

**Staff Report and Comments
Cedar Grove Property
8200 Gillead Road, Huntersville
Application for COA HLC315**

Exhibits presented to and considered by the Commission:

Exhibit A – Project description from the application

New Greenway restroom at existing greenway parking lot. Parking lot has previously received COA.

Exhibit B - Project Plans

Based upon the information presented in the application, staff offers the following suggested findings of fact:

1. The proposed restroom, adjacent to an existing paved parking lot and 300' from Gilead Rd, should not have a significant negative impact to the historic property in regard to HLC Standard 2. From Gilead Rd the impact of the restroom is reduced by its deep setback. The negative impact on the rest of the historic property is reduced as the restroom is clustered with another incongruous feature, the parking lot.
2. The project meets HLC Standards 9 and 10 as it does not destroy historic materials that characterize the property, and could be removed in the future without damaging any historic features that characterize the property.

Staff suggests that the Commission approve the application as shown.

THE STANDARDS

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. Alterations, new additions, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



McDowell Creek Greenway Restroom: Cedar Grove Property

Site Plan

April 24, 2023





Floor Plan

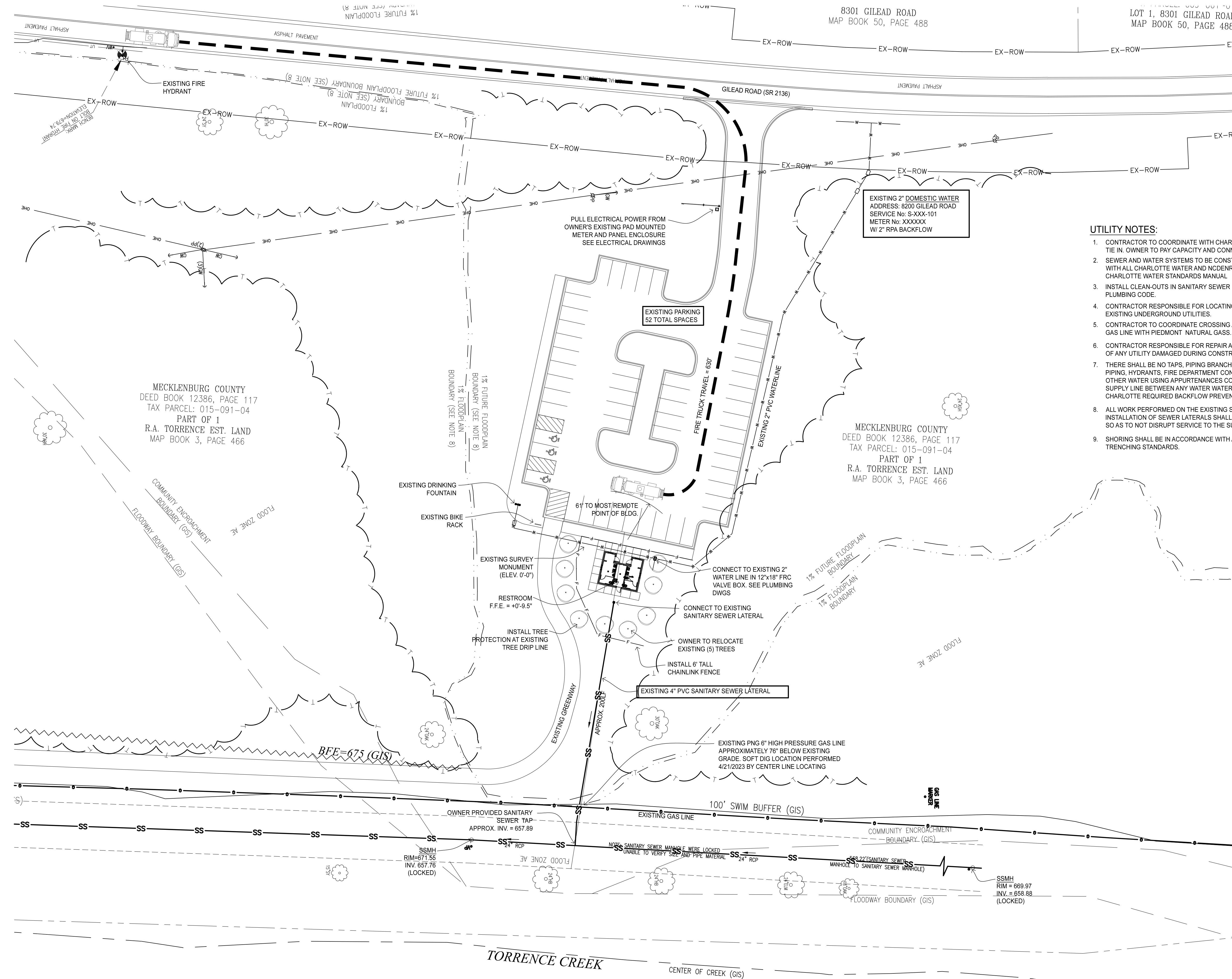


McDowell Creek Greenway Restroom: Cedar Grove Property

Parking Lot View

April 24, 2023





MECKLENBURG COUNTY
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TAX PARCEL: 015-091-04
PART OF 1
R.A. TORRENCE EST. LAND
MAP BOOK 3, PAGE 466

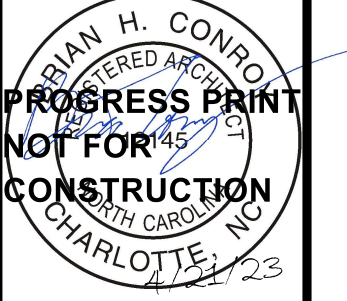
MECKLENBURG COUNTY
DEED BOOK 12386, PAGE 117
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PART OF 1
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MAP BOOK 3, PAGE 466

- UTILITY NOTES:**
1. CONTRACTOR TO COORDINATE WITH CHARLOTTE WATER FOR SEWER TIE IN. OWNER TO PAY CAPACITY AND CONNECTION FEES.
 2. SEWER AND WATER SYSTEMS TO BE CONSTRUCTED IN ACCORDANCE WITH ALL CHARLOTTE WATER AND NCDENR REGULATIONS. REFERENCE CHARLOTTE WATER STANDARDS MANUAL.
 3. INSTALL CLEAN-OUTS IN SANITARY SEWER LATERALS AS REQUIRED BY PLUMBING CODE.
 4. CONTRACTOR RESPONSIBLE FOR LOCATING AND MARKING OF ALL EXISTING UNDERGROUND UTILITIES.
 5. CONTRACTOR TO COORDINATE CROSSING AND LOCATION OF EXISTING GAS LINE WITH PIEDMONT NATURAL GASS.
 6. CONTRACTOR RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITY DAMAGED DURING CONSTRUCTION.
 7. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER WATER METER AND THE CHARLOTTE REQUIRED BACKFLOW PREVENTER.
 8. ALL WORK PERFORMED ON THE EXISTING SEWER LINE FOR THE INSTALLATION OF SEWER LATERALS SHALL BE COMPLETED IN A MANNER SO AS TO NOT DISRUPT SERVICE TO THE SURROUNDING AREA.
 9. SHORING SHALL BE IN ACCORDANCE WITH ALL CURRENT OSHA TRENCHING STANDARDS.

UTILITY PLAN
SCALE: 1" = 30'

PRELIMINARY NOT FOR CONSTRUCTION

NO.	DATE	BY	CHKD	DESCRIPTION



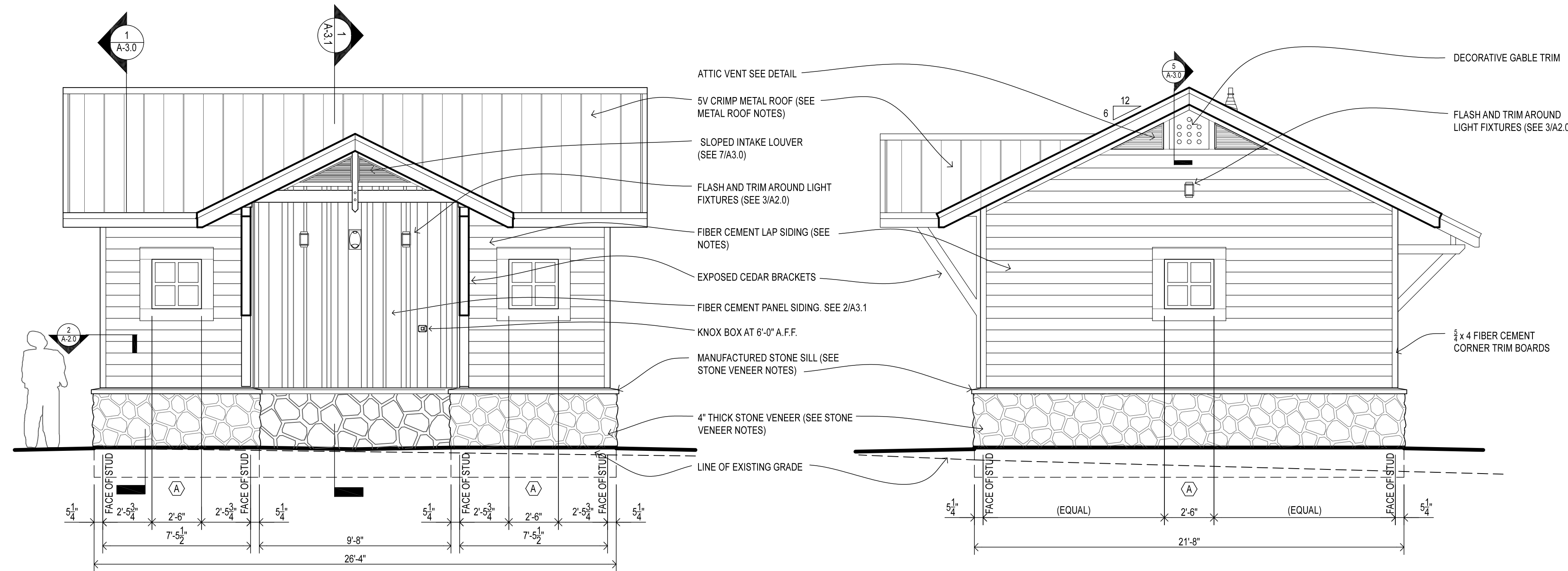
citizen design
2408 Commonwealth Ave.
Charlotte, NC 28205
Architecture • Planning • Stuff

McDowell Creek Restroom
8200 Gilead Road, Huntersville, NC 28078

citizen design
2408 Commonwealth Ave.
Charlotte, NC 28205
Architecture • Planning • Stuff

DATE:
04/21/2023
NAME:
UTILITY PLAN
AND
FIRE TRUCK
ACCESS
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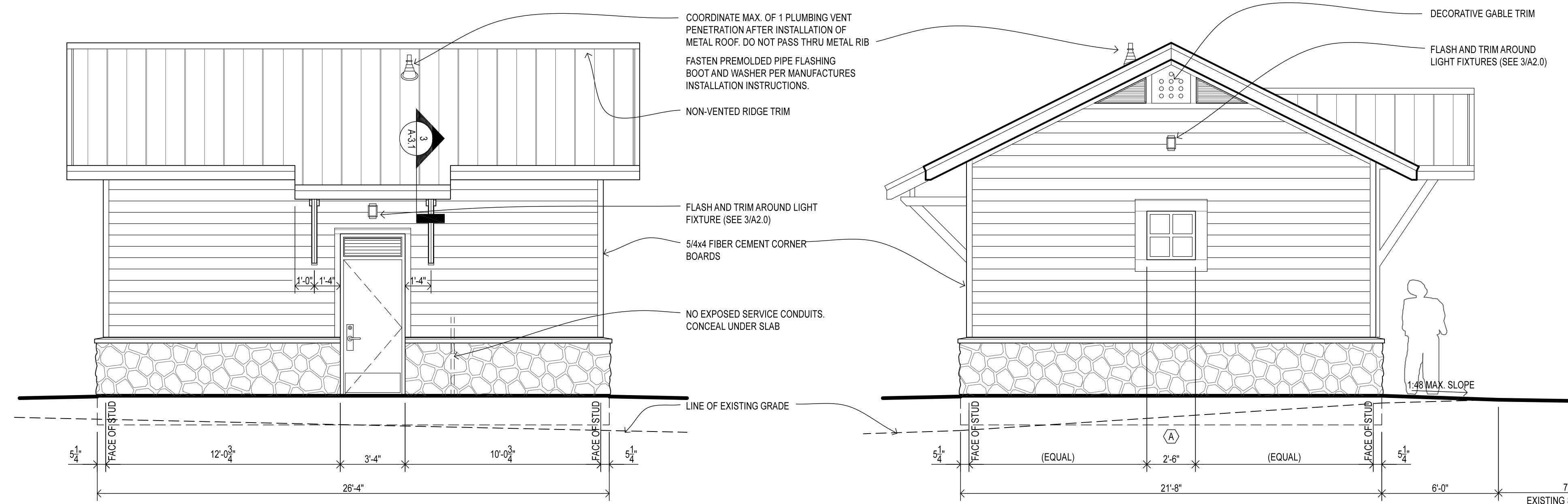
A FRONT ELEVATION
A2.0 SCALE: 1/4"=1'-0"

B SOUTH ELEVATION
A2.0 SCALE: 1/4"=1'-0"

6 PANEL SIDING EXAMPLE
A2.0



7 HUGH TORANCE STONE
A2.0



C REAR ELEVATION
A2.0 SCALE: 1/4"=1'-0"

D NORTH ELEVATION
A2.0 SCALE: 1/4"=1'-0"

METAL ROOF PANELS

- 26 GA EXPOSED FASTENER METAL ROOF PANEL. PROFILE: 5V CRIMP, 24" WIDE, 12" RIB SPACING.
- APPLY 40 MIL. HIGH TEMPERATURE SELF ADHERING ICE AND WATER UNDERLAYMENT UNDER ENTIRE ROOF. SMOOTH, NON-GRANULATED (CARLISLE WIP 300 HT).
- ROOF SHEATHING SHALL BE APA RATED 5/8" THICK PLYWOOD ROOF SHEATHING.
- COLOR: GALVALUME PLUS 25 YEAR FINISH WARRANTY.
- MANUFACTURER'S APPROVED INSTALLER, PROPERLY TRAINED BY MANUFACTURER, SHALL INSTALL ROOF PANELS, FLASHING AND TRIM.
- FASTEN PANELS WITH SCREW FASTENERS WITH BONDED WASHERS OF ROOF MANUFACTURER'S SPECIFIED SIZE AND LENGTH.

FULL THICKNESS STONE VENEER

- STONE COURSING AND JOINTS TO MATCH ADJACENT HISTORIC HUGH TORANCE HOUSE AND STORE, 8231 GILEAD ROAD, HUNTERSVILLE, NC.
- 4" TO 6" THICK STONE VENEER CONSISTING OF NORTH CAROLINA AND VIRGINIA FIELD STONES PRE-SELECTED TO MATCH SITE. DISTRIBUTOR: SITE ONE HARDSCAPE CENTER. CONTACT PRESTON SADLER, PSADLER@SITEONE.COM. FINAL RATIO DETERMINED AFTER EVALUATION OF SAMPLE WALL.
 - 1/3rd BUCK CREEK STONE
 - 1/3rd NORTH CAROLINA FIELD STONE THICK
 - 1/3rd VIRGINIA BOULDERS
 - 1/4" - 1/2" WIDE PARTIAL DRystack MORTAR JOINT
- WATER TABLE: SLOPED PRECAST. EL DorADO STONE: 12" x 20" WALL CAP, CUT IN HALF. CHISELED EDGE. COLOR: TBD
- RAIN SCREEN: MIN. 3/8" (10MM) THICK HDPE RAIN SCREEN MAT WITH BONDED FILTER FABRIC FACING WEATHER AND INTEGRATED WEEPS. DESIGNED FOR USE BEHIND FULL THICKNESS STONE VENEER (M.T.I. SURECAVITY AND M.T.I. WOW 9095 OR APPROVED EQUAL). INSTALL PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
- TYPE S PORTLAND CEMENT. COLOR AS SELECTED BY ARCHITECT. GREY FOR STONE AND MATCH COLOR AT PRECAST SILL.
- DO NOT INSTALL STONE WHEN AIR TEMPERATURE FALLS BELOW 40 DEGREES FAHRENHEIT
- PROTECT ADJACENT WORK FROM MORTAR AND DAMAGE.
- CLEAN AND REMOVE ACCESS MORTAR FROM STONE AFTER INSTALLATION.
- SAMPLE WALL PANEL: A MINIMUM 4'x4' WALL PANEL WITH ALL BASE, CAP AND RAIN SCREEN FLASHINGS SHALL BE CONSTRUCTED FOR APPROVAL BY OWNER AND ARCHITECT PRIOR TO INSTALLATION ON THE BUILDING. THE SAMPLE SHALL BE SEPARATE FROM THE BUILDING. PROTECT AND RETAIN SAMPLE AS A BASIS FOR APPROVAL OF COMPLETED STONE WORK.

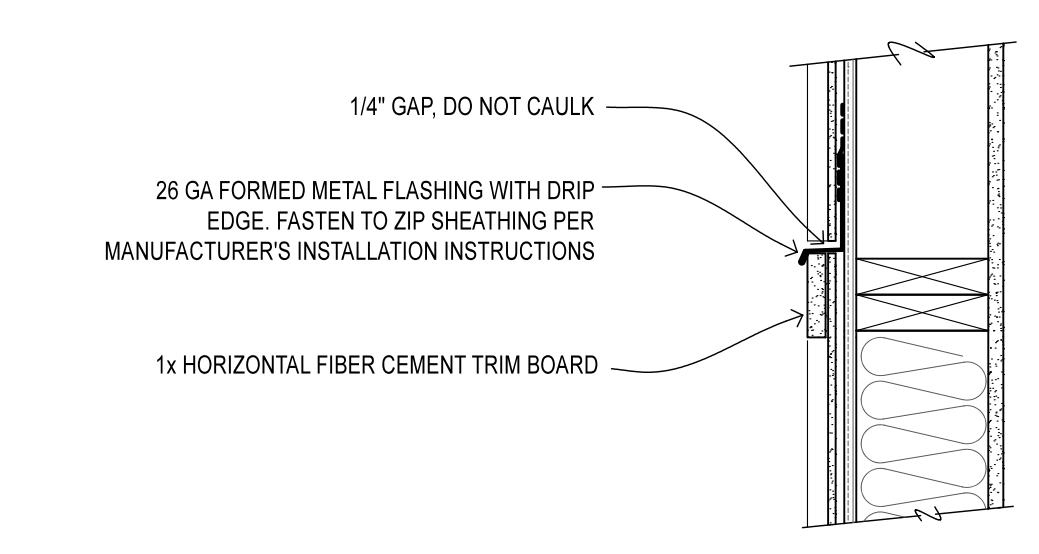
FIBER CEMENT SIDING: LAP

- A. LAP SIDING: 8-1/4" TALL x 5/16" THICK BOARDS WITH 7" REVEAL. FINISH: SMOOTH TEXTURE.
- TRIM BOARDS: 5/4" THICK FIBER CEMENT BOARDS, (PVC SPECIFIED IN SOME AREAS) SMOOTH TEXTURE. MINIMUM LENGTH OF BOARD BETWEEN CUT JOINTS SHALL BE 8'-0"

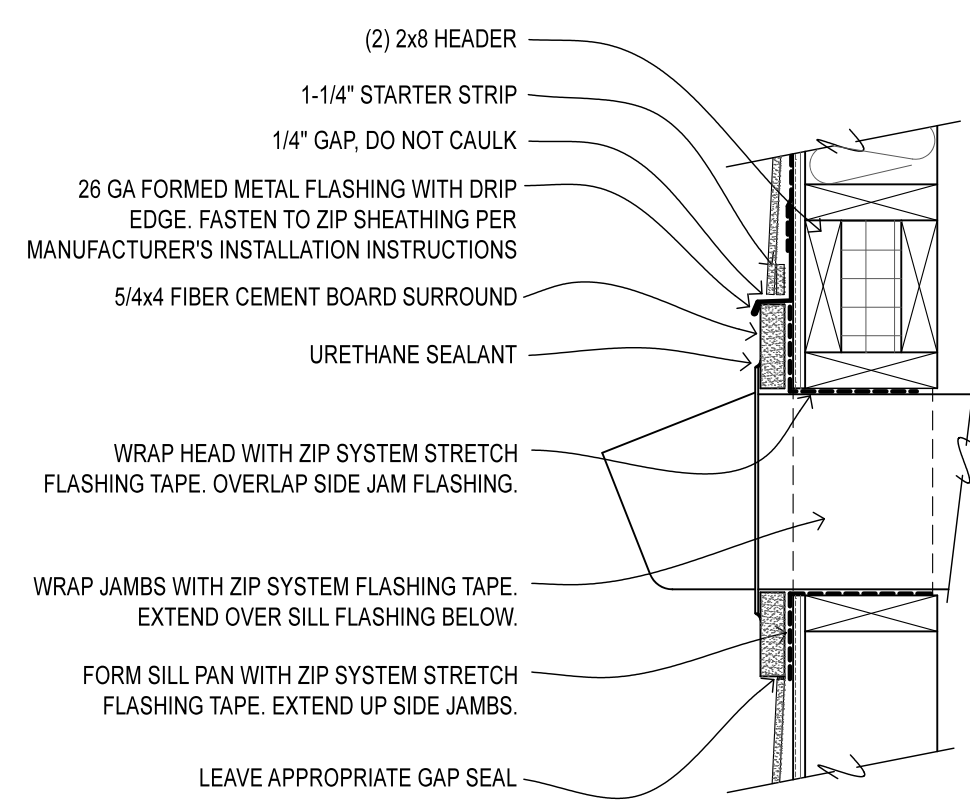
FIBER CEMENT SIDING: BOARD AND BATTEN

- B. SIDING PANELS: 5/16" THICK x 120" TALL SHEETS INSTALLED VERTICALLY. FINISH: SMOOTH TEXTURE.
- BATTENS: MIXTURE OF FIBER CEMENT TRIM BOARDS AND LAP SIDING PANELS. SMOOTH FINISH TEXTURE. FASTEN WITH RING SHANK NAILS. SEE DETAIL 2/A3.1 FOR SPACING.
- VERTICAL JOINTS IN WALL PANELS SHALL BE CONCEALED WITH 3/4"x2-1/2" FIBER CEMENT BATTENS.
- HORIZONTAL JOINTS IN PANELS MUST BE FLASHED AS SHOWN. LIMIT HORIZONTAL JOINTS IN PANELS

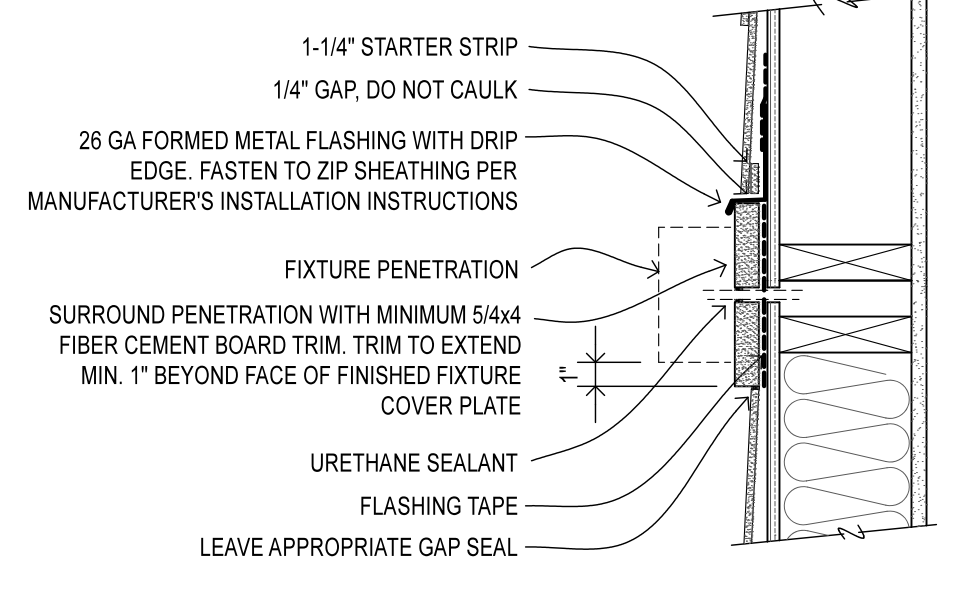
- FIBER CEMENT PANELS AND TRIM TO BE INSTALLED BY CERTIFIED MANUFACTURER INSTALLER PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS USING MANUFACTURER'S RECOMMENDED FASTENERS.
- ALL SIDING AND TRIM MUST BE FLASHED IN ACCORDANCE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS
- MANUFACTURER'S RECOMMENDED FASTENERS AND FASTENER SPACINGS FOR INSTALLATION INTO SPECIFIED MATERIALS SHALL BE USED.



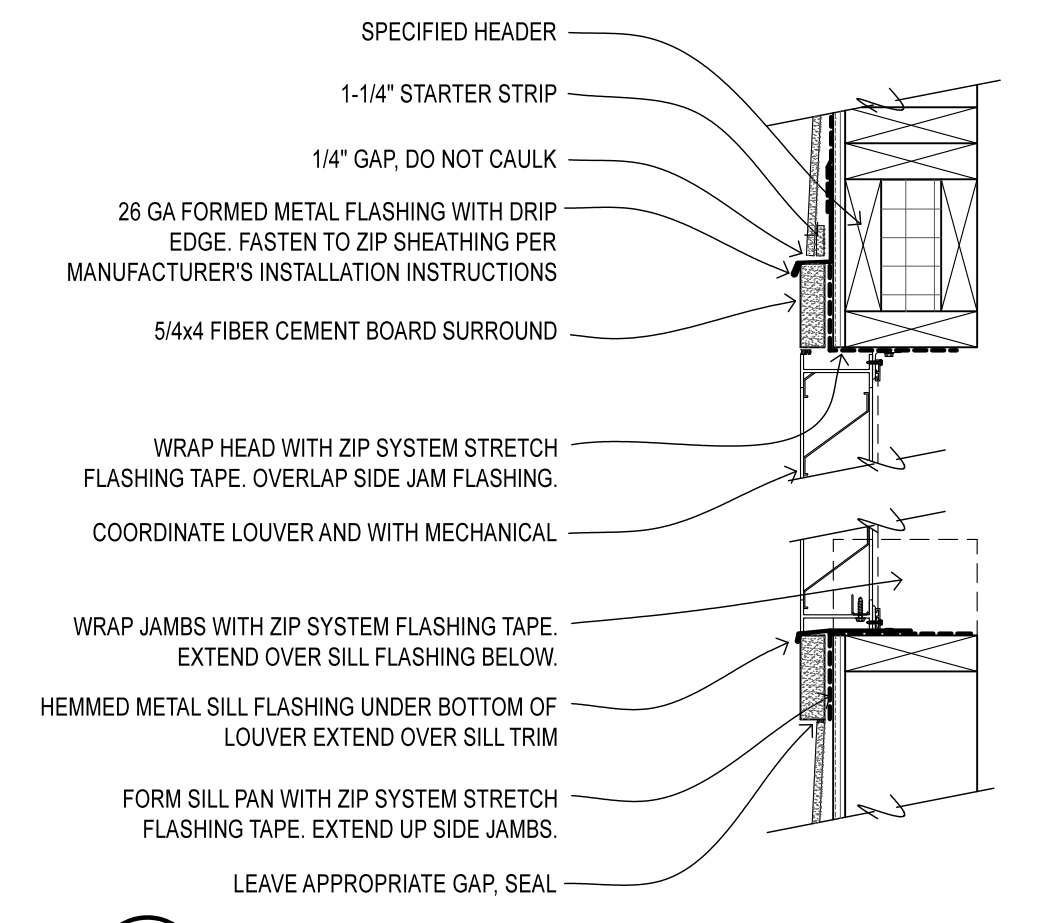
1 HORIZONTAL JOINT IN PANEL SIDING
A2.0 SCALE: 1-1/2"=1'-0"



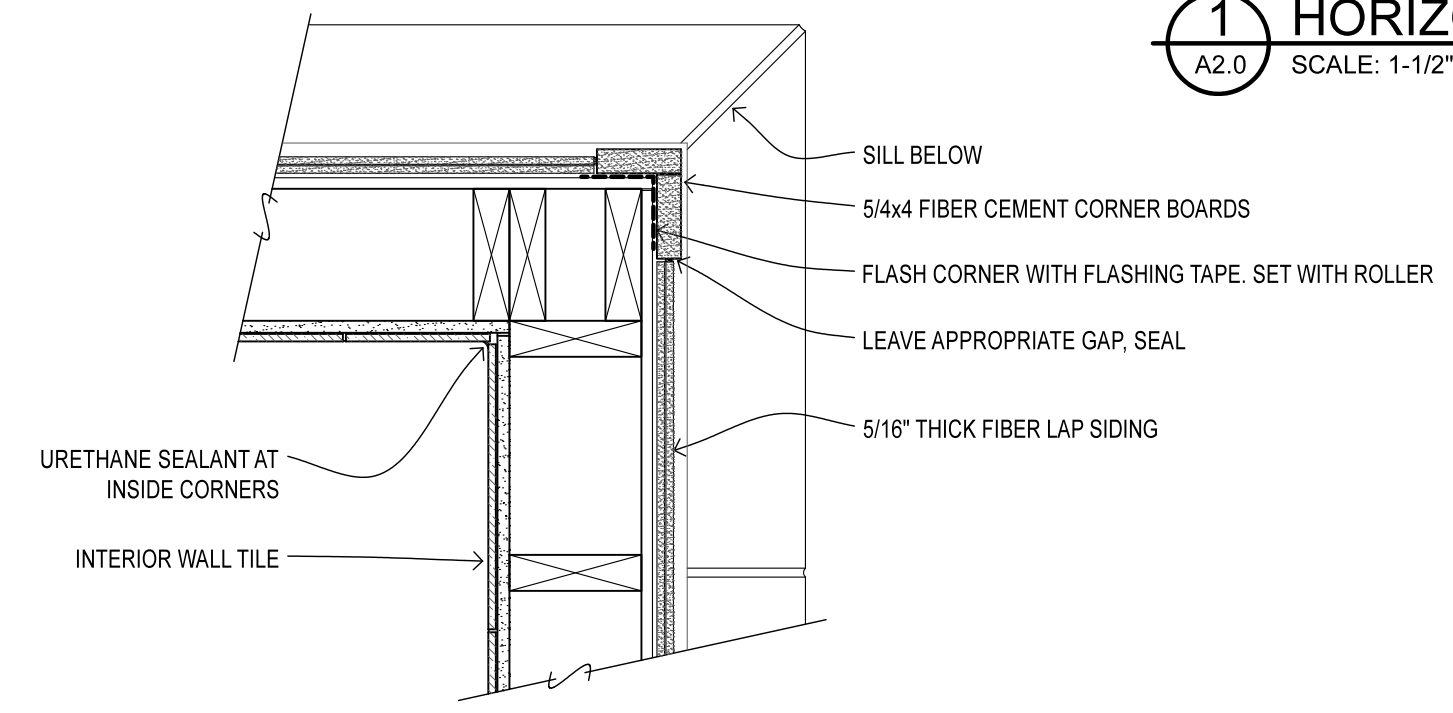
5 HOODED EXHAUST
A2.0 SCALE: 1-1/2"=1'-0"



3 TYPICAL PLUMBING/ ELECT. PENETRATION
A2.0 SCALE: 1-1/2"=1'-0"



4 LOUVER PENETRATION
A2.0 SCALE: 1-1/2"=1'-0"



2 SIDING OUTSIDE CORNER
A2.0 SCALE: 1-1/2"=1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS	NO.	DATE	BY	CHKD	DESCRIPTION

Mecklenburg County Park and Recreation
McDowell Creek Restroom
 8200 Gilead Road, Huntersville, NC 28078

citizen design
 Architecture + Planning + Staff

2408 Commonwealth Ave.
 Charlotte, NC 28205

DATE: 04/07/2023
 NAME: ELEVATIONS AND DETAILS
 SHEET: **A 2.0**