONDUCTED WITH NEW WORK PLAN. PROVIDE ALL DEMOLITION WORK TO BE ACCORDING TO THE NEW WORK PLAN.
2. PRELIMINARY ALL EXISTING CONSTRUCTION TO BE REMOVED AND REPORT ALL DISCREPANCIES TO ARCHITECT FOR DEMOLITION PRIOR TO STARTING WORK.
3. SEE STRUCTURAL DRAWINGS FOR ANY SPECIFIC STRUCTURAL DEMOLITION AND RECONSTRUCTION.
4. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ANY SPECIFIC MEP DEMOLITION AND RECONSTRUCTION.
5. PROTECT ALL CONSTRUCTION TO REMAIN DURING DEMOLITION OPERATIONS. PATCH AND REPAIR ANY DAMAGE TO CONSTRUCTION TO REMAIN CAUSED BY DEMOLITION OPERATIONS.
6. DO NOT REMOVE ANY MATERIALS THAT ARE NOT IDENTIFIED AS DEMOLITION MATERIALS. ANY MATERIALS THAT ARE NOT IDENTIFIED AS DEMOLITION MATERIALS SHALL BE REUSED OR RECYCLED.
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DEMOLITION KEY NOTES

- | | | | |
|---|---|---|---|
| ◇ | REMOVE EXISTING OVERHEAD DOORS AND PREP EXISTING OPENING FOR NEW WORK. | ◇ | REMOVE AND DISPOSE OF EXISTING DOOR. PREP FOR NEW DOOR. |
| ◇ | REPAIR AND/OR REPLACE EXISTING WOOD SHUTTER. PREP FOR NEW. | ◇ | EXISTING ELECTRICAL SERVICE. SEE ELECTRICAL DRAWING. |
| ◇ | REMOVE EXISTING WOOD DOOR AND WOOD TRANSOM ABOVE THE DOOR. | ◇ | EXISTING DOOR TO REMAIN. REPAIR/REPLACE EXISTING DOOR. |
| ◇ | REMOVE EXISTING COUNTERTOP. | ◇ | EXISTING STAIR TO REMAIN. REMOVE AND DISPOSE OF STAIR CARPET. |
| ◇ | REMOVE EXISTING WOOD, PLASTER AND LATH PARTITION WALL. PREP FOR NEW WORK. | ◇ | REPAIR/REPLACE EXISTING WINDOW OPENING AND PREP FOR NEW GLAZING. |
| ◇ | PATCH AND REPAIR EXISTING PLASTER AND LATH WALLS. PREP FOR NEW PAINT. | ◇ | PATCH AND REPAIR EXISTING PLASTER AND LATH WALLS AND CEILING. PREP FOR NEW PAINT. PATCH AND CLEAN EXISTING WOOD FLOORS. |
| ◇ | REMOVE ALL EQUIPMENT AND FITTINGS FROM THE BASEMENT LEVEL. PREP TO CLOSE OFF BASEMENT. REMOVE THE STAIR AND RAMP FLOOR SLAB AT FIRST FLOOR LEVEL. | ◇ | REMOVE EXISTING GLAZING WITH NEW CLEAN, INSULATED GLASS. |
| ◇ | REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURE. SEE PLUMBING DRAWING. | ◇ | REMOVE AND DISPOSE OF EXISTING VENTILATION SYSTEM. PREP FOR NEW GLAZING SYSTEM. |
| ◇ | REMOVE AND DISPOSE OF EXISTING BRICK WALLS AND WOOD FRAMING ROOF. MAINTAIN BRICK FOR REUSE ON NEW BUILDING. | ◇ | REMOVE AND DISPOSE OF WOOD SHUTTERS. PREP EXISTING OPENING FOR NEW STORMDOOR. |
| ◇ | REMOVE AND DISPOSE OF EXISTING CONCRETE STAIRS. | | |

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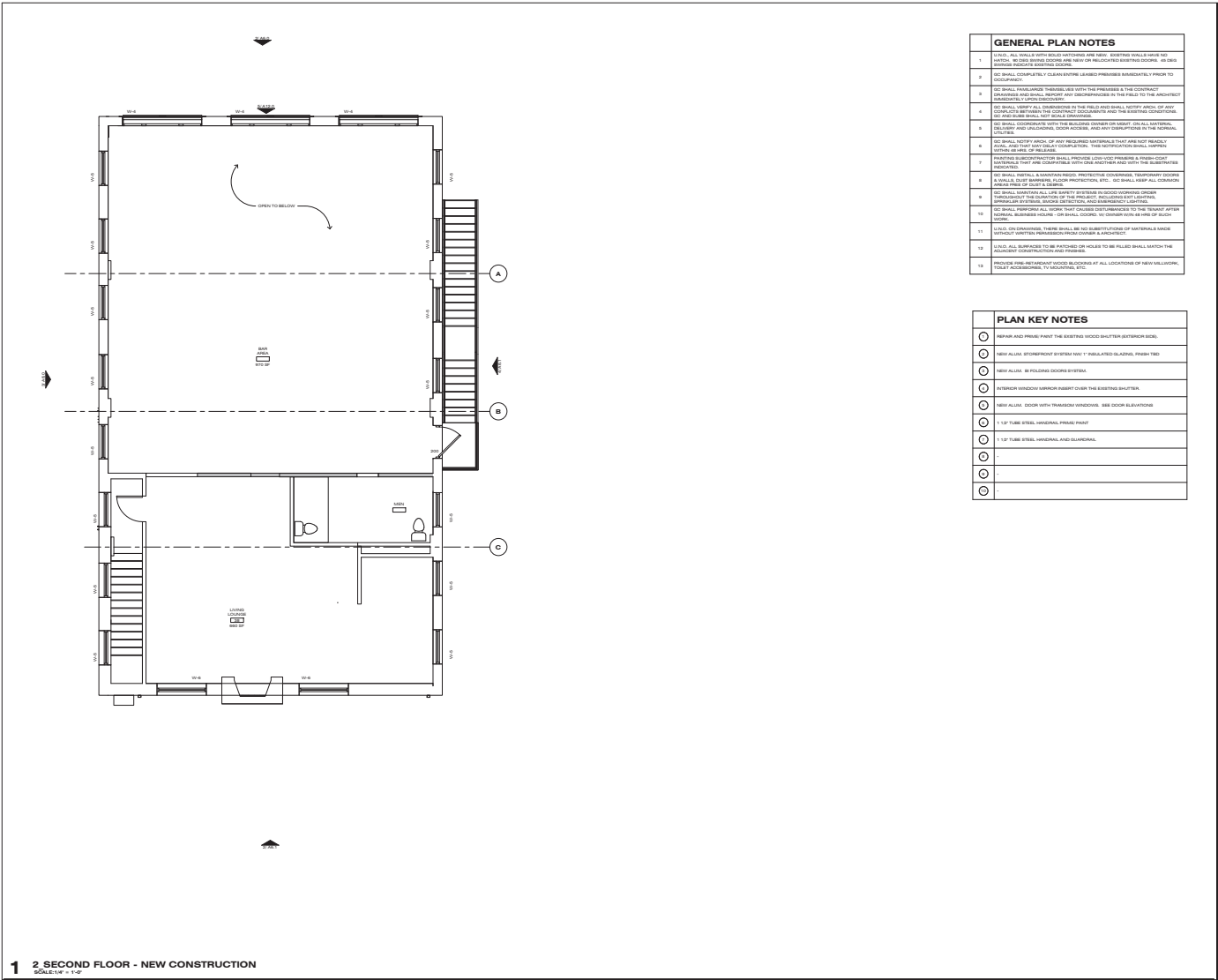
DATE: 08/11/2020
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
APPROVED BY: J. HARRIS

ARCH PROJECT CODE
ARCH PROJECT #

2ND FLOOR DEMOLITION PLAN
SCALE: As Indicated

SHEET #

AD1.2



GENERAL PLAN NOTES	
1	1. ALL WALLS WITH GLASS DOORS AND WINDOWS SHALL BE SET BACK FROM THE EXTERIOR WALLS BY THE AMOUNT OF THE GLASS DOORS AND WINDOWS. SEE THE ARCHITECT'S NOTES FOR DETAILS.
2	2. ALL WALLS WITH GLASS DOORS AND WINDOWS SHALL BE SET BACK FROM THE EXTERIOR WALLS BY THE AMOUNT OF THE GLASS DOORS AND WINDOWS. SEE THE ARCHITECT'S NOTES FOR DETAILS.
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PLAN KEY NOTES	
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No. 4 Historical Fire Station Renovations























420 W 5TH STREET
CHARLOTTE, NC 28202

#	DESCRIPTION	DATE
1	NO. 4 HISTORICAL FIRE STATION RENOVATIONS	8.22.22
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ARCH PROJECT CODE
ARCH. PROJECT #
2ND FLOOR PLAN
SCALE: As Indicated
SHEET #

CFD
22-036
A1.2



ELEVATION KEY NOTES	
	NOT USED
	BASE: ALUM. WOOD-CLAD STORMDOOR SYSTEM, WITH APPLIED MOUNTING BRACKET. WOODS SPECIFY FINISHES AND COLOURS.
	WALL: CLADDING SHALL BE GRABBE SHOWN IN SPECIFICATION. WOODS TO MATCH 2024 PFI. MATERIAL OF CLADDING SHALL BE DETERMINED BY POLYMERIZATION METHOD. HOW WALL WOODS TO BEST MATCH SHALL BE DETERMINED. THE FINISHING SHALL START WITH THE FIRST JOINT LINE. SEE BRUSH CLADDING CLADDING.
	EXPRESS CONCRETE FOUNDATION SHALL. FINISH SHALL BE PAIR FINISH.
	EXTERIOR PRECAST CONCRETE OR BRICK. FINISH SHALL BE LIGHT GREEN.
	BASE: CUSTOM ALUMINUM WOOD-CLAD STORMDOOR SYSTEM WITH BRUSH WOODS. DOOR TO MATCH. CUSTOM WOODS FINISHES. FINISH SHALL BE LIGHT GREEN.
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	

REMOVAL OF GRAFFITI SHALL BE REMOVE BY POLISHING METHOD. FOR ALL METHODS A TEST AREA SHALL BE DONE FIRST. THE REMOVAL SHALL START WITH THE LEAST INVASIVE METHOD.

REFERENCE DOCUMENT - NATIONAL PARK SERVICE PRESERVATION BRIEF #28 REMOVING GRAFFITI FROM HISTORIC SURFACE.

WATER AND DETERGENT (NEUTRAL OR NON-IONIC DETERGENT - MIX WITH ABRASIVE MATERIAL) AND APPLY BY POLISHING METHOD. TEST SMALL AREA PRIOR TO INSURE.

ORGANIC SOLVENT AND PASTE REMOVERS - ORGANIC SOLVENTS - BY MANUFACTURER'S INSTRUCTIONS. AQUEOUS/ACIDIC BASES PASTE REMOVERS SHALL NOT BE USED DUE TO POTENTIAL STAINING.

TESTING AREA SHALL BE IN AN INVISIBLE AREA.

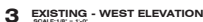
1. MASONRY CONTRACTOR SHALL BE EXPERIENCE IN WORKING WITH HISTORIC MASONRY.
2. ANY DETERIORATED MORTAR SHALL BE REMOVED BY HAND RACKING TO AVOID DAMAGE TO SURROUNDING BRICK OR SURROUNDING AREA. REPAIRS ONLY OF MORTAR FOR NEW MORTAR. HAND RACKING ONLY! DO NOT USE ELECTRIC SAW THAT COULD DAMAGE SURROUNDING BRICK.
3. DUPLICATED WITH AND PROFILE OF EXISTING MORTAR
4. CONTRACTOR SHALL TEST DETERMINE THE MIX. NEW MORTAR SHOULD BE STRONGER THAN THE ORIGINAL MORTAR.
5. DO NOT USE SYNTHETIC CEMENTitious COMPOUND OR PORTLAND CEMENT.
6. DO NOT UNDERLIE SCAB COAT, VIBRATE A THEN COAT OF MORTAR IS BRUSHED OVER EXISTING BRICK. DO NOT COVER THE BRICK WITH A COATING OF MORTAR AS A SUBSTITUTE FOR TRADITIONAL REPAIRING.
7. NO PAINTING ALLOWED.

CLEANING EXISTING BRICK WITH LOW PRESSURE - TO REMOVE DIRT MATERIAL AND DEPOSITS FROM MASONRY SURFACES. NO REPELLENT SHALL BE APPLIED

REFERENCE DOCUMENT - NATIONAL PARK SERVICE PRESERVATION BRIEF #1
ASSESSING CLEANING AND WATER REPELLENT TREATMENT FOR HISTORIC MASONRY

WATER CLEANING NOTES:

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WATER WASHING WITH DETERGENTS. NON IONIC DETERGENTS SUCH AS
NATURAL SOAPS OR SYNTHETIC DETERGENTS, ETC. CAN BE USED TO WASH

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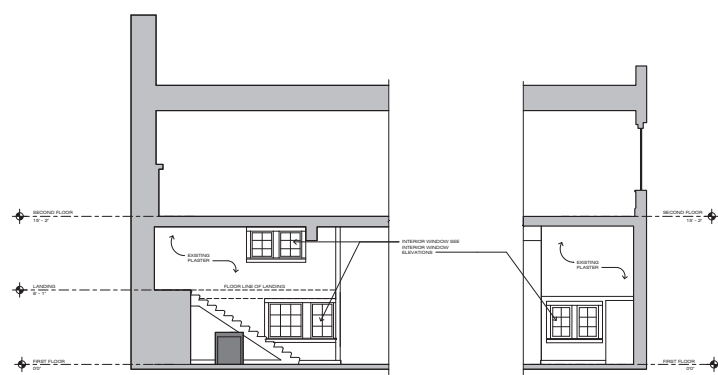
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ARCH. PROJECT # 22-03

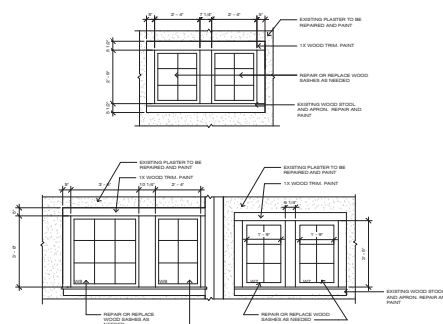
ENLARGED PLANS & INTERIOR
ELEVATIONS
SCALE: As Indicated

SHEET # **A8-0**

As a result of the above, the following is proposed:



2 CHIEF WINDOW ELEVATIONS



1 INTERIOR WINDOW ELEVATIONS



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ENLARGED RESTROOM PLANS AND

ELEVATIONS
SCALE: 1/4" = 1'-0"

SHEET # **A8.1**

A8.1



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ARCH PROJECT #	22-036

DOOR SCHEDULE & DETAILS

SCALE: 1/2" = 1'-0"

SHEET # **A12.0**

A12.0

