

**Staff Report and Comments
Outen Pottery
430 Jefferson Street, Matthews
Application for COA HLC306**

Exhibits presented to and considered by the Commission:

Exhibit A – Project description from the application

This project will stabilize the pottery kiln and workshop on the site, ensuring its structural integrity for years to come. A museum experience will be created for attendees to view from the exterior. Examples of Mr. Outen's pottery and other items will be displayed for viewing. The space around the workshop and kiln will become a passive park with natural surface walking trail, sitting areas and educational signage.

Exhibit B – Map

Exhibit C - Project Plans

Based upon the information presented in the application, staff offers the following suggested findings of fact:

1. The HLC has acknowledged the need to alter or add to a historic property to meet continuing or new uses while retaining the property's historic character.
2. The plan to preserve the kiln and the historic front elevation of the workshop are in accord with HLC Standard 2.
3. The proposed new display openings will have some negative impact on the historic character of the property in regard to HLC Standard 2, but those changes are needed to allow for a sustainable and protected display of the history of the property.
4. The project meets HLC Standard 5, as the features, finishes, construction techniques, and craftsmanship that characterize the Outen Pottery will not be significantly affected by this project.
5. The project meets HLC Standard 9 in that the proposed park construction does not impact the historic materials that characterize the property. The features and materials are differentiated and were chosen to harmonize with the historic features of the property.

Staff suggests that the Commission approve the application with the following conditions.

1. Staff recommends that the project be approved as shown.

THE STANDARDS

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. Alterations, new additions, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Polaris 3G Map – Mecklenburg County, North Carolina

EXHIBIT B

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This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and data. Users of this map or report are hereby notified that the aforementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no legal responsibility for the information contained herein.

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VICINITY MAP

NOT TO SCALE



EXHIBIT C

90% DESIGN DRAWINGS

FOR

OUTEN POTTERY PARK

430 JEFFERSON ST
MATTHEWS, NC 28105

APRIL 21, 2023

OWNER

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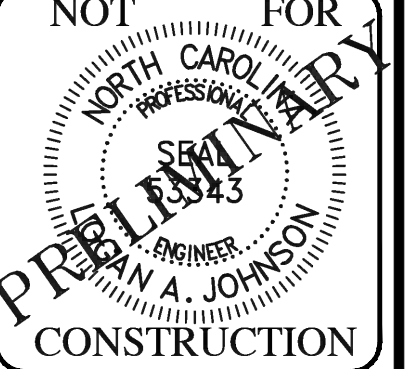
SITE LOCATION MAP

NOT TO SCALE

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
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2			
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DESIGN DRAWINGS
OUTEN POTTERY PARK
430 JEFFERSON STREET
MATTHEWS, NC 28105
COVER SHEET

PROJECT NO.
22-0103
DRAWING NAME:
22_0103_CS
SHEET NO.
C-1

GENERAL NOTES:

- 1. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF ANY EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON IS NOT GUARANTEED.
2. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND SHALL BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES AND NCI 11 PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
3. CONSTRUCTION/DEMOLITION: ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE WITH THE 2018 EDITION - CHAPTER 33 OF THE NC FFC.
4. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR FINAL ACCEPTANCE, APPLICANT SHALL REPLACE ANY TREES SHOWN AS PRESERVED/PROTECTED ON THE LANDSCAPE PROTECTION PLAN THAT HAVE DIED OR ARE IN POOR HEALTH AS A RESULT OF LAND DISTURBING ACTIVITIES.
5. ALL DIMENSIONS SHALL BE TO FACE OF CURB UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL MAINTAIN ANY ACCESSES TO ADJACENT RESIDENCES, BUSINESSES, AND PROPERTIES AT ALL TIMES AND NOTIFY THEM OF ANY DISRUPTIONS OF SERVICE OR ACCESS WITH A 24-HOUR NOTICE.
7. CONSTRUCTION ON THIS PROJECT SHALL BE IN ACCORDANCE WITH ALL APPLICABLE AND THE MOST CURRENT TOWN, COUNTY, STATE, DOT AND UTILITY PROVIDER STANDARDS, SPECIFICATIONS, AND BUILDING CODES.
8. ANY SUBSTITUTIONS, CHANGES, OR MODIFICATIONS SHALL BE APPROVED BY THE PROJECT ENGINEER, PLANNING DEPARTMENT STAFF, AND DEVELOPER PRIOR TO INSTALLATION/CONSTRUCTION OF CORRESPONDING ITEMS. THE CONTRACTOR SHALL WAIVE ANY ADDITIONAL COSTS CLAIMS FOR SUBSTITUTING OR MODIFYING FROM WHAT HAS BEEN APPROVED.

DEMOLITION NOTES

- 1. ALL DEMOLITION, TRANSPORT, AND DISPOSAL OF WASTE MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN, COUNTY, STATE AND FEDERAL REGULATIONS.
2. REGULATED MATERIALS SUCH AS ASBESTOS, LEAD, ETC. MAY EXIST ON SITE AND SHALL BE IDENTIFIED AND A PLAN FOR DEMOLITION AND DISPOSAL SHALL BE PRESENTED TO, AND APPROVED BY, THE TOWN/COUNTY AND OWNERS PRIOR TO COMMENCING DEMOLITION ON CORRESPONDING STRUCTURES.
3. THE LOCATIONS OF ALL EXISTING FEATURES SHOWN ON THIS PLAN SET WERE PROVIDED AS PART OF THE SURVEY REFERENCED WITHIN THIS PLAN SET. OTHER UNIDENTIFIED UTILITIES OR SITE FEATURES MAY EXIST AND SPECIAL CARE SHALL BE EXERCISED DURING ANY SUBGRADE WORK OR DEMOLITION TO PREVENT UNINTENDED LOSS OF SERVICE TO SURROUNDING PROPERTIES.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE DOT RIGHTS-OF-WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHTS-OF-WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO DOT STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, CURBS & GUTTER, PAVEMENT, SIGNS AND ROADSIDE SWALES.
5. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN, IF REQUIRED BY ENCROACHMENT PERMIT TO DOT FOR APPROVAL, PRIOR TO ANY WORK WITHIN THE DOT RIGHTS-OF-WAY.
6. ALL UTILITIES SHOWN TO BE REMOVED, DISPOSED OF, AND/OR ABANDONED SHALL BE DONE PER THE CORRESPONDING SERVICE PROVIDERS GUIDELINES.

GENERAL CONSTRUCTION AND GRADING NOTES:

- 1. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES AND OSHA STANDARDS ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
2. THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING NOT BUT NOT LIMITED TO: EROSION AND SEDIMENTATION CONTROL PLAN AND STORMWATER MANAGEMENT PLAN.
3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN COMPARING THE PLANS TO ACTUAL FIELD CONDITIONS.
4. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE AND WITHOUT COMPENSATION.
5. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
6. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND APPLICANT IN WRITING.
7. TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION IN ACCORDANCE WITH CURRENT MUTCD STANDARDS.
8. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, FENCING AND OTHER APPROPRIATE SAFETY ITEMS/MEASURES NECESSARY TO PROTECT THE PUBLIC FROM THE WORK AREA CONSTRUCTION ACTIVITIES.
9. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC. WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141 3-1)
11. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
12. BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE GOVERNING MUNICIPALITY INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
13. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, A) REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED, OR B) REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
14. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
15. SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTON OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND TO THE OWNERS REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
16. ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION
17. ALL PAVEMENT MARKINGS, REGULATORY SIGNS, AND STREET NAME SIGNS SHALL CONFORM TO CURRENT MUTCD STANDARDS.
18. ALL DAMAGE TO PUBLIC OR PRIVATE MAINTAINED STREETS DUE TO PROJECT CONSTRUCTION WILL BE REPAIRED AT NO COST TO THE OWNER PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
19. A PRE-CONSTRUCTION MEETING WITH THE GOVERNING MUNICIPALITY, ENGINEER, OWNER OR OWNERS REPRESENTATIVE, CONTRACTOR, AND SUB-CONTRACTORS IS REQUIRED PRIOR TO START OF PROJECT.
20. PRIOR TO ANY WORK IN THE STREET OR RIGHT-OF-WAYS AND PRIOR TO ANY PUBLIC ROAD LANE CLOSURE, THE CONTRACTOR IS REQUIRED TO CONTACT THE GOVERNING MUNICIPALITY (3) DAYS IN ADVANCE.
21. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ANY SPILL CURB REQUIRED TO PROVIDE POSITIVE DRAINAGE TO STORM STRUCTURES AND PREVENT ANY LOW SPOTS OR 'BIRD BATHS' WITHIN THE CURB & GUTTER OR PAVED SECTIONS.
22. NO VISUAL OBSTRUCTIONS SHALL BE WITHIN ANY SIGHT DISTANCE TRIANGLES BETWEEN 2 AND 8 FEET IN HEIGHT ABOVE FINISHED GRADE.
23. ANY VERTICAL DROPS MORE THAN 30" FROM A RETAINING WALL WILL REQUIRE A 42" HIGH SAFETY FENCE ALONG THE TOP OF WALL.
24. THE CONTRACTOR SHALL NOTE THAT EVERY OFFSET, FITTING, TIE-IN POINT, ETC. MAY NOT BE SHOWN ON THE PLANS. CONTRACTOR SHALL USE STANDARD CONSTRUCTION PROCEDURES TO FOLLOW THE PLANS AS CLOSELY AS POSSIBLE AND NOTIFY THE ENGINEER IF DISCREPANCIES ARE FOUND.
25. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS.
26. THE EARTHWORK ON THIS PLAN DOES NOT NECESSARILY BALANCE; OFFSITE BORROW OR WASTE MAY BE REQUIRED.
27. ALL CONCRETE PIPE SHALL BE REINFORCED CLASS III, UNLESS NOTED OTHERWISE.
28. ALL PIPE TO BE INSTALLED ON-SITE AND IN THE RIGHTS OF WAY SHALL MEET OR EXCEED THE DOT ASTM AND AASHTO SPECIFICATION REQUIREMENTS FOR SUCH PIPE MATERIAL. CONTRACTOR SHALL VERIFY APPROVAL WITH DOT FOR ALL PIPE MATERIALS TO BE USED IN THE RIGHT OF WAY.
29. ROOF DRAIN CONNECTIONS AND INLINE CATCH BASINS IN NON-TRAFFIC BEARING LOCATIONS MAY BE HDPE SYSTEMS SUCH AS 'NYLOPLAST' BY ADS OR APPROVED EQUAL. (SEE DETAILS FOR USE AS STORM DRAINAGE SYSTEM).
30. ALL ON-SITE PIPE SHALL BE INSTALLED MEETING COVER, BACKFILL AND BEDDING REQUIREMENTS PER DOT OR THE MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS MOST STRINGENT.
31. DOT PRE-CAST DRAINAGE STRUCTURES / MANHOLES CAN BE USED IN LIEU OF DOT STANDARD BRICK OR CONCRETE CATCH BASINS. ANY DEVIATION FROM THE SPECIFIED STRUCTURES SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION AND SHALL MAINTAIN COMPLIANCE WITH ALL CORRESPONDING DOT MATERIAL, DRAWING & DETAILED SPECIFICATIONS. NO 'KNOCK-OUT' OR WAFFLE BOXES SHALL BE USED WITHOUT PERMISSION FROM THE ENGINEER.
32. ADDITIONAL SPECIFICATIONS AND REQUIREMENTS FOR FOOTER AND BUILDING PAD PREPARATION AND COMPACTON MAY EXIST IN ARCHITECTURAL AND STRUCTURAL DRAWINGS AND SHALL BE EXECUTED/IMPLEMENTED AS REQUIRED.

GENERAL UTILITY NOTES:

- 1. ALL EXISTING UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATIONS AND DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN, COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR EXACT LOCATION AND PROTECTION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
5. CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLICATIONS/PERMITS. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTION FEES FOR CONSTRUCTION. REFER TO COVER SHEET FOR AVAILABLE UTILITY COMPANY LIST.
6. CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICES OR NEW SERVICE AND IS RESPONSIBLE FOR THE CONSTRUCTION OF EACH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS.
7. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE TO CURBING, PAVING, AND COMPACTED SUB-GRADE.
8. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
9. ALL PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.
10. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
11. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
12. CONTRACTOR SHALL EXCAVATE ONLY ENOUGH TRENCH FOR WHICH PIPE CAN BE INSTALLED AND TRENCH BACKFILLED BY THE END OF EACH WORK DAY. ALL OSHA STANDARDS FOR TRENCH EXCAVATIONS SHALL BE OBSERVED BY ALL PARTIES INVOLVED WITH UTILITY INSTALLATIONS.
13. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDINGS AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
14. THE COMPACTON OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM VEGETATION, ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS, AND SHALL BE NON-PLASTIC IN NATURE, OR HAVE A TENDENCY TO SHIFT OR FLOW UNCHARACTERISTICALLY WHEN TAMPED. BACKFILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
15. RUNOFF FROM IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE SANITARY SEWER OR ONTO ADJACENT PROPERTIES.
16. ALL JOINTS ON THE STORM WATER CONVEYANCE SYSTEM SHALL BE WATERTIGHT.
17. ALL CONSTRUCTION ASSOCIATED WITH WATER AND SANITARY SEWER SHALL BE IN ACCORDANCE WITH GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
18. ALL ELECTRICAL SERVICE LINES TO OR AROUND THE PROPOSED STRUCTURE SHALL BE UNDERGROUND.
19. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS AND DISTURBANCES WITH EXISTING USERS AND LOCAL MUNICIPALITY SO THAT ANY SERVICE INTERRUPTIONS ARE MINIMAL.
20. CONTRACTOR SHALL KEEP A RECORD PLAN SET SHOWING UTILITY CONSTRUCTION, LOCATIONS, CLEARANCES, ETC. AND PROVIDE A COPY TO THE ENGINEER TO ASSIST WITH PREPARATION OF AS-BUILT DRAWINGS. CONTRACT ENGINEER IF EXPLANATION OF WHAT ITEMS ARE REQUIRED IF UNSURE, PRIOR TO BEGINNING CONSTRUCTION.
21. PAVEMENT CUTS FOR UTILITY INSTALLATIONS SHALL BE SAWCUT FOR STRAIGHT, CLEAN EDGES. PATCHES SHALL BE IN ACCORDANCE WITH GOVERNING MUNICIPALITY.
22. CONTRACTOR SHALL COORDINATE INSTALLATIONS OR CONDUITS ON SITE PRIOR TO PREPARING ROADWAY, DRIVE OR PARKING AREA SUBGRADES.
23. WATER SHALL NOT BE ALLOWED TO RISE WITH UNFILLED UTILITY TRENCHES AFTER PIPE HAS BEEN INSTALLED. BACKFILL IMMEDIATELY AFTER PIPE INSTALLATION.
24. PIPES IN STORM DRAINAGE STRUCTURES SHALL BE CUT FLUSH TO INSIDE WALLS. INVERTS SHALL BE POURED IN DRY CONDITIONS WITH STRUCTURES BEING PUMPED OUT PRIOR TO INVERTS IF REQUIRED.
25. ALL CASTINGS AND FERROUS MATERIAL PIPING ASSOCIATED WITH WATER, SEWER, AND STORM DRAINAGE SHALL BE DOMESTICALLY CAST.
26. CONTRACTOR SHALL PROVIDE SURVEY AS-BUILTS OF STORM DRAINAGE NETWORKS AND STORMWATER CONTROL MEASURE. STORM DRAINAGE AS-BUILTS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO BACKFILLING. THE STORMWATER CONTROL MEASURE AS-BUILT(S) MUST BE COMPLETED UPON FINAL CONSTRUCTION OF NEW CONVEYANCES AND SUBMITTED FOR THE ENGINEER TO REVIEW AND APPROVE. A SEALED AS-BUILT DRAWING MAY BE REQUIRED FOR STORMWATER CONTROL CERTIFICATION. CONTACT THE ENGINEER TO VERIFY.
27. CONTRACTOR SHALL PROVIDE EASEMENT SURVEYS FOR STORM DRAINAGE SYSTEMS AND STORMWATER CONTROL MEASURES. EASEMENTS SHALL BE PLATTED AND PRESENTED TO THE ENGINEER FOR REVIEW AND APPROVAL. SEE SITE PLAN, GRADING, AND STORM DRAINAGE PLAN SHEETS FOR EASEMENT LOCATIONS.

WATER AND SEWER SEPARATION NOTES:

- 1. HORIZONTAL AND VERTICAL SEPARATION:
1.1. SANITARY SEWERS SHALL BE LAID AT LEAST 10-FOOT HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10-FOOT SEPARATION, THE PUBLIC WORKS SUPPLY MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION ON MAY ALLOW THE INSTALLATION OF THE SANITARY SEWER CLOSER TO A WATER MAIN, PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SANITARY SEWER AND AT AN ELEVATION SO THE BOTTOM OF THE WATER MAIN IS AT LEAST 18-INCHES ABOVE THE TOP OF THE SEWER.
1.2. IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SANITARY SEWER IS OVER THE WATER MAIN, BOTH THE WATER MAIN AND SANITARY SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH THE PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150PSI TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.
1.3. A 24-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED. A 12-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND WATER MAIN.
1.3.1. IF A 12-INCH VERTICAL SEPARATION IS NOT MAINTAINED AT A CROSSING BETWEEN STORM SEWER AND WATER MAINS (OR PRESSURE SEWERS), THE WATER MAIN SHALL BE CONSTRUCTED OF FERROUS PIPE AND A CONCRETE COLLAR SHALL BE POURED AROUND WATER MAINS AND STORM SEWER TO IMMOBILIZE THE CROSSING.
2. CROSSINGS:
2.1. SANITARY SEWER CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18-INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SANITARY SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
2.2. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED:
2.2.1. THE SANITARY SEWER SHALL BE DESIGNED AND CONSTRUCTED OF FERROUS PIPE AND SHALL BE PRESSURE TESTED AT 150PSI TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING, OR
2.2.2. EITHER THE WATER MAIN OR THE SANITARY SEWER LINE MAY BE ENCASED IN A WATER TIGHT CONCRETE CARRIER. THE CARRIER SHALL BE CONSTRUCTED ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY THE PUBLIC WATER SUPPLY FOR USE IN WATER MAIN CONSTRUCTION.

ADA INSTRUCTIONS TO CONTRACTOR:

- CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS AND REGULATIONS BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES(S), PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
1. PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
2. CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.
3. LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS. MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
4. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 48-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP REGULATIONS MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%) FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND 'LEVEL' LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
5. DOORWAYS - MUST HAVE A 'LEVEL' LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY COD.)
6. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES. IN RARE CIRCUMSTANCES, PRIOR TO THE COMMENCEMENT OF WORK, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER IN WRITING OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS. IN WRITING, BEFORE COMMENCEMENT OF WORK, CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.
7. THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-COMFORMING CONCRETE.
8. THE SITE SHALL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1-2009 AND CHAPTER 11 OF THE NCBG) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE.
9. ACCESSIBILITY REQUIREMENTS: THAT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE THE MINIMUM REQUIRED ACCESSIBLE PARKING SPACES AND DESIGN ALL ACCESSIBLE PARKING SPACES, RAMPS, AND CROSSWALKS, AND ASSOCIATED INFRASTRUCTURE ACCORDING TO AMERICANS WITH DISABILITIES ACT STANDARDS, NORTH CAROLINA BUILDING CODE, AMERICAN NATIONAL STANDARDS INSTITUTE ANSIC CODE, AND TOWN STANDARD 1. PARKING - NUMBER OF SPACES TO COMPLY WITH NCBG 2018 SECTION 1106.1. 1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE. NO SLOPE TO EXCEED 2 PERCENT IN ANY DIRECTION. SIGNAGE PER NO REQUIREMENTS. MUTCD AND ICC A 117.1.2 CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE LIMITED TO 2 PERCENT. CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE. A SLOPE GREATER THAN 5 PERCENT REQUIRES CONSTRUCTION AS A RAMP.

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

CONSTRUCTION WASTE NOTES:

- 1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE GOVERNING MUNICIPALITIES' REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS.
2. PURSUANT TO THE GOVERNING MUNICIPALITIES' RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
3. PURSUANT TO THE GOVERNING MUNICIPALITIES' RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE, WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS, SHALL BE LICENSED BY THE GOVERNING MUNICIPALITIES.
4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
5. THE PRESENCE IF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

INSPECTION NOTES:

- 1. ADDRESS NUMBERS MUST BE A MINIMUM OF 6 INCHES HIGH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. REFLECTIVE NUMBERS ARE PREFERRED. WHEN THE DISTANCE FROM THE STREET OR FIRE DEPARTMENT ACCESS LANE TO THE FRONT OR ADDRESS SIDE OF THE BUILDING EXCEEDS 25 FEET, LARGER NUMBERS ARE REQUIRED. 26 FEET TO 50 FEET SHALL HAVE 8 INCH NUMBERS, 51-75 FEET SHALL HAVE 12 INCH NUMBERS AND OVER 75 FEET SHALL HAVE 18 INCH NUMBERS. WHERE ACCESS IS BY PRIVATE MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
2. KEY BOXES SHALL BE REQUIRED ON ANY BUILDING THAT HAS A FIRE ALARM SYSTEM, A FIRE SPRINKLER SYSTEM, AN ELEVATOR, OR SPECIAL LOCKING ARRANGEMENTS. THE KEY BOX SHALL BE OF AN APPROVED TYPE AS REQUIRED FROM THE FIRE DEPARTMENT. THE SIZE OF THE KEY BOX WILL BE DETERMINED BY THE NUMBER OF KEYS NECESSARY TO MITIGATE ANY EMERGENCY SITUATION BASED ON THE BUILDING AND ITS OCCUPANCY. AN APPROVED LOCK SHALL BE INSTALLED ON GATES OR SIMILAR BARRIERS WHEN REQUIRED BY THE FIRE CODE OFFICIAL. KEYS SHALL BE CHANGED OUT IMMEDIATELY IF THE LOCKS ARE CHANGED OR RE-KEYED.
3. A LEAD-FREE RPZ WITH BYPASS FOR THE BACKFLOW PROTECTION IS REQUIRED. ENSURE AT LEAST 18 INCHES OF WORKING CLEARANCE IS PROVIDED AROUND OR MORE IF MANUFACTURER'S INSTRUCTIONS REQUIRE MORE.
4. DEMOLITION OF THE EXISTING STRUCTURES WILL REQUIRE AN ASBESTOS TEST PRIOR TO DEMOLITION AND A SECOND ASBESTOS TEST OF THE SOIL AFTER THEY HAVE BEEN REMOVED.
5. IF REQUIRED, THE PROPOSED BUILDINGS SHALL BE PROTECTED BY NFPA 13 SPRINKLER SYSTEM

Table with 10 columns: No., Date, Revisions, By. Contains revision tracking information.

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PROJECT NO. 22-0103 DRAWING NAME: 22_0103_CS SHEET NO. C-2

DESIGN DRAWINGS OUTEN POTTERY PARK 430 JEFFERSON STREET MATTHEWS, NC 28105 PROJECT NOTES

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DESIGN DRAWINGS OUTEN POTTERY PARK 430 JEFFERSON STREET MATTHEWS, NC 28105 PROJECT NOTES

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

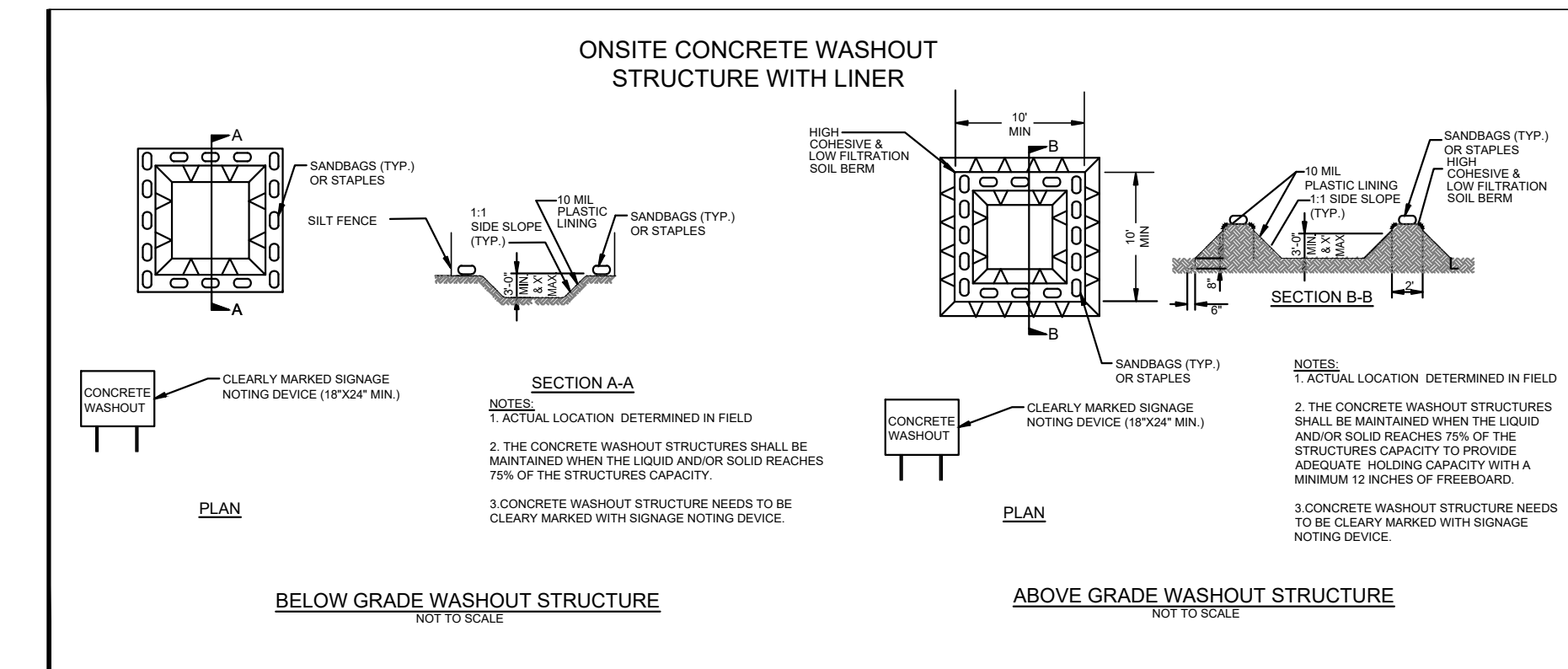
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

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EROSION & SEDIMENT CONTROL
NOTES

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PROJECT NO.: 22-0103
 DRAWING NAME: 22-0103_D
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**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6)]. Division staff may waive the requirement for a written report on a case-by-case basis.

**PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

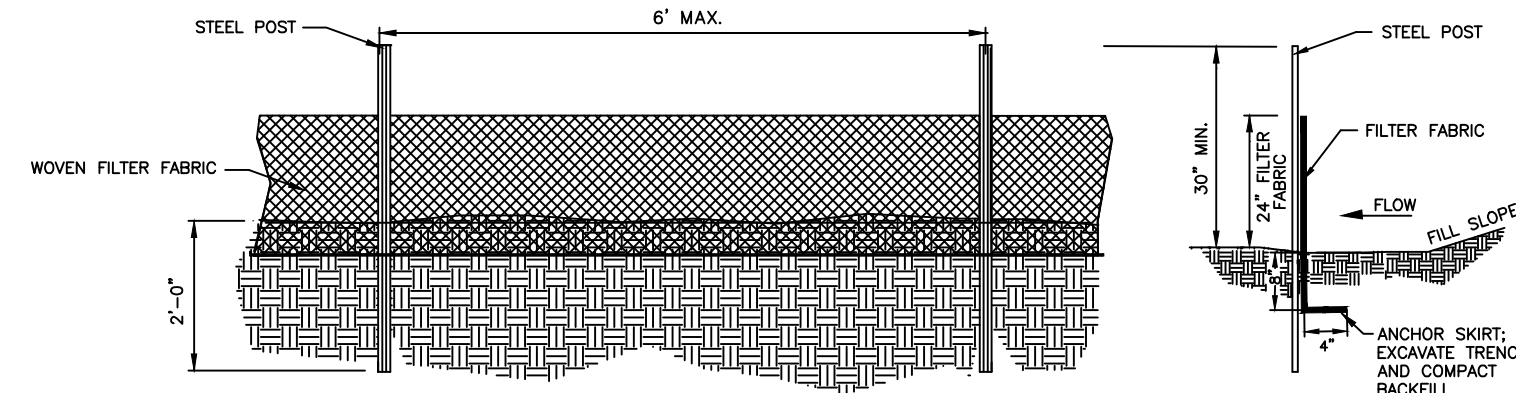
Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

7	6	5	4	3	2	1	DATE	BY
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								State License #: P-0339 430 JEFFERSON STREET FIDELBOROUGH, NC 27728 Voice: (919) 732-3883 Fax: (919) 732-6676 www.summitde.com
DESIGN DRAWINGS OUTEN POTTERY PARK 430 JEFFERSON STREET MATTHEWS, NC 28105								EROSION & SEDIMENT CONTROL NOTES
PROJECT NO.								22-0103
DRAWING NAME:								22-0103_D
SHEET NO.								D-2



GENERAL NOTES:

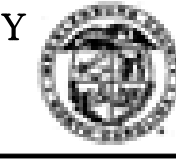
1. FILTER FABRIC FENCE SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
2. WOVEN FILTER FABRIC BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
3. STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
4. TURN SILT FENCE UP SLOPE AT ENDS.
5. ORANGE SAFETY FENCE IS REQUIRED AT BACK OF SILT FENCE WHEN GRADING IS ADJACENT TO SWIM BUFFERS, STREAMS OR WETLANDS (REFER TO SWIM BUFFER GUIDELINES). THE COLOR ORANGE IS RESERVED FOR VISUAL IDENTIFICATION OF ENVIRONMENTALLY SENSITIVE AREAS.
6. DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
7. SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.62A NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
8. DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER AREAS OF CONCENTRATED FLOW.

MAINTENANCE NOTES:

1. FILTER BARRIERS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
2. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROX. HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

NOT TO SCALE

MECKLENBURG COUNTY
LAND DEVELOPMENT
STANDARDS



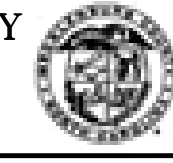
TEMPORARY SILT FENCE

STD. NO. REV.
30.06A

STD. & SPEC. #	TITLE	SPECIAL REQUIREMENTS & NOTES
6.17	ROLLED EROSION CONTROL PRODUCTS	—
6.51	HARDWARE CLOTH & GRAVEL INLET PROTECTION	—
6.60	TEMPORARY SEDIMENT TRAP	WEIR TOP WIDTH 10' MIN., BOTTOM 7' MIN.
6.61	SEDIMENT BASIN	FLASH BOARD RISER NOT PERMITTED
6.64	SKIMMER SEDIMENT BASIN	1ST BAFFLE: RIP RAP & WASHED STONE BERM 2ND BAFFLE: STANDARD BAFFLE 3RD BAFFLE: HARDWARE CLOTH SURROUNDING THE SKIMMER

THE STANDARDS & SPECIFICATIONS SHOWN ARE FROM THE "NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL" (NCESCPDM) PREPARED BY NC DEPT. OF ENVIRONMENT AND NATURAL RESOURCES (NCDENR).

MECKLENBURG COUNTY
LAND DEVELOPMENT
STANDARDS



SPECIAL
EROSION CONTROL
REQUIREMENTS & NOTES

STD. NO. REV.
30.00

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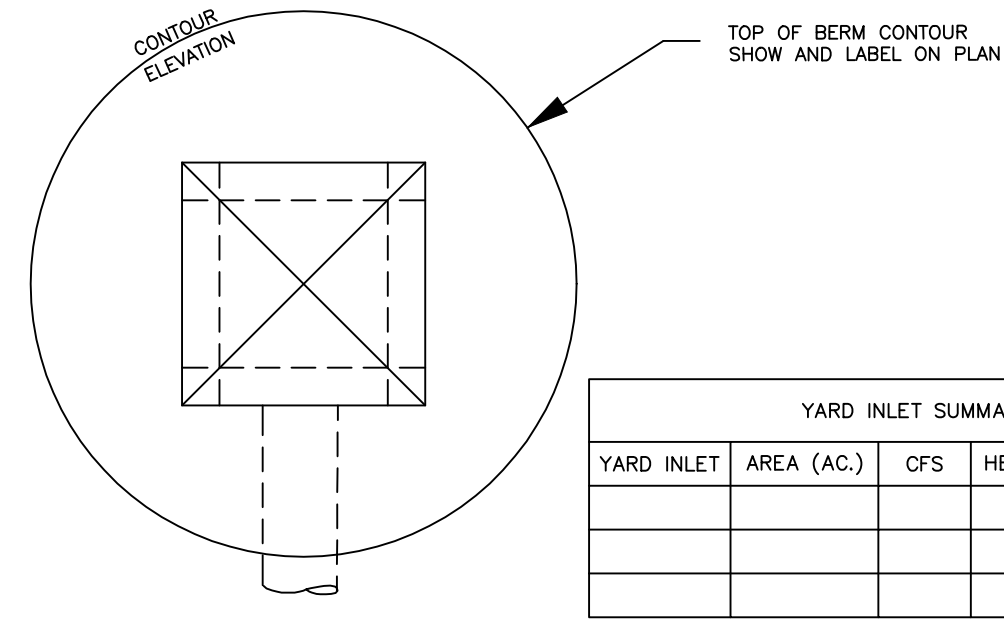
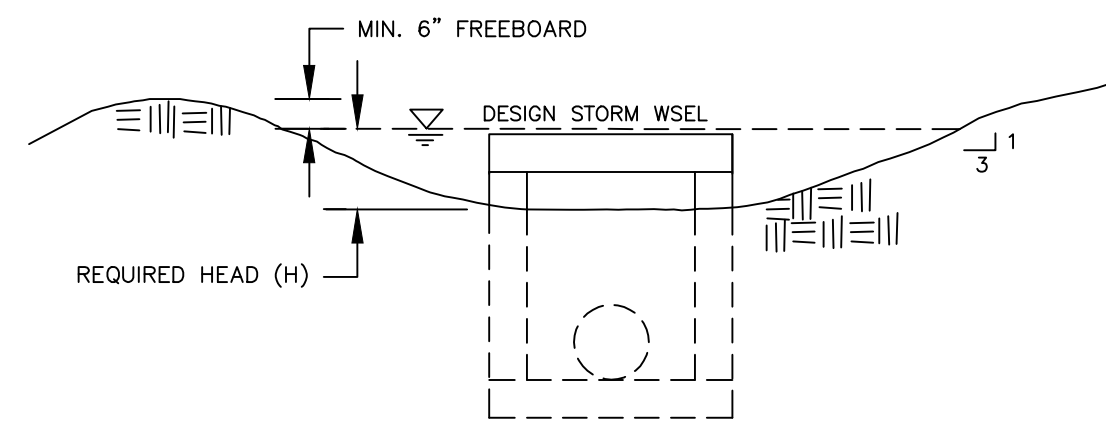
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MATTHEWS, NC 28105
EROSION CONTROL DETAILS

PROJECT NO.
22-0103
DRAWING NAME:
22-0103_D
SHEET NO.
D-3



YARD INLET SUMMARY CHART				
YARD INLET	AREA (AC.)	CFS	HEAD H (FT.)	COMMENT

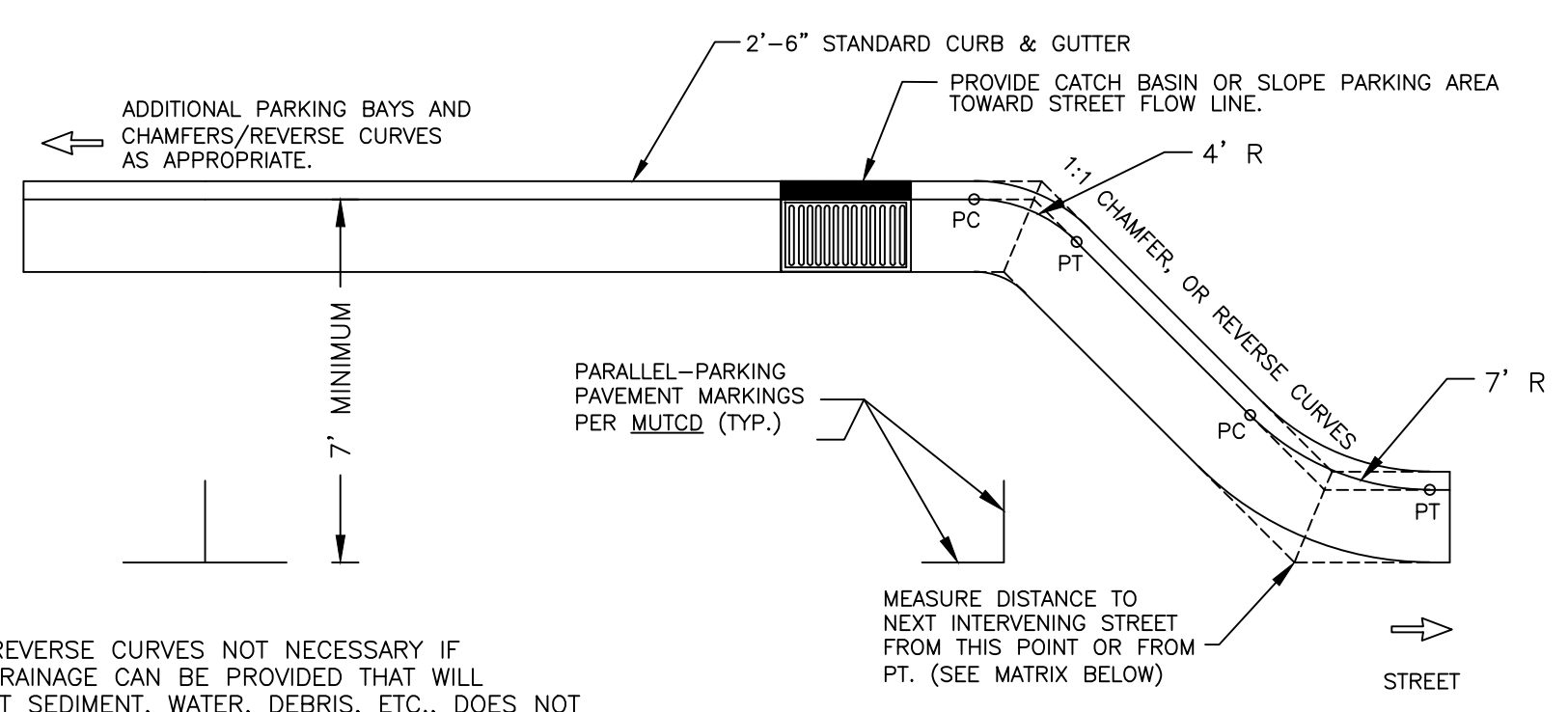
APPROVED DATE: 02/2007

MECKLENBURG COUNTY
LAND DEVELOPMENT
STANDARDS



GRADING AT DROP INLET

STD. NO.	REV.
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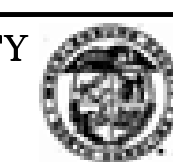


- NOTES:
1. CHAMFERS/REVERSE CURVES NOT NECESSARY IF ADEQUATE DRAINAGE CAN BE PROVIDED THAT WILL ENSURE THAT SEDIMENT, WATER, DEBRIS, ETC., DOES NOT COLLECT IN 90-DEGREE CORNERS.
 2. PARALLEL ACCESSIBLE SPACES AND LOADING ZONES TO BE REVIEWED ON A CASE-BY-CASE BASIS.
 3. FOR PARKING BAYS THAT ARE 8 FEET IN WIDTH OR GREATER, THE PAVEMENT MARKINGS SHALL BE SET AT ONE (1) FOOT LESS THAN THE STALL WIDTH.
 4. GREATER SEPARATION FROM INTERVENING STREETS THAN THE DISTANCES PROVIDED IN THE MATRIX MAY BE REQUIRED AT TOWN OR COUNTY'S DISCRETION.
 5. POSITIVE DRAINAGE SHALL BE PROVIDED EITHER BY INSTALLATION OF APPROPRIATE DRAINAGE STRUCTURES OR SLOPE PARKING AREA TO STREET FLOW LINE.

PARALLEL PARKING BAY LOCATED ON	MINIMUM DISTANCE TO NEXT INTERVENING STREET		
	DRIVEWAY	LOCAL/COLLECTOR	TH'FARE
LOCAL/COLLECTOR	20'	20'	20'
THOROUGHFARE	20'	20'	50'

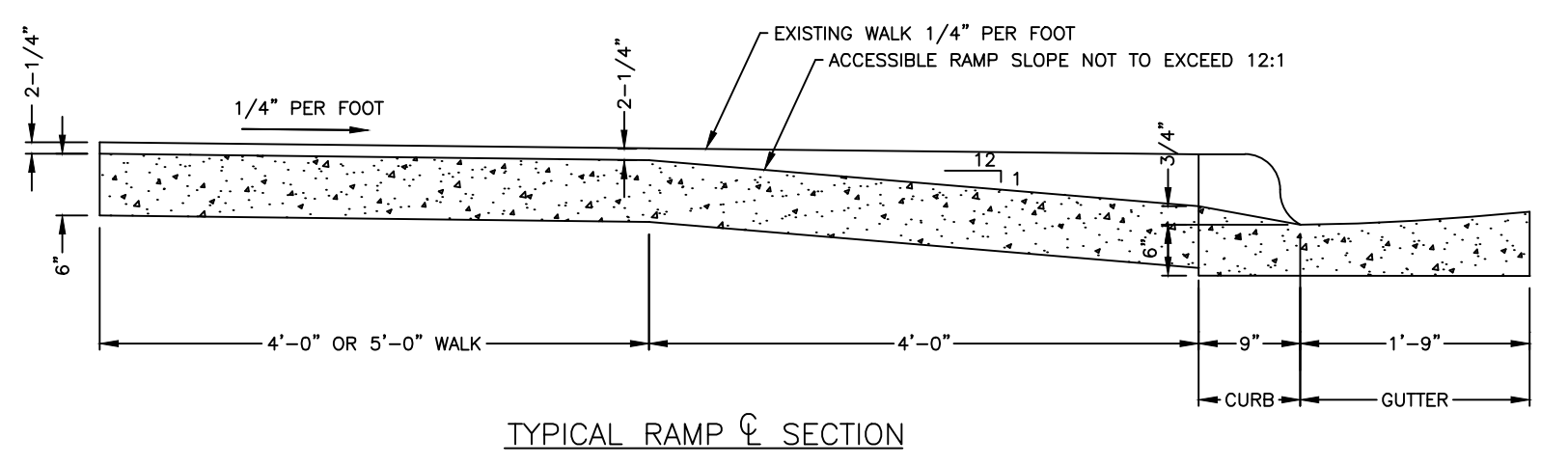
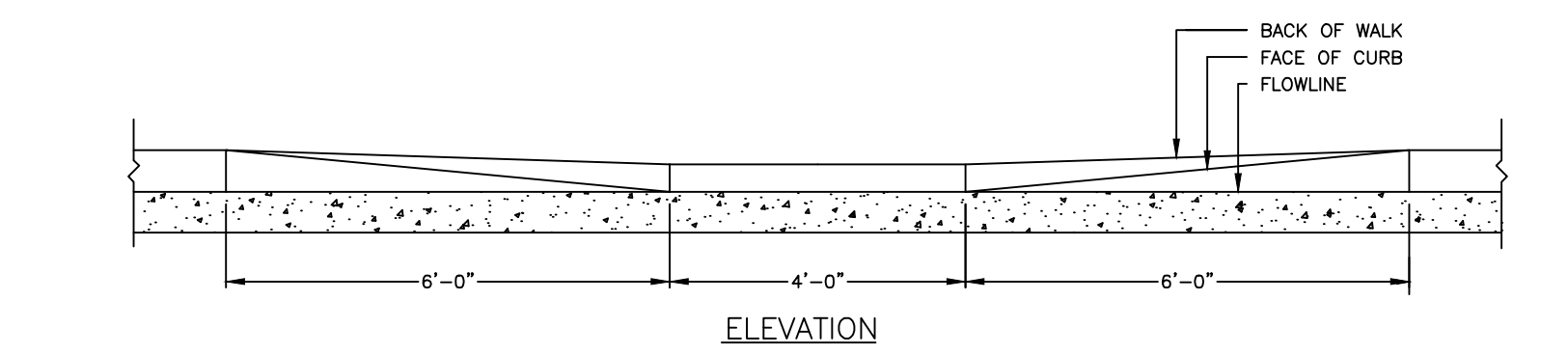
APPROVED DATE: 02/2007

MECKLENBURG COUNTY
LAND DEVELOPMENT
STANDARDS



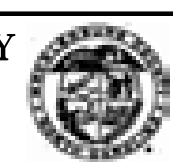
PARALLEL PARKING STANDARDS

STD. NO.	REV.
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APPROVED DATE: 02/2007

MECKLENBURG COUNTY
LAND DEVELOPMENT
STANDARDS



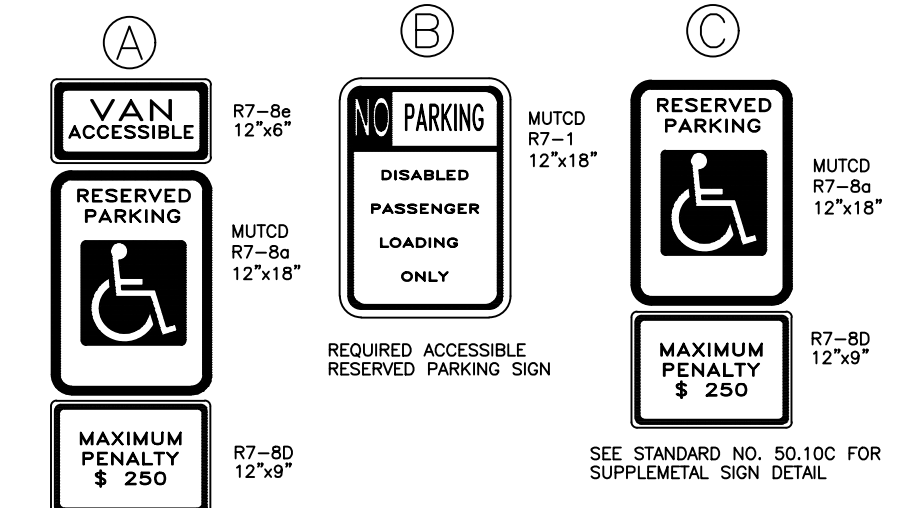
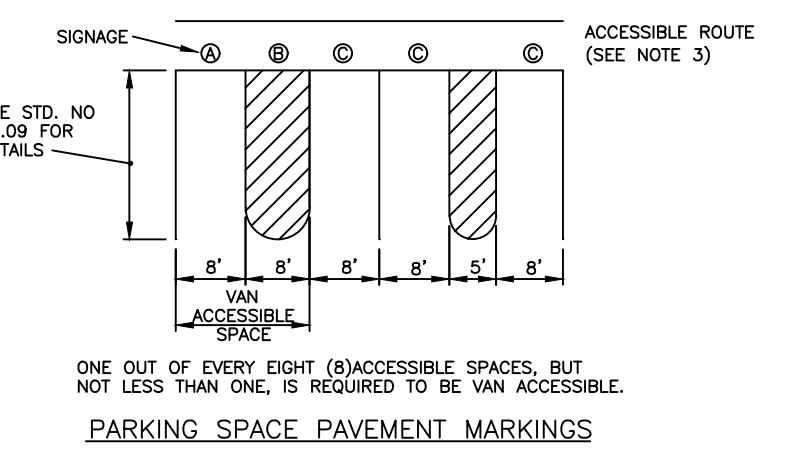
ACCESSIBLE RAMP SECTIONS WITH PLANTING STRIP 2-6" CURB AND GUTTER

STD. NO.	REV.
10.31B	

ACCESSIBLE PARKING REQUIREMENTS

TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	1
301 TO 400	8	1
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 8 ACCESSIBLE SPACES
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 8 ACCESSIBLE SPACES

- SECTION 4.1.2 (5) OF THE AMERICANS WITH DISABILITIES ACT (ADA). SEE 4.1.2.(5) (4) FOR MEDICAL CARE FACILITIES.
- NOTES:
1. ALL 12"x18" ACCESSIBLE SIGNS (R7-8a & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
 2. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
 3. IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPIS ARE REQUIRED AT LOADING ZONE AREA.



APPROVED DATE: 02/2007

MECKLENBURG COUNTY
LAND DEVELOPMENT
STANDARDS



ACCESSIBLE PARKING AND SIGNAGE STANDARDS

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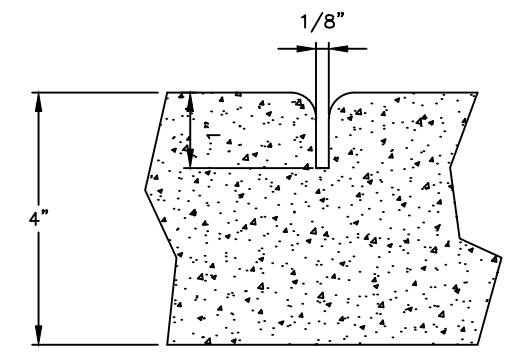
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FIRST ISSUE DATE
12-19-2002

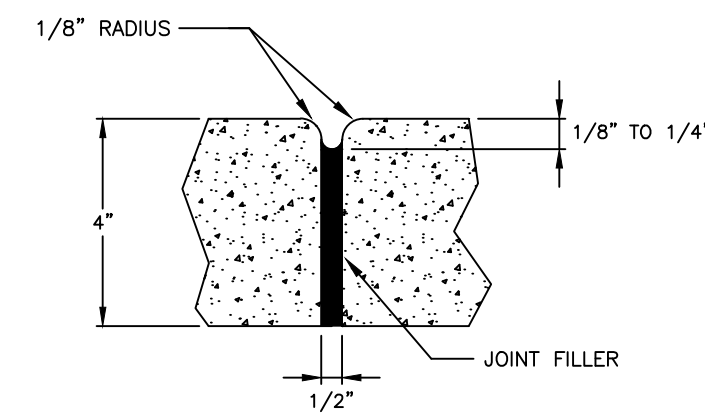
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22-0103
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SHEET NO.
D-4



GROOVE JOINT IN SIDEWALK

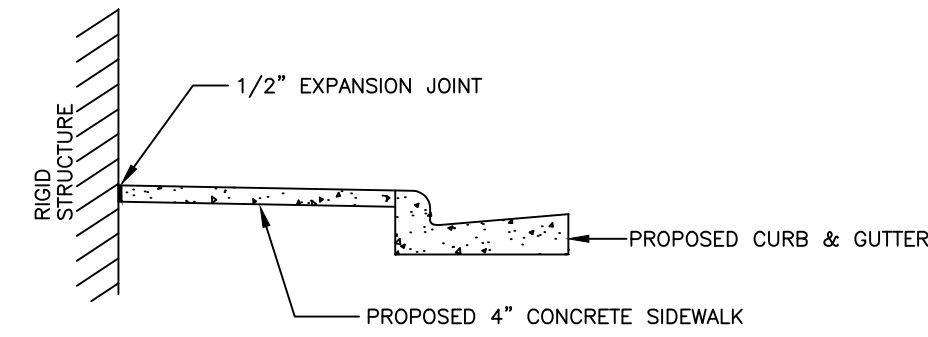


TRANSVERSE EXPANSION JOINT IN SIDEWALK

APPROVED DATE: 02/2007

GENERAL NOTES:

1. A GROOVE JOINT 1" DEEP WITH 1/8" RADI SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS NOT TO EXCEED 50' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
2. SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
3. WIDTH OF SIDEWALK ON THOROUGHFARE STREETS SHALL BE A MINIMUM OF 5'.
4. WIDTH OF SIDEWALKS ON NON-THOROUGHFARE STREETS SHALL BE A MINIMUM OF 5'.
5. SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS.
6. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 P.S.I. IN 28 DAYS.
7. ZONING CONDITIONS MAY REQUIRE ADDITIONAL WIDTH SIDEWALKS WHICH SHALL SUPERSEDE THESE STANDARD DIMENSIONS SHOWN.



DETAILS SHOWING EXPANSION JOINTS

FOR CONCRETE SIDEWALK

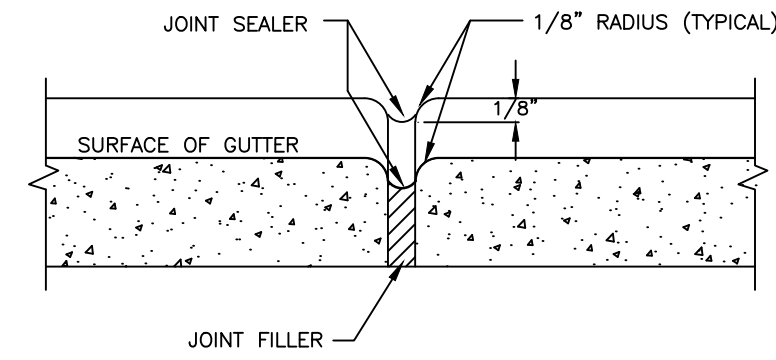
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MECKLENBURG COUNTY
LAND DEVELOPMENT
STANDARDS



CONCRETE SIDEWALKS

STD. NO.	REV.
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TRANSVERSE EXPANSION JOINT

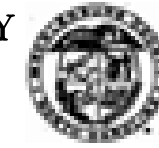
NOTES:

1. CONTRACTION JOINTS SHALL BE SPACED AT 10-FOOT INTERVALS. FOR VALLEY GUTTER, A 10-FOOT SPACING MAY BE USED WHEN A MACHINE IS USED. JOINT SPACING MAY BE ALTERED BY THE COUNTY ENGINEER TO PREVENT UNCONTROLLED CRACKING.
2. CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE OBTAINED.
3. ALL EXPANSION JOINTS SHALL BE SPACED AT 90-FOOT INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS. JOINTS SHALL MATCH LOCATIONS WITH JOINTS IN ABUTTING SIDEWALK.
4. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 P.S.I. IN 28 DAYS.
5. CURB SHALL BE DEPRESSED AT INTERSECTIONS TO PROVIDE FOR FUTURE ACCESSIBLE RAMPS.
6. TOP 6" OF SUBGRADE BENEATH THE CURB AND GUTTER SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.

APPROVED DATE: 02/2007

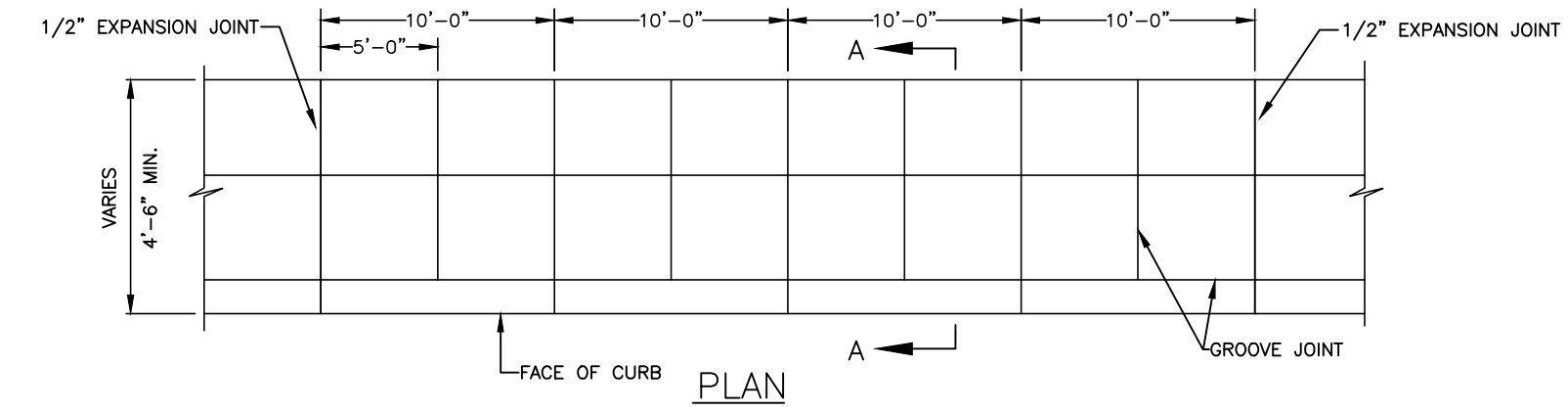
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MECKLENBURG COUNTY
LAND DEVELOPMENT
STANDARDS

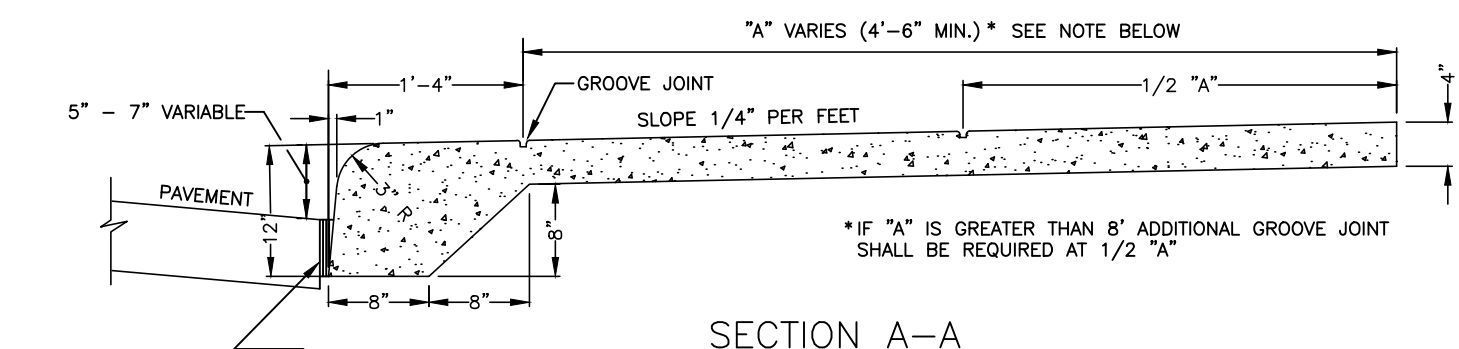


CONCRETE CONTRACTION JOINT

STD. NO.	REV.
10.17C	



PLAN



SECTION A-A

TWO 1/2" THICK PIECES BITUMINOUS FIBER REQUIRED IF SUBBASE IS CONCRETE. MUST BE SEALED WITH APPROVED JOINT SEALER.

GENERAL NOTES:

1. A GROOVE JOINT 1" DEEP WITH 1/3" RADI SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 40' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
2. ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.
3. SEE STANDARD 10.22 FOR DETAIL OF EXPANSION JOINT AND GROOVE JOINT.
4. SEE STANDARD 10.26 FOR DETAIL OF DRIVEWAY.
5. MONOLITHIC CURB AND SIDEWALK TO BE CONSTRUCTED ONLY WHEN REPLACING GRANITE CURB OR AT LOCATIONS APPROVED BY THE APPROPRIATE COUNTY ENGINEER.

APPROVED DATE: 02/2007

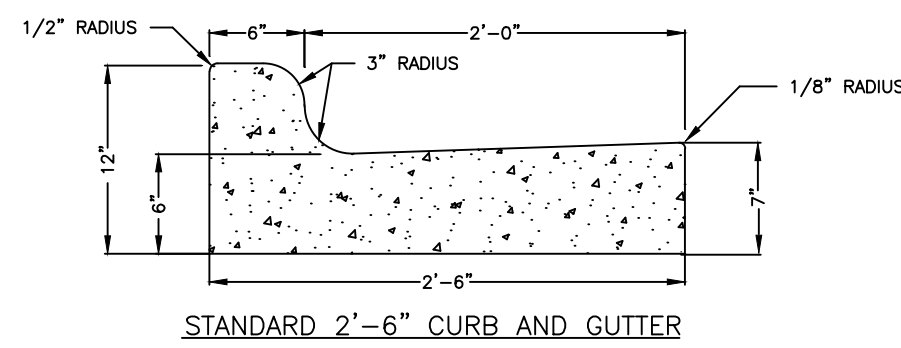
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MECKLENBURG COUNTY
LAND DEVELOPMENT
STANDARDS

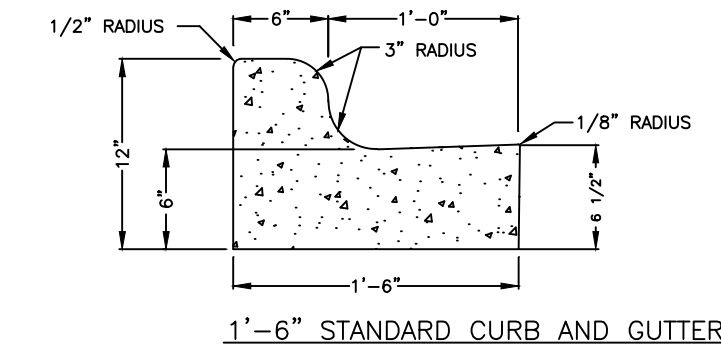


MONOLITHIC CONCRETE CURB AND SIDEWALK

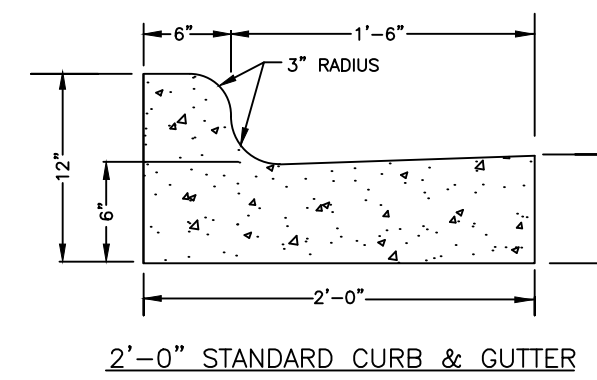
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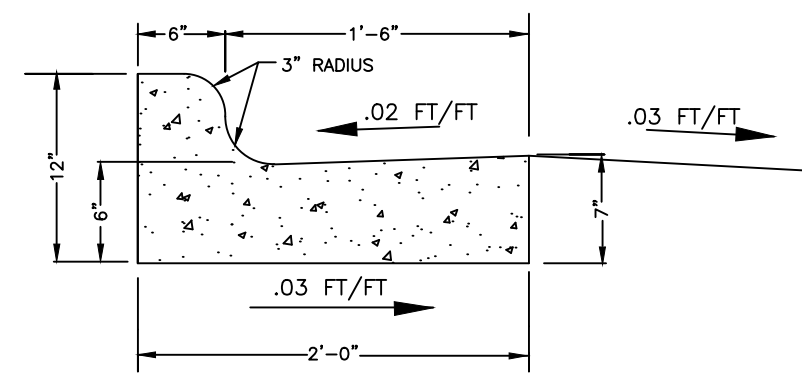
STANDARD 2'-6" CURB AND GUTTER



1'-6" STANDARD CURB AND GUTTER



2'-0" STANDARD CURB & GUTTER

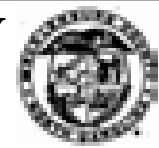


SLOPE FOR VARIABLE SUPERELEVATION RATES

APPROVED DATE: 02/2007

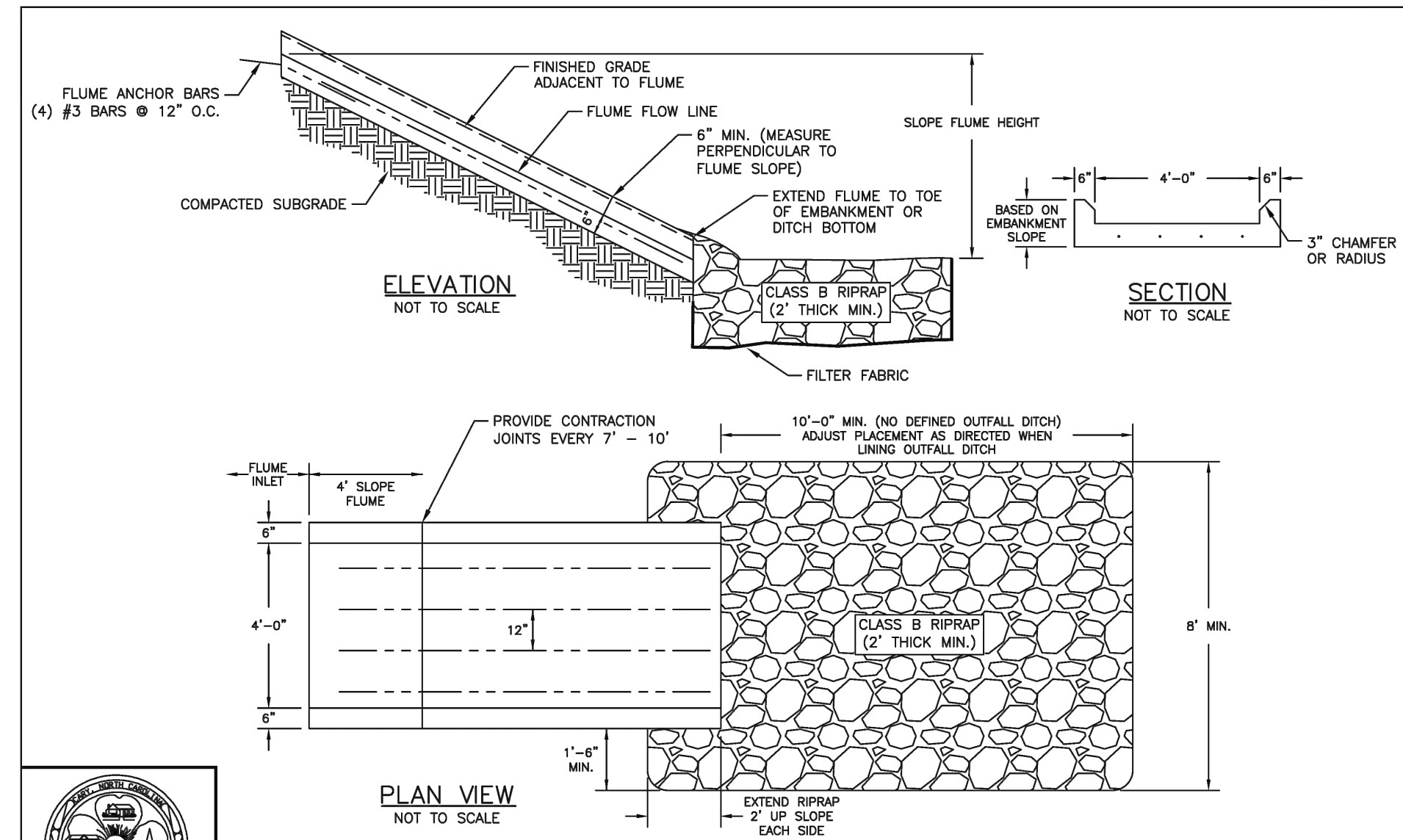
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MECKLENBURG COUNTY
LAND DEVELOPMENT
STANDARDS



STANDARD CURB AND GUTTER

STD. NO.	REV.
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ELEVATION

SECTION

PLAN VIEW

CONCRETE DRAINAGE FLUME



EFFECTIVE: 05/15/20

DETAIL No.
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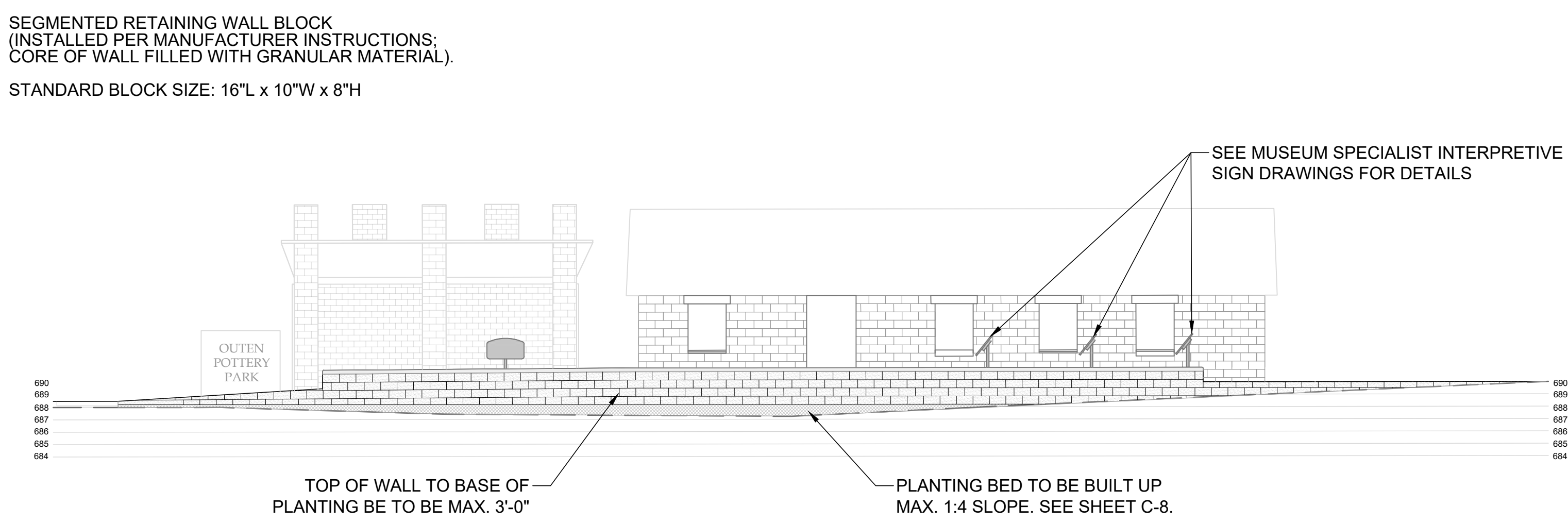
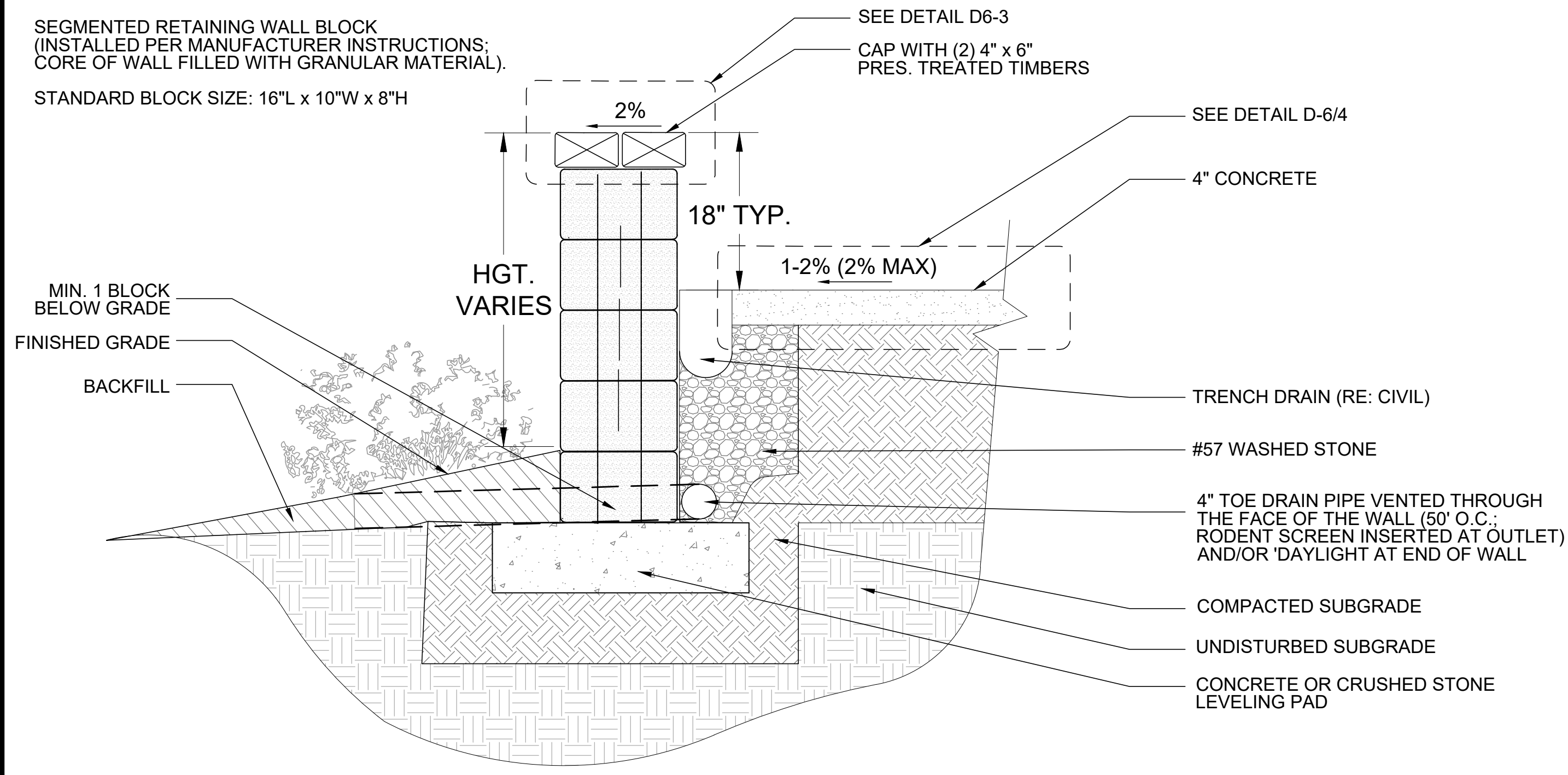
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FIRST ISSUE DATE
12-19-2022

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DESIGN DRAWINGS
OUTEN POTTERY PARK
430 JEFFERSON STREET
MATTHEWS, NC 28105
CIVIL DETAILS

PROJECT NO.
22-0103
DRAWING NAME:
22-0103_D
SHEET NO.
D-5



1 SEGMENTED BLOCK RETAINING WALL
1" = 1"

3 SEGMENTED BLOCK RETAINING WALL
1/2" = 1"

Bollard Post, Model R-7902

General Description:
Make a pronounced statement on entry to your commercial, business, park, school or stadium with the contemporary and practical design of the model R-7902 bollard post. It is available in a variety of finishes to complement the aesthetics of almost any architectural style. It can be embedded in new concrete or surface-mounted on existing concrete. For locations where access needs flexibility, it can also be installed with removable or fold-down mounts. The model R-7902 can be finished in one of seven different powder-coated color options and it is kept in stock, available to ship immediately.

Specifications:
Height: 30" (Above Grade)
Base Diameter: 4 3/8"
Weight: 31 lbs (Bollard Post Full Length)
Material: Steel (ASTM A36)
Finish Options:
- Polyurethane Powdercoated
- See Reliance Foundry's standard color options at www.reliancefoundry.com/bollard/installation/bollards

Mount Options:
- Removable Faceover with Lid (see sheet 2 of 8)
- Removable Faceover with Chain (see sheet 3 of 8)
- Fixed Embedded Mount (see sheet 4 of 8)
- Flanged Surface Mount (see sheet 5 of 8)
- Fold-Down Mount (see sheet 6 of 8)
- Removable Shadow Mount (see sheet 7 of 8)
- Optional Chain Accessory (see sheet 8 of 8)

Notes:
- Embedment details are for reference illustration only. Minimum foundation sizes depend on local soil conditions, weather conditions, and engineering requirements.
- Bollard post is provided as shown, with material detailed in legend below. Concrete, foundation and/or installation ordered separately or provided by others.
- This drawing is not drawn to scale. Dimensions provided herein is for reference only. Please consult Reliance Foundry sales professionals if any dimension is critical to your particular installation.
- Reliance Foundry reserves the right to amend design and specifications without prior notice for product improvement.

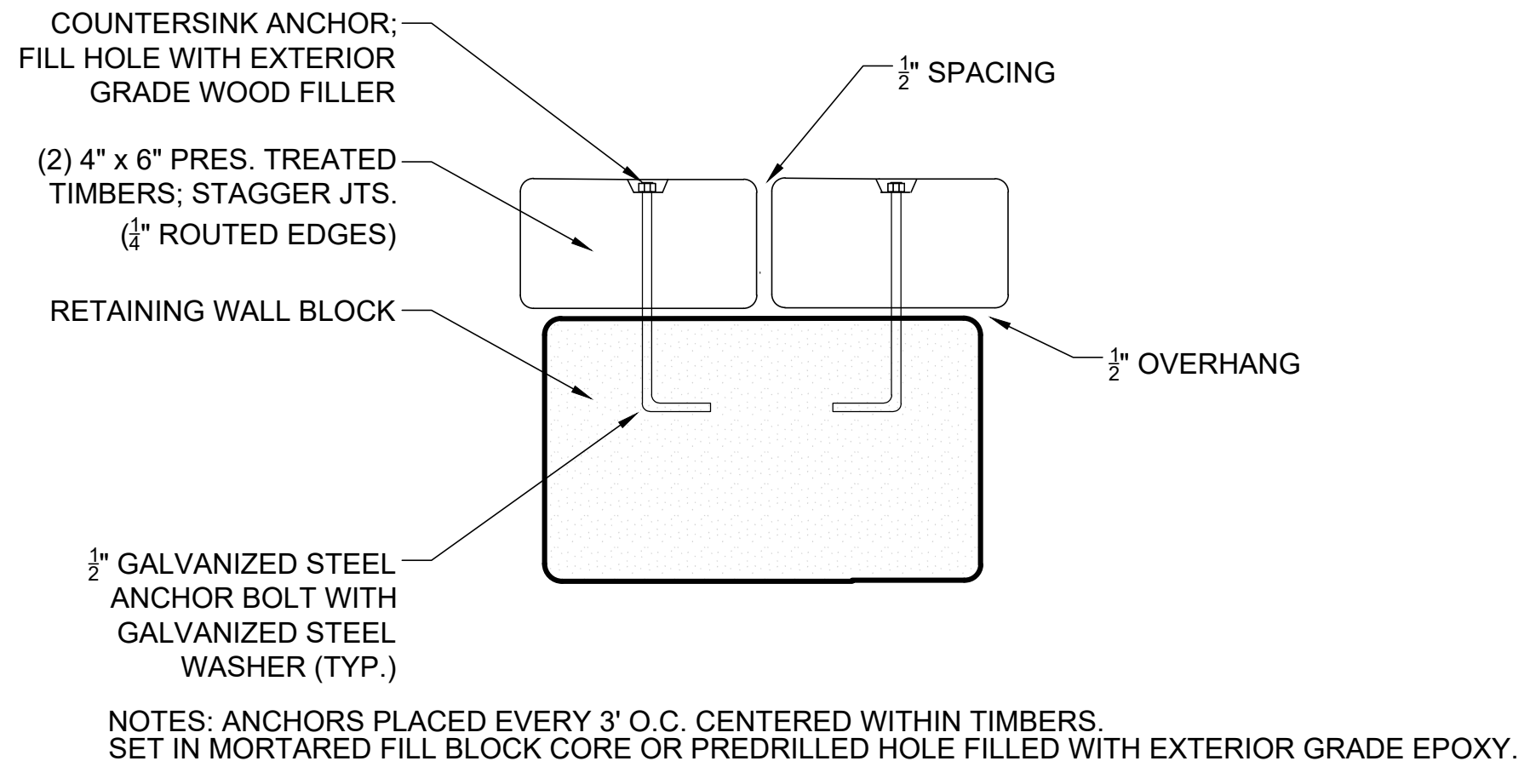
ITEM	QTY	PART NUMBER	DESCRIPTION	MATERIAL	WEIGHT
1	1	R7902 Fold Down Bollard	R7902 Fold Down Bollard Assembly	Steel Powder Coated	27 lbs
2	1	R7902A Fold Down Base	R7902A Fold Down Base Assembly	Steel HDG	15 lbs
3	2	Button Head Bolt 3/8" x 1"	Hexagon Socket Button Head Bolt 3/8" x 1" - requires 7/32" hex key	Stainless Steel	
4	2	O-Ring 3/8"	Nitrile Rubber O-Ring 3/8"	Nitrile Rubber	
5	2	Hex Nut Nylon Lock 3/8"	Hex Nut Nylon Lock 3/8" - requires 9/16" wrench	Steel Plated Nylon Lock	
6	4	Button Head Bolt 1/2" x 1 1/4"	Hexagon Socket Button Head Bolt 1/2" x 1 1/4" - requires 5/16" hex key	Stainless Steel	1/8 lbs
7	4	Stainless Steel Washer 1/2"	Stainless Steel Washer 1/2" x 1 1/4" Thick .05"	Stainless Steel	1/8 lbs
8	4	Drop-In Concrete Insert 1/2"	Drop-In Concrete Insert 1/2" - requires 5/8" x 2" hole (dia. x depth)	Steel Plated	1/8 lbs
9	1	Pushlock (Optional)	Optional Pushlock (Brass or Stainless Steel)	Choice of Brass or Stainless Steel	5/8 lbs

RELIANCE FOUNDRY
Unit 207, 6405 - 146 Street, Surrey, BC V5S 7G7, Canada
1-888-738-5660 info@reliance-foundry.com
www.reliance-foundry.com

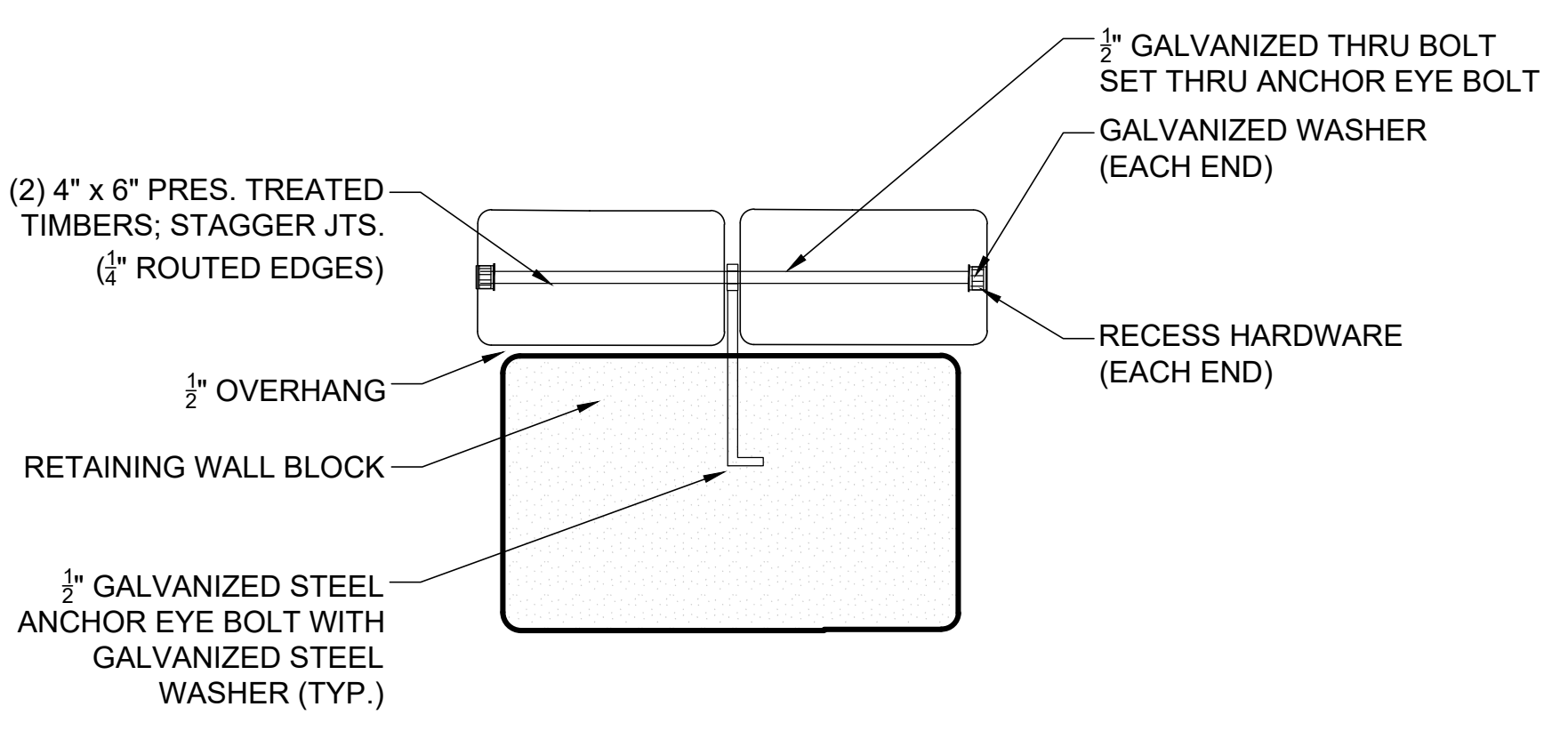
Bollard Post, Model R-7902

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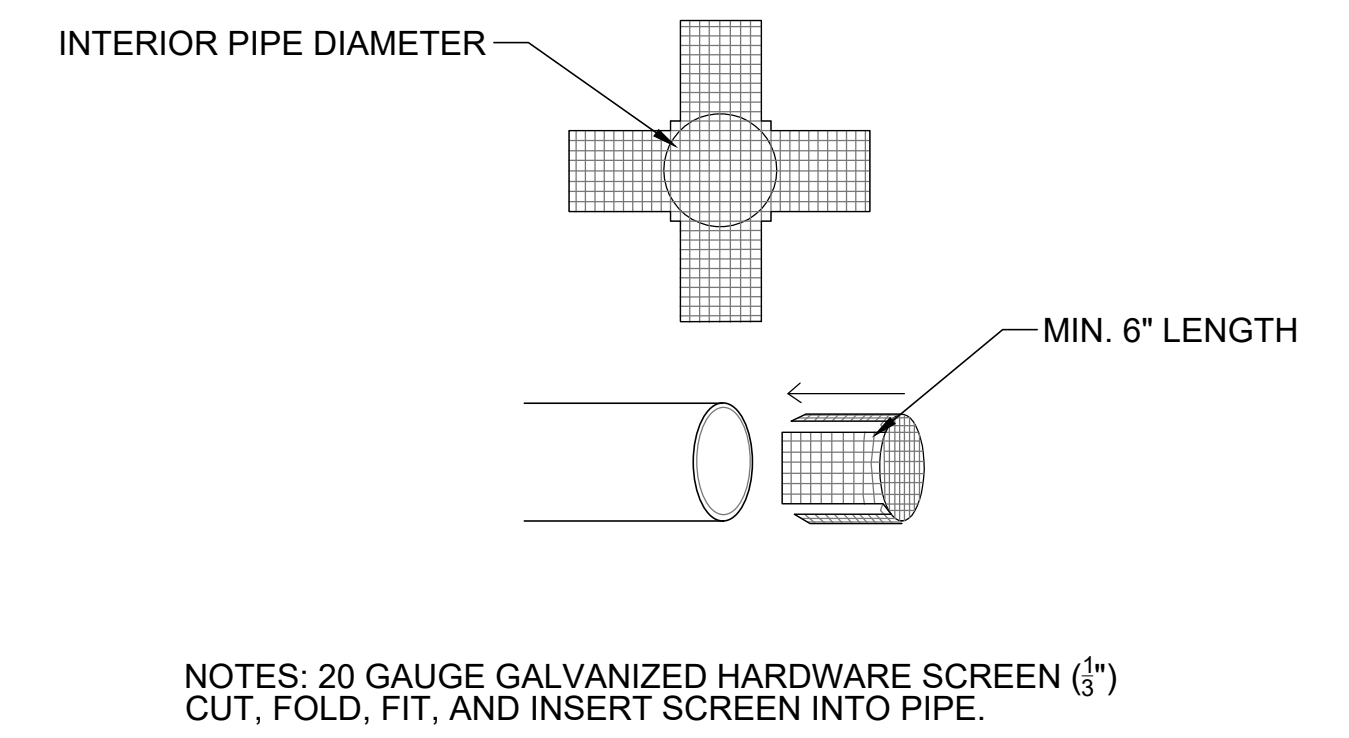
2 BOLLARD POST WITH FOLD DOWN SURFACE MOUNT
NTS



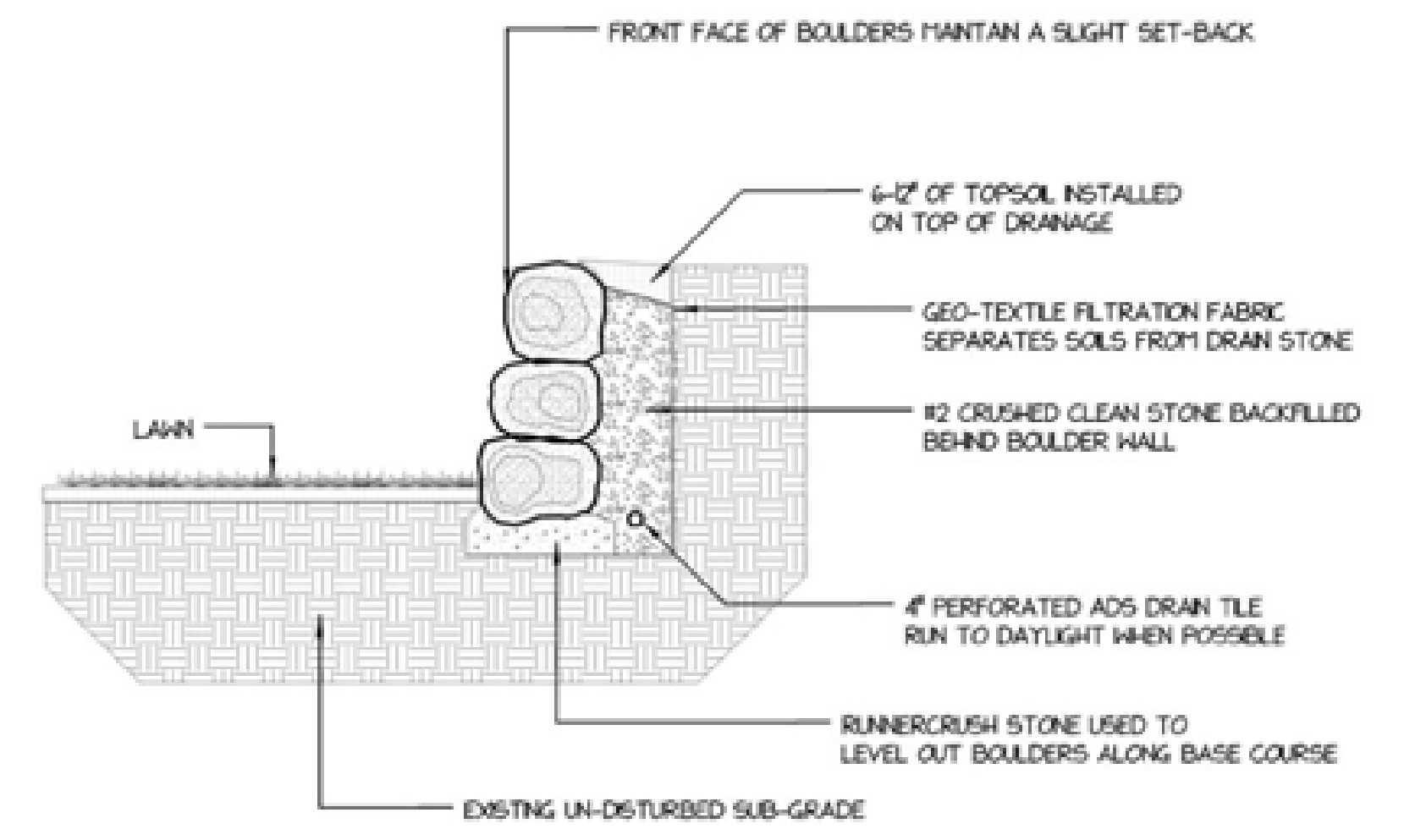
4 TIMBER CAP FOR RETAINING WALL
NTS



5 TIMBER CAP FOR RETAINING WALL - ANCHOR OPTION 2
NTS



6 RODENT PIPE SCREEN
NTS



7 DRY STACKED BOULDER GARDEN WALL
NTS

NO.	REVISIONS	DATE	BY
7			
6			
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3			
2			
1			

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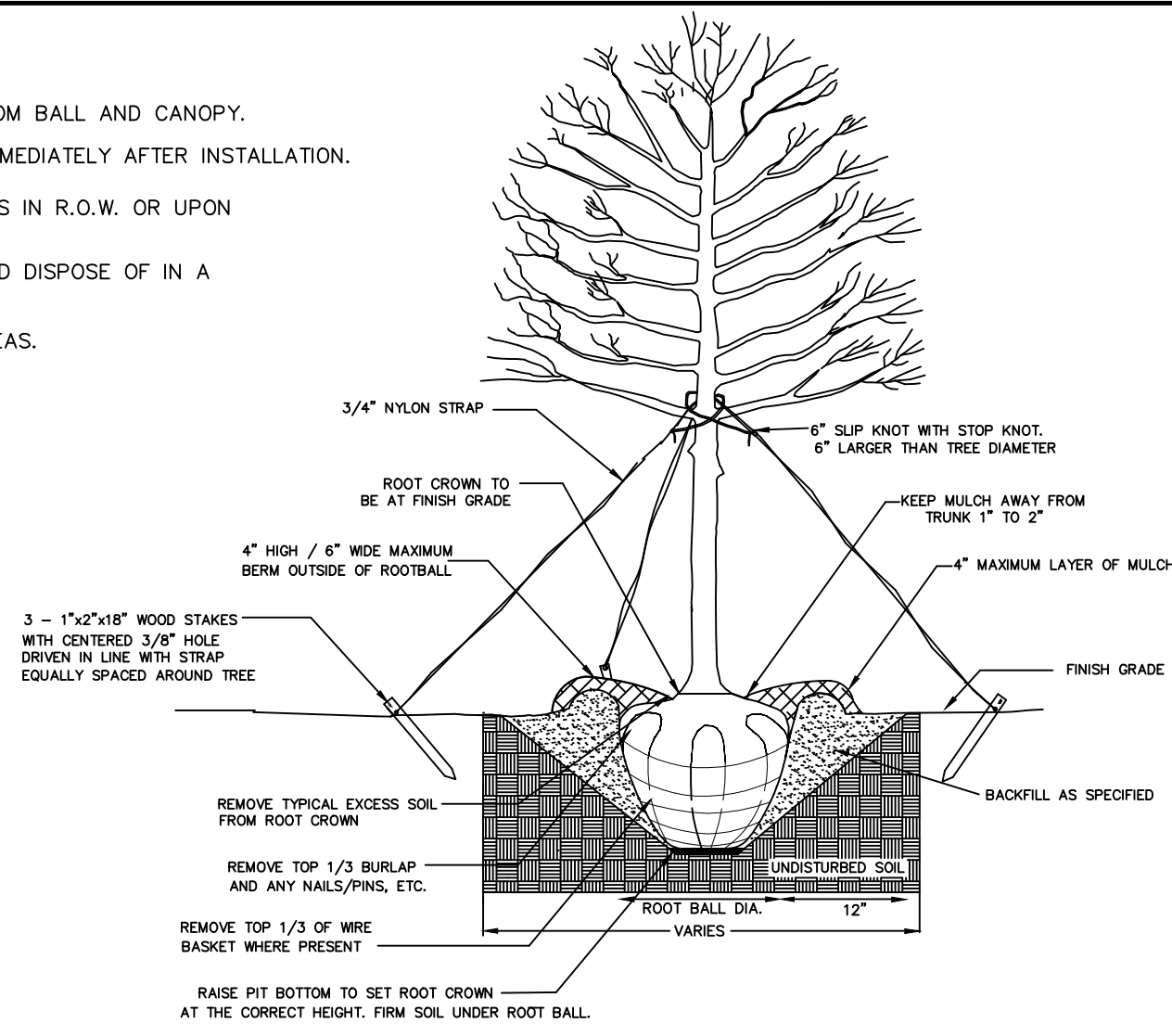
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SHEET NO.
D-6

NOTES:

1. REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
3. STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
4. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
5. RESEED UNMULCHED, DISTURBED AREAS.



ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004)
 FOR EXAMPLE: CALIPER HEIGHT (RANGE) MAX. HEIGHT MIN. ROOT BALL DIA. MIN. ROOT BALL DEPTH

APPROVED DATE: 02/2007

NOT TO SCALE

MECKLENBURG COUNTY
 LAND DEVELOPMENT
 STANDARDS



TREE PLANTING
 (FOR SINGLE AND MULTI-STEM TREES)

STD. NO. REV.
 40.01

1 TREE PLANTING DETAIL

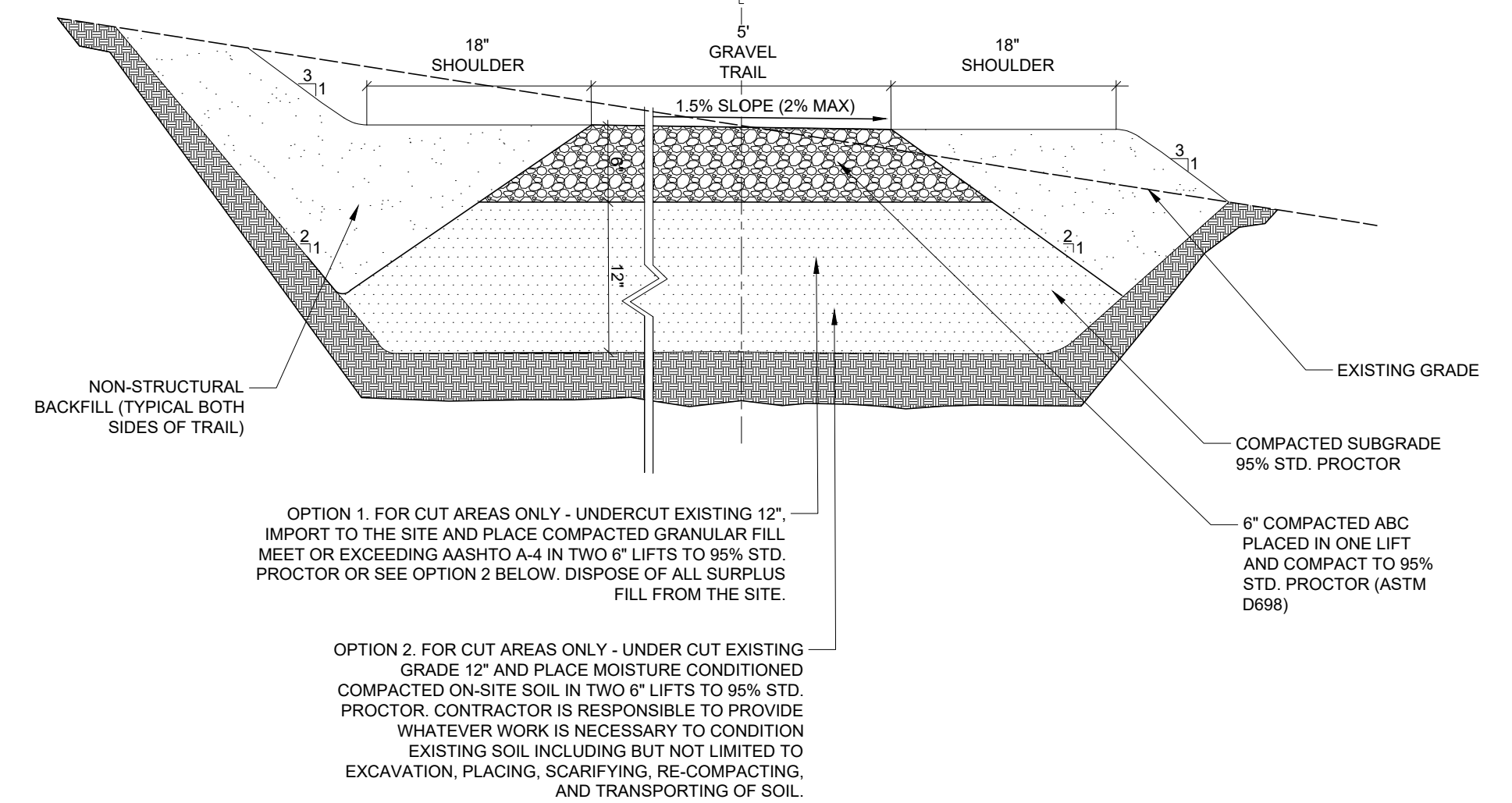
NTS

LANDSCAPE NOTES

1. ALL EXISTING VEGETATION ON THIS SITE, WITH THE EXCEPTION OF THE SPECIES NOTED, SHALL BE REMOVED PRIOR TO ANY INSTALLATION OF NEW PLANTING MATERIAL.
2. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED BY HIS WORK.
3. ANY AREAS NOT SCHEDULED FOR HARDSCAPE, PLANTINGS, OR SHREDDED HARDWOOD MULCH SHALL BE SEEDED LAWN.
4. CONTRACTOR SHALL AMEND ALL PROPOSED PLANT BEDS WITH SOIL CONDITIONER. SOIL CONDITIONER SHALL BE APPLICABLE TO THE GEOGRAPHIC AREA OF INSTALLATION PER THE MANUFACTURER'S SPECIFICATIONS.
5. CONTRACTOR SHALL LIMIT DISTURBANCE WITHIN THE DRIPLENE OF EXISTING TREES TO REMAIN. NO STORAGE OF ANY MATERIALS IS PERMITTED WITHIN THE DRIPLENE OF EXISTING TREES TO REMAIN.
6. CONTRACTOR TO PROVIDE ANNUALS WHICH ARE APPROPRIATE FOR THE PLANTING SEASON AT THE TIME OF INSTALLATION.
7. OWNER RESERVES THE RIGHT TO REJECT ANY DAMAGED OR DYING PLANT MATERIALS. CONTRACTOR SHALL REPLACE SAID PLANTING MATERIALS WITH NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
9. NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
10. ALL PROPOSED PLANT MATERIALS SHALL COMPLY WITH THE SIZING AND GRADING STANDARDS AS SET FORTH IN THE CURRENT EDITION OF ANSI Z60.180-AMERICAN STANDARD FOR NURSERY STOCK.

LANDSCAPE CALCULATIONS

- NO KERISCAPE REQUIREMENTS
- NO OPEN SPACE REQUIREMENTS
- NO BUFFER REQUIRED
- INTERIOR LANDSCAPE REQUIREMENTS
- AT LEAST 10 PERCENT OF THE PROVIDED FRONT YARD SHALL BE LANDSCAPED



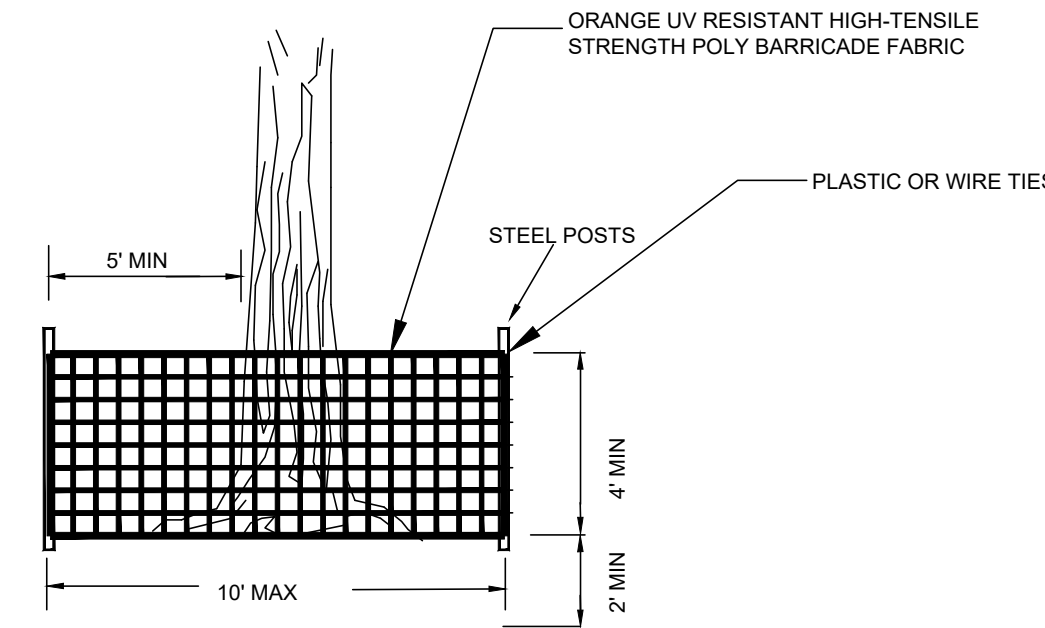
- OPTION 1. FOR CUT AREAS ONLY - UNDERCUT EXISTING 12" IMPORT TO THE SITE AND PLACE COMPACTED GRANULAR FILL MEET OR EXCEEDING AASHTO A-4 IN TWO 6" LIFTS TO 95% STD. PROCTOR OR SEE OPTION 2 BELOW. DISPOSE OF ALL SURPLUS FILL FROM THE SITE.
- OPTION 2. FOR CUT AREAS ONLY - UNDER CUT EXISTING GRADE 12" AND PLACE MOISTURE CONDITIONED COMPACTED ON-SITE SOIL IN TWO 6" LIFTS TO 95% STD. PROCTOR. CONTRACTOR IS RESPONSIBLE TO PROVIDE WHATEVER WORK IS NECESSARY TO CONDITION EXISTING SOIL INCLUDING BUT NOT LIMITED TO EXCAVATION, PLACING, SCARIFYING, RE-COMPACTING AND TRANSPORTING OF SOIL.

NOTES

1. CROSS SECTION MAY BE MIRRORED IF EXISTING GRADE IS SLOPED DOWNHILL FROM RIGHT TO LEFT.
2. CROSS SECTION MAY BE CROWNED AT THE CENTERLINE, WITH GRADE FALLING AWAY FROM CENTERLINE IF GRADES ALLOW AND TRAIL ALIGNMENT RUNS PERPENDICULAR TO EXISTING GRADE.
3. SEED AND STRAW ALL DISTURBED AREAS PER SPECIFICATIONS.

6 GRAVEL TRAIL DETAIL

NTS

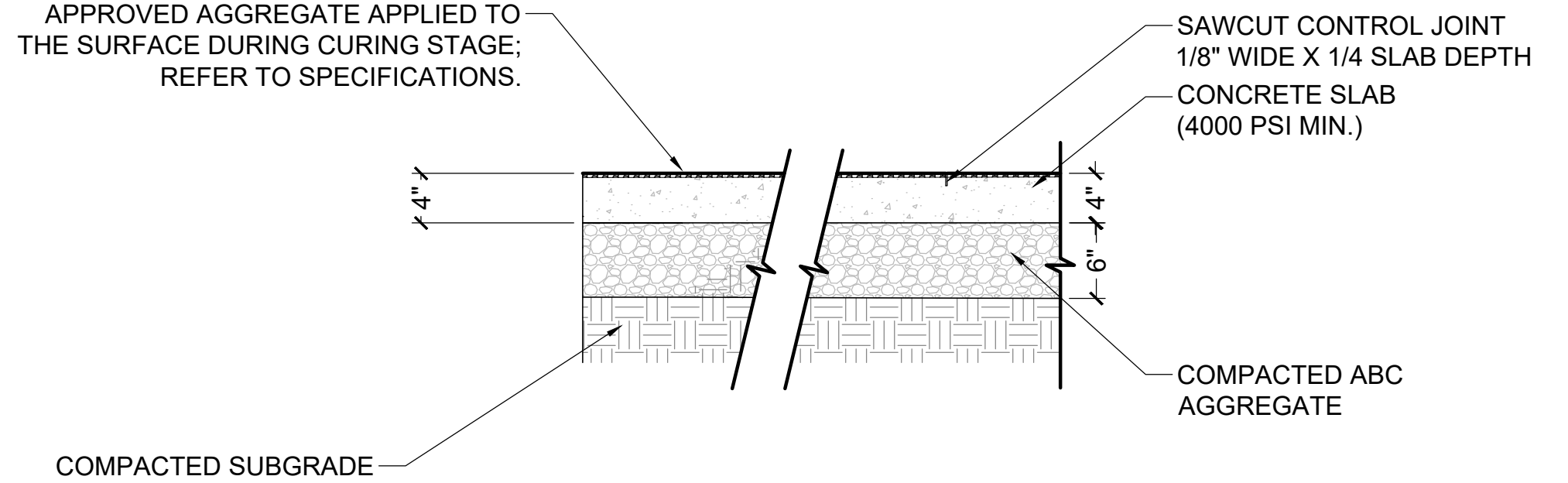


4 TREE PROTECTION FENCE (TP)

NTS

- NOTES:**
1. TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE OR ISSUANCE OF A GRADING PERMIT.
 2. WARNING SIGNS IN BOTH ENGLISH AND SPANISH SHALL BE PLACED IN TREE PROTECTION AREAS @ 50'. THE SIGNS SHOULD READ, "TREE PROTECTION AREA NO TRESPASSING" AND "ZONA PROTECTORA PARA LOS ARBOLES/ PROHIBIDO ENTRA".
 3. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
 4. LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 5. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
 6. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 7. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 8. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT
 9. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF FAYETTEVILLE INSPECTIONS DEPARTMENT BASED ON ACTUAL FIELD CONDITIONS.

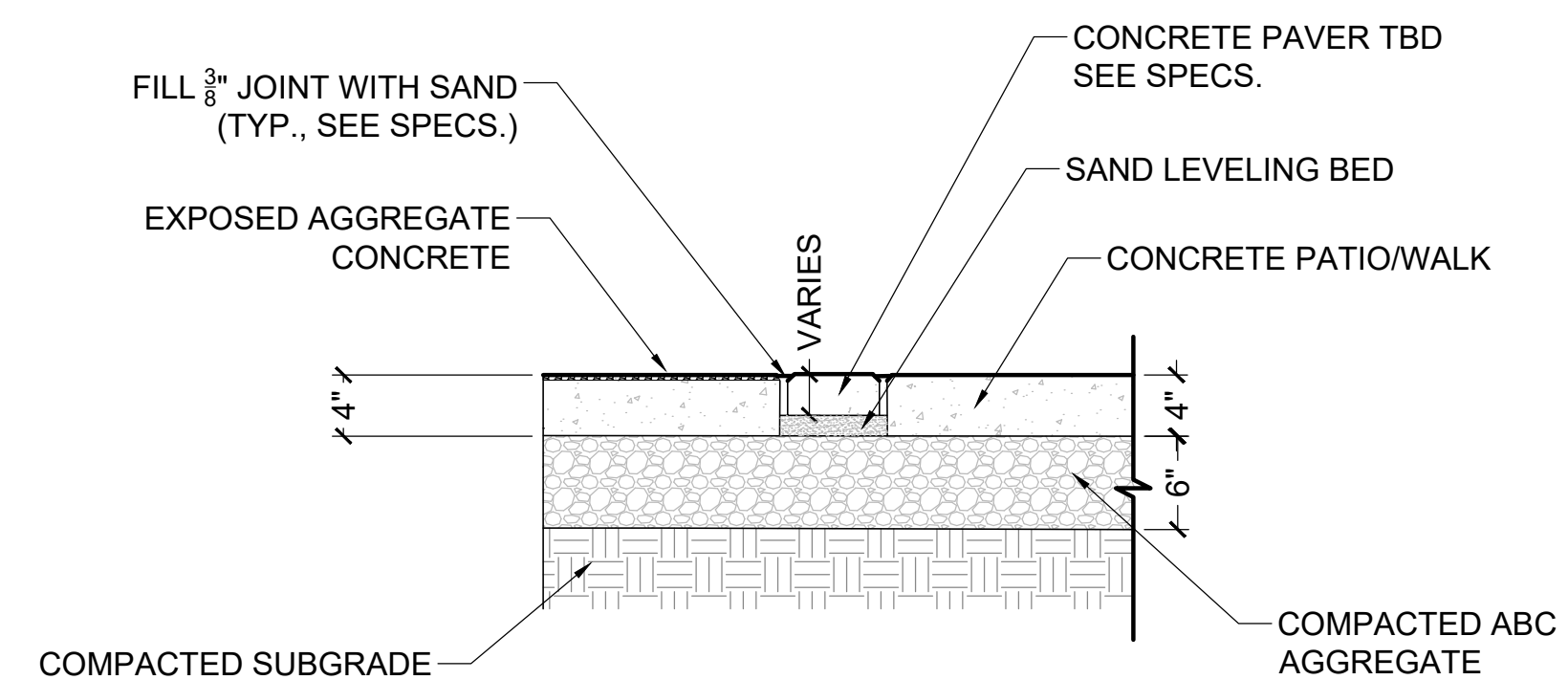
APPROVED AGGREGATE APPLIED TO THE SURFACE DURING CURING STAGE; REFER TO SPECIFICATIONS.



EXPOSED AGGREGATE COLOR SAMPLE

7 EXPOSED AGGREGATE CONCRETE DETAIL

NTS

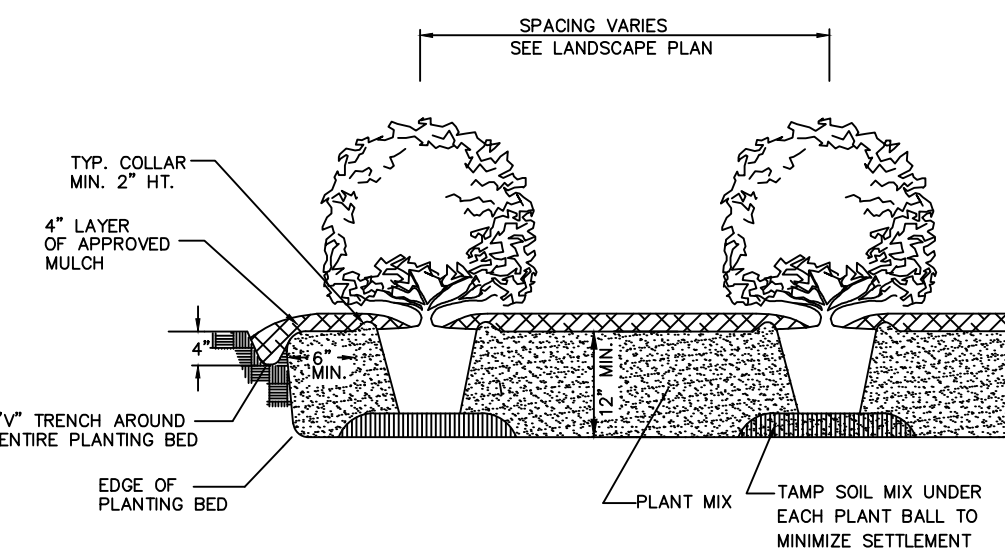


8 PAVER BAND DETAIL

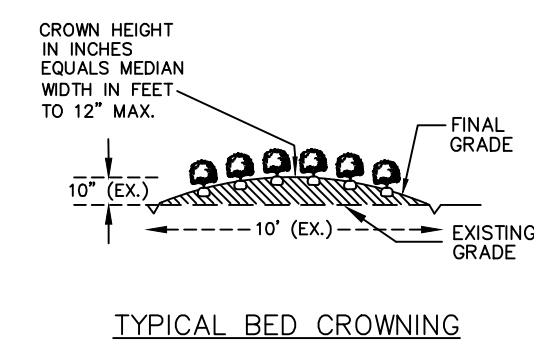
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NOTES:

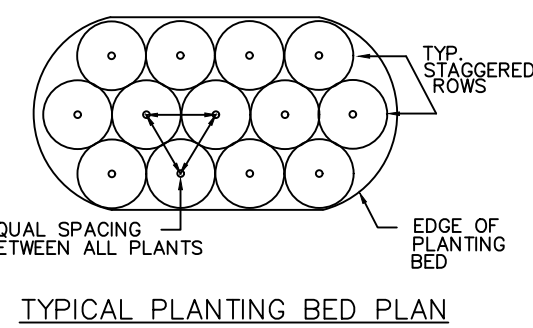
1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
3. TAMP PLANTING MIX FIRMLY AS FIT IS FILLED AROUND EACH PLANT BALL.
4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
5. SOAK EACH PLANT BALL AND FIT IMMEDIATELY AFTER INSTALLATION.



TYPICAL PLANTING BED DETAIL



TYPICAL BED CROWNING



TYPICAL PLANTING BED PLAN

APPROVED DATE: 02/2007

MECKLENBURG COUNTY
 LAND DEVELOPMENT
 STANDARDS

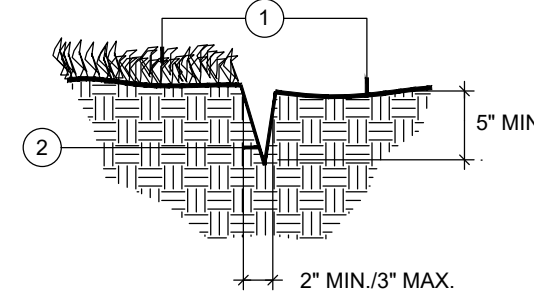


SHRUB PLANTING BED

STD. NO. REV.
 40.05

2 SHRUB PLANTING BED

NTS

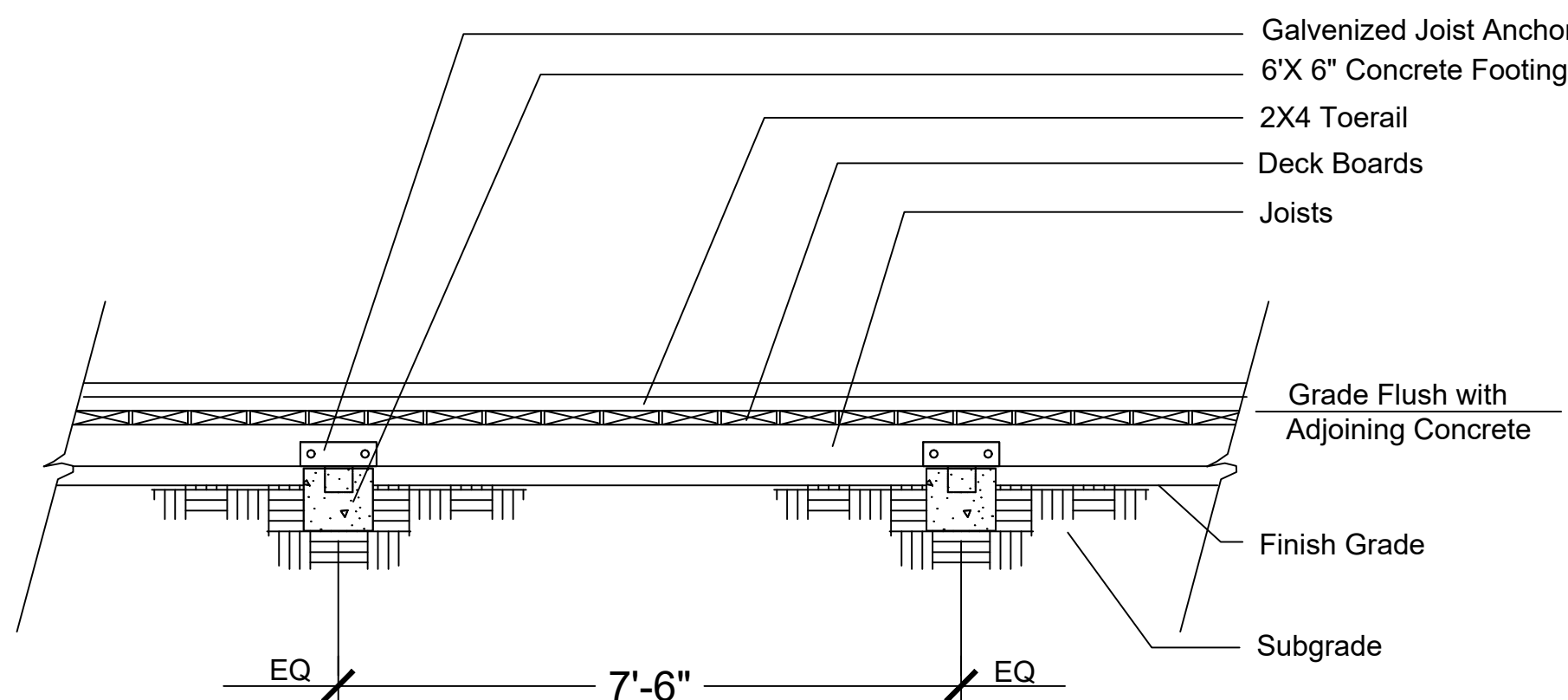


1. DIFFERENT PLANTING TREATMENTS.
2. SHOVEL EDGE

GENERAL NOTES
 A. PROVIDE SMOOTH CONTINUOUS EDGE AS SHOWN. DIG EDGE WITH COMMON SPADE OR STRAIGHT BLADE SHOVEL.

3 SHOVEL CUT BED EDGE DETAIL

NTS

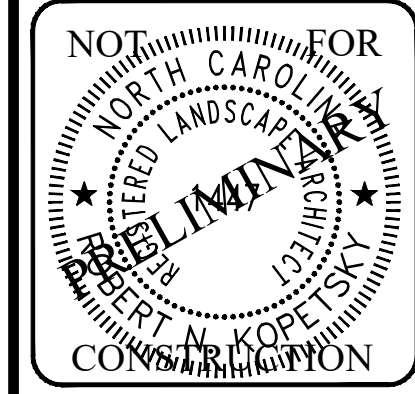


5 BOARDWALK DETAIL

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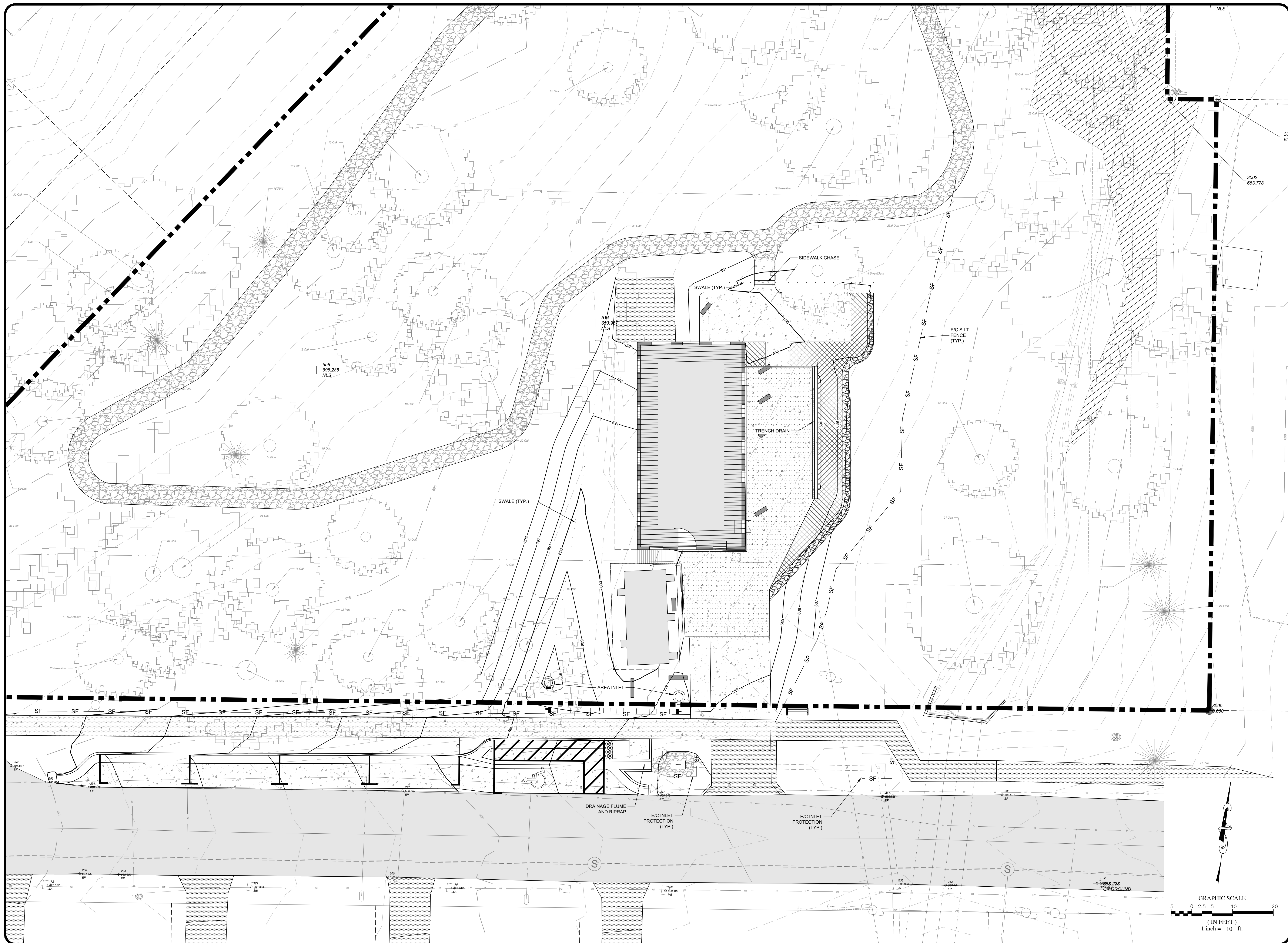
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PROJECT NO.
 22-0103
 DRAWING NAME:
 22-0103_D
 SHEET NO.
 D-7

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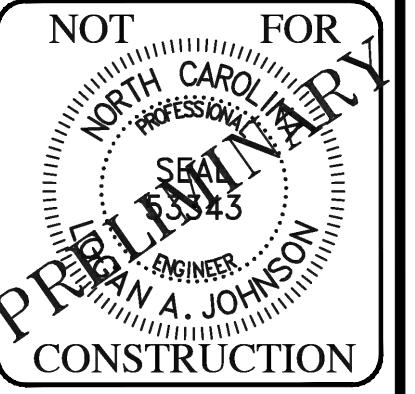
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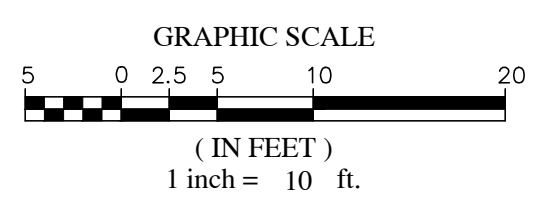


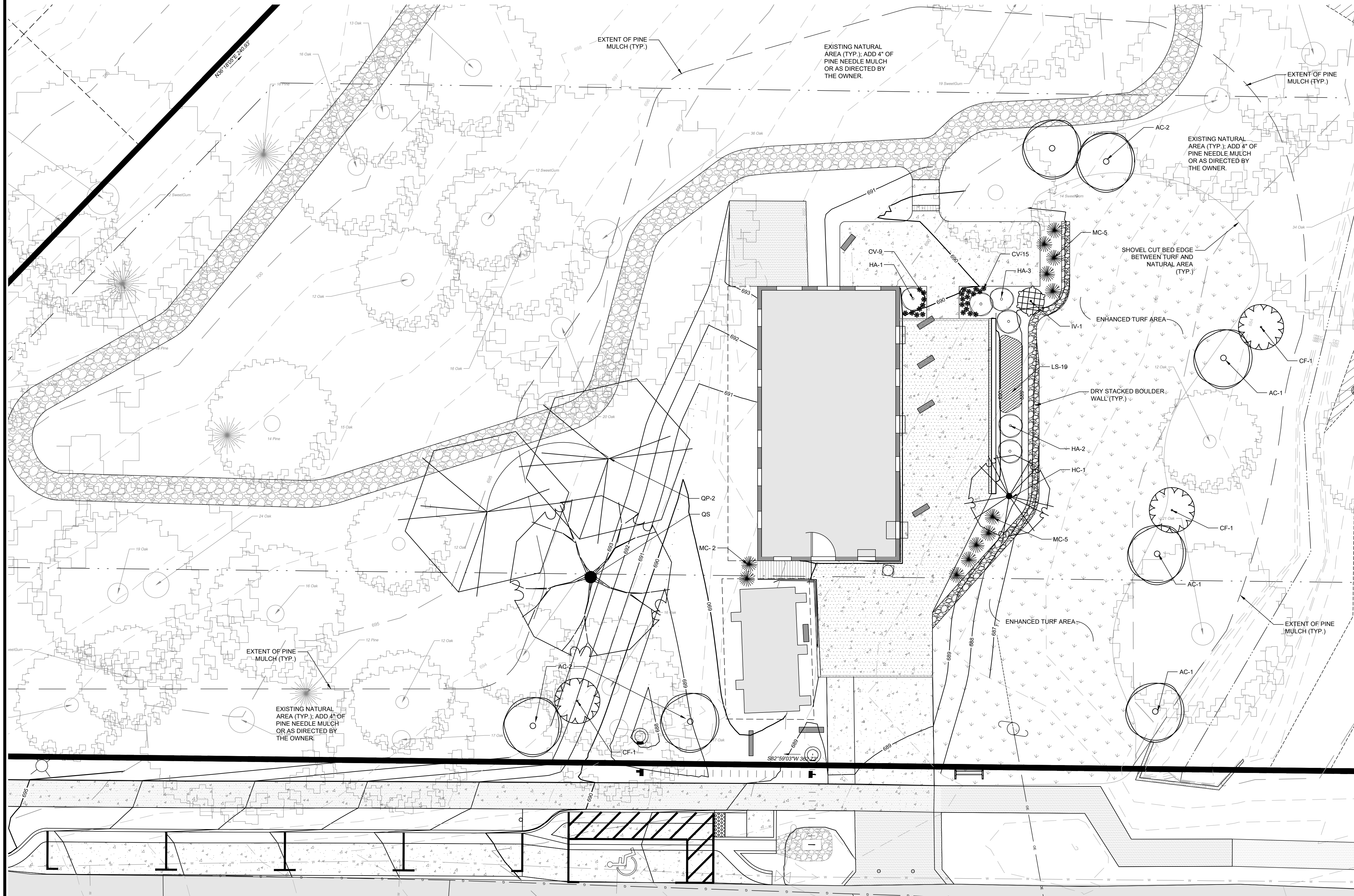
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DESIGN DRAWINGS
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 MATTHEWS, NC 28105

PROJECT NO.
 22-0103
 DRAWING NAME:
 22-0103_G
 SHEET NO.
C-7

GRADING & DRAINAGE PLAN





- GENERAL LANDSCAPING NOTES:**
- LANDSCAPE CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES AND PROPOSED SITE LIGHTING POLE LOCATIONS LOCATED PRIOR TO INSTALLING PLANT MATERIAL.
 - CONTRACTOR SHALL COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN).
 - CONTRACTOR SHALL NOT PLANT NEW PLANT MATERIAL IN CRITICAL ROOT ZONES OF EXISTING TREES TO BE SAVED AND PROTECTED ON SITE.
 - ANY DISTURBED AREAS NOT SCHEDULED FOR HARDSCAPE, PLANTING, FESCUE SOD OR MULCH SHALL BE SEEDED FESCUE LAWN.
 - CONTRACTOR SHALL AMEND ALL PROPOSED PLANT BEDS WITH ORGANIC SOIL AMENDMENT (COMPOST). ROTOTILL BEDS TO A DEPTH OF 8", ADD 2" OF COMPOST AND ROTOTILL AGAIN. REMOVE ALL EXIST. WEEDS, GRASS AND ROOTS.
 - CONTRACTOR SHALL RAKE SMOOTH AND APPLY 1" TO 2" TOPSOIL TO ALL LAWN AREAS RECEIVING SEED. REMOVE ALL EXIST. WEEDS, GRASS AND ROOTS.
 - ALL PLANT AND PLANT BED LINES SHALL BE LOCATED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH. REFERENCE DETAILS FOR DEPTH AND TYPE OF MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS.
 - OWNERS OPTION: INSTALL 1" THK. x 4" WIDE GREEN STEEL EDGING WITH STEEL STAKES BETWEEN PLANTING BEDS AND LAWN.
 - FINISHED GRADE IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT IT IS ONE INCH LOWER THAN THE TOP OF SURROUNDING CURBS. MULCH WITH 3" OF TRIPLE SHREDDED HARDWOOD MULCH FROM A REPUTABLE LOCAL SOURCE.
 - CONTRACTOR SHALL PROVIDE WATER PERMEABLE WEED MAT FOR ALL PLANTING BEDS.

NO.	DATE	REVISIONS	BY
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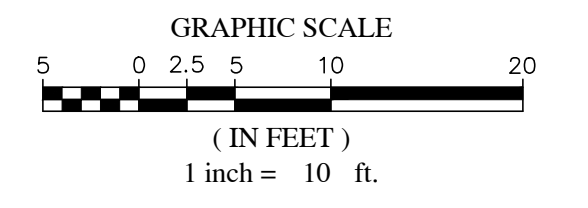
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 PROJECT MANAGER: BOB KOPETSKY
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PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	HT.	QTY.	USE CATEGORY	EVERGREEN	COMMENTS
TREES									
AC	ACER FRAXINOSA	RED BARK SPIDERBUSH	1 1/2 GAL	BRU	10 FT	2	LANDSCAPE		SINGLE STEM
CF	CALYCANTHUS FLOREUS	STAR GARDEN	1 1/2 GAL	ESB	8 FT	3	LANDSCAPE		FULL SUN
HA	HAZEL COCARDA	HAZEL	1 1/2 GAL	ESB	8 FT	1	LANDSCAPE		FULL SUN
GP	QUERCUS PHELLODENDRON	WHITE OAK	2 1/2 GAL	BRU	13 FT	2	LANDSCAPE		FULL SUN
CS	QUERCUS SMLWARD	SMALL LEAF OAK	2 1/2 GAL	ESB	10 FT	1	LANDSCAPE		FULL SUN
						TOTAL	14		
SHRUBS									
IV	ELAEAGNUS	YALOW WOOD	30" SP	#1 CONT	4'	1	SHRUB	X	FULL
LS	HYDRANGEA PREDERSCENS	HYDRANGEA	15" SP	#3 CONT	5 FT	1	SHRUB		FULL
						TOTAL	2		
GRASSES AND PERENNIALS									
CV	CHRISANTHEMUM MORFOLIUM	CHRISANTHEMUM	6" SP	#1 CONT	2 FT	24	PERENNIAL		FULL
LS	LACTUCA SCARIOLA	DENSE BLADING STAR	8" SP	#1 CONT	12 FT	19	PERENNIAL		FULL
MC	MUNIERBERGIA CAPILLARIS	PURPLE MOON GRASS	12" SP	#3 CONT	5 FT	12	GRASS		FULL SUNLIGHT
						TOTAL	55		



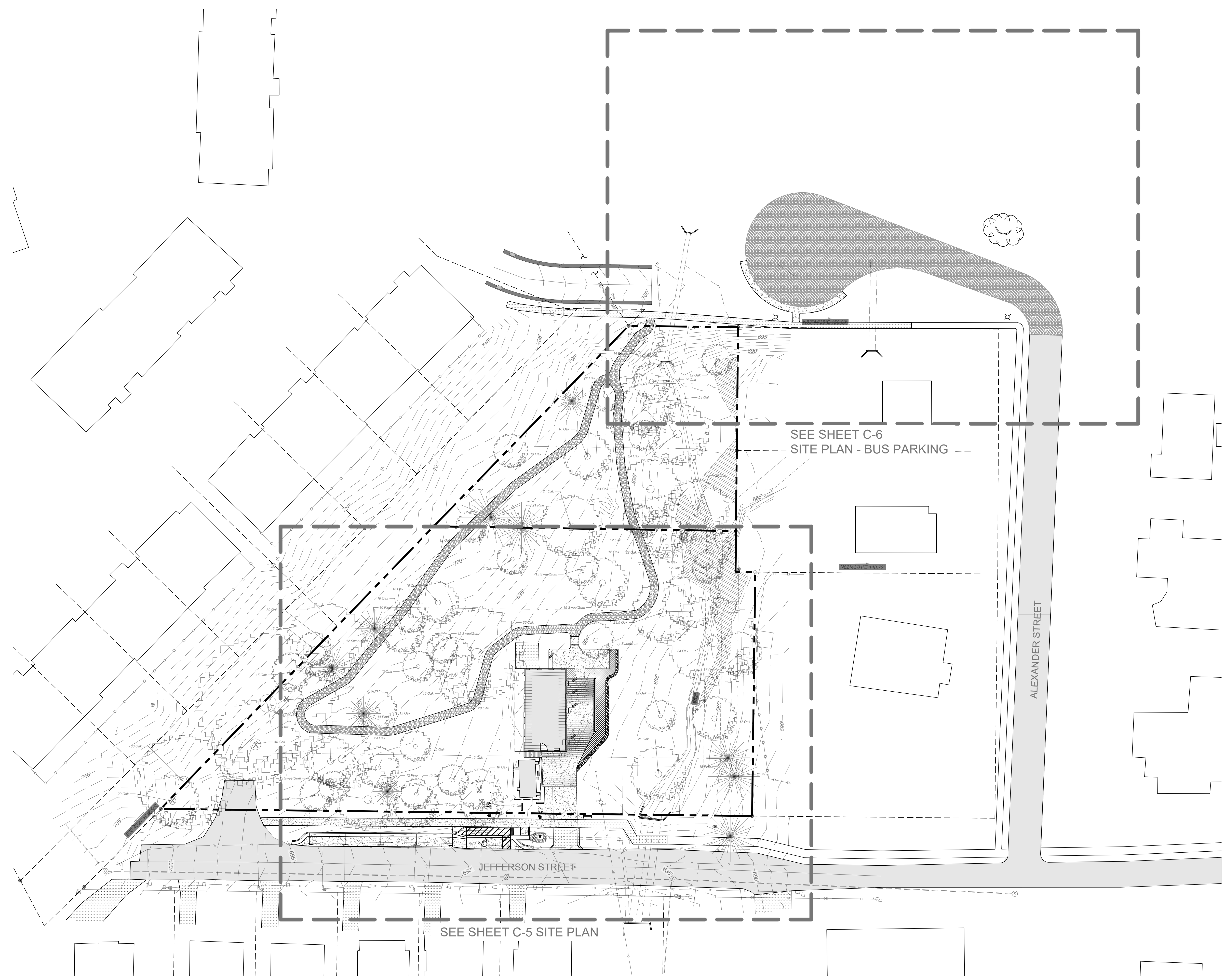
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22-0103

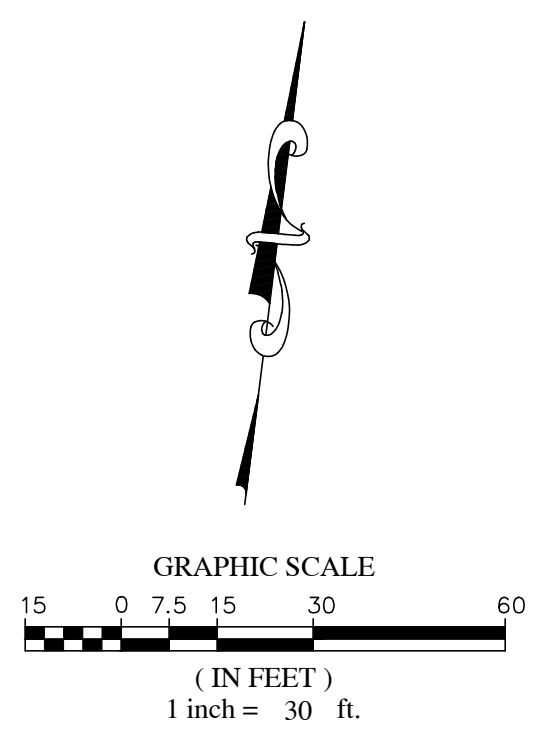
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SHEET NO.
LS-1

LANDSCAPE PLAN



Know what's below.
Call before you dig.



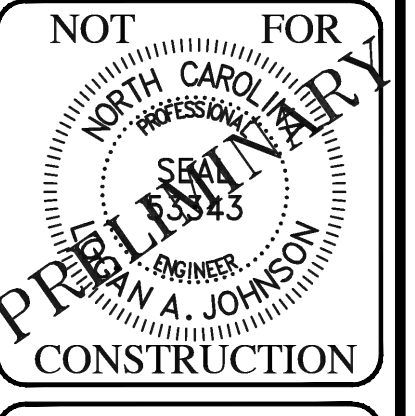
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KEY MAP

PROJECT NO.
22-0103
DRAWING NAME:
22-0103_S.DWG
SHEET NO.
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CK (CHARLOTTE KENNEY@SUMMITDE.COM)
FIRST ISSUE DATE
12-19-2022

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NO.	REVISIONS	DATE	BY
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SITE INFORMATION

OWNER: TOWN OF MATTHEWS
 DEVELOPER: TOWN OF MATTHEWS
 PARCEL ID: 22702313
 DEED BOOK/PAGE: 31135/691
 PLAT BOOK/PAGE: ---
 JURISDICTION: MECKLENBURG COUNTY & TOWN OF MATTHEWS
 CITY/TOWN: MATTHEWS
 COUNTY: MECKLENBURG COUNTY
 STATE: NORTH CAROLINA
 WATERSHED: FOUR MILE

LOT AREA: 1.54 ACRES

IMPERVIOUS WITHIN DISTURBED AREA:
 EXISTING = 7,685 SF
 PROPOSED = 8,803 SF

PROPOSED DISTURBED AREA = 37,680 SF
 PROJECT AREA = 13,510 SF
 TRAIL = 10,200 SF
 OFF SITE = 13,970 SF

EXISTING USE: PASSIVE RECREATION
 PROPOSED USE: HISTORIC SITE

EXISTING ZONING: R-12
 ADJACENT ZONING: R-12, R-20, & R-VS

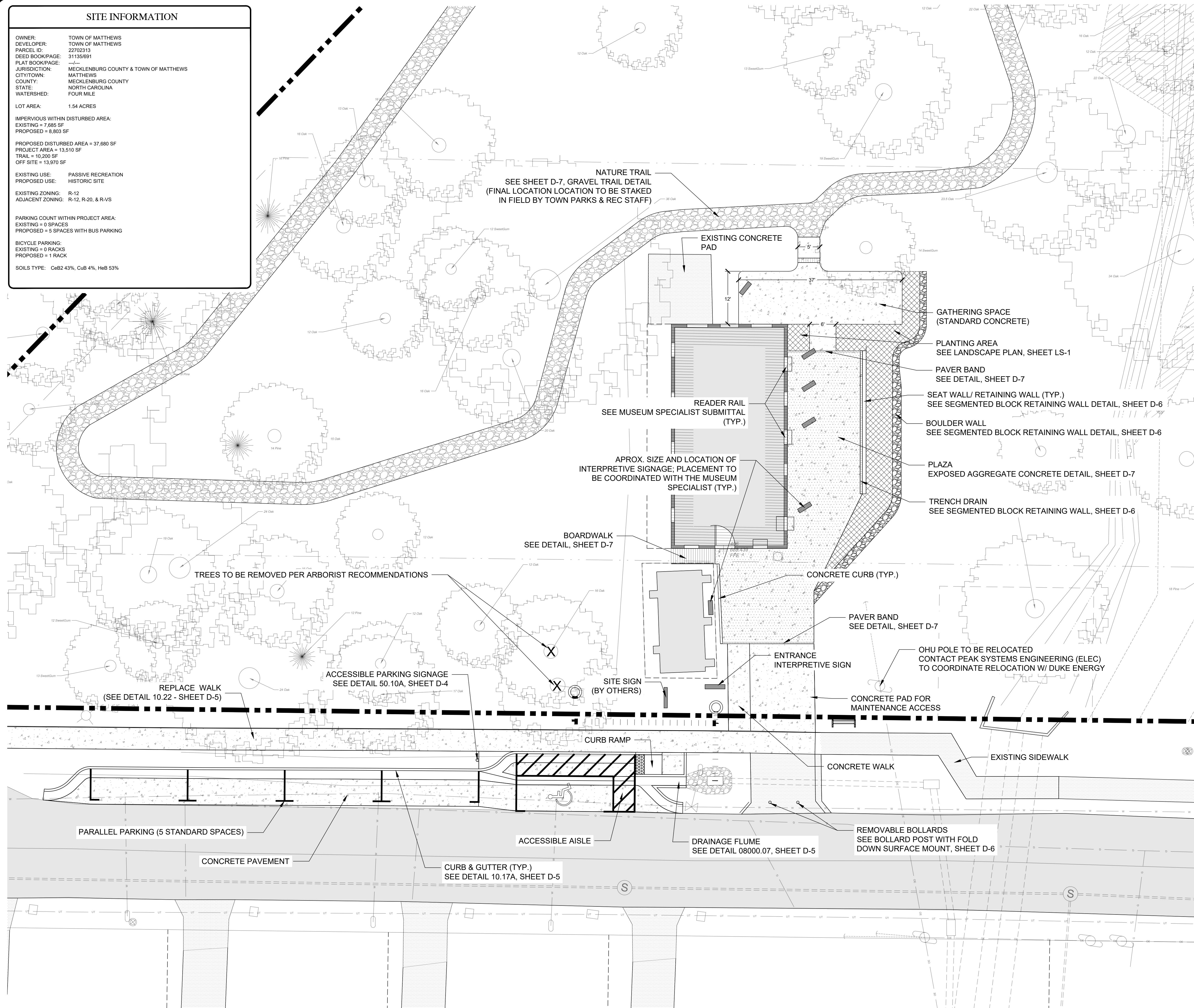
PARKING COUNT WITHIN PROJECT AREA:
 EXISTING = 0 SPACES
 PROPOSED = 5 SPACES WITH BUS PARKING

BICYCLE PARKING:
 EXISTING = 0 RACKS
 PROPOSED = 1 RACK

SOILS TYPE: CeB2 43%, CuB 4%, HeB 53%

NOTES:

1. ALL SIGNS TO BE STAKED IN THE FIELD AND APPROVED BY TOWN INSPECTOR, PRIOR TO INSTALLATION.



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 SUMMIT DESIGN AND
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 DRAWING ALTERATION
 PROJECT NO. 22-0103
 PROJECT MANAGER
 BK (BOB) KOPETSKY@SUMMITDE.COM
 DRAWN BY
 CK (CHARLOTTE) KENNEDY@SUMMITDE.COM
 FIRST ISSUE DATE
 12-19-2022



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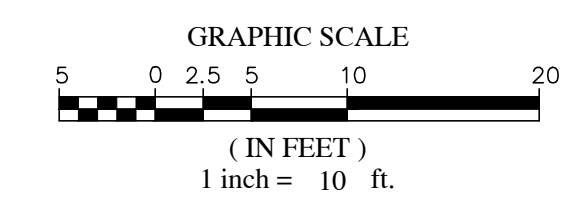
DESIGN DRAWINGS
OUTEN POTTERY PARK
 430 JEFFERSON STREET
 MATTHEWS, NC 28105

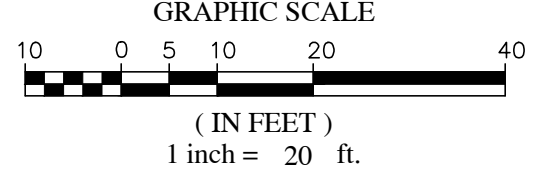
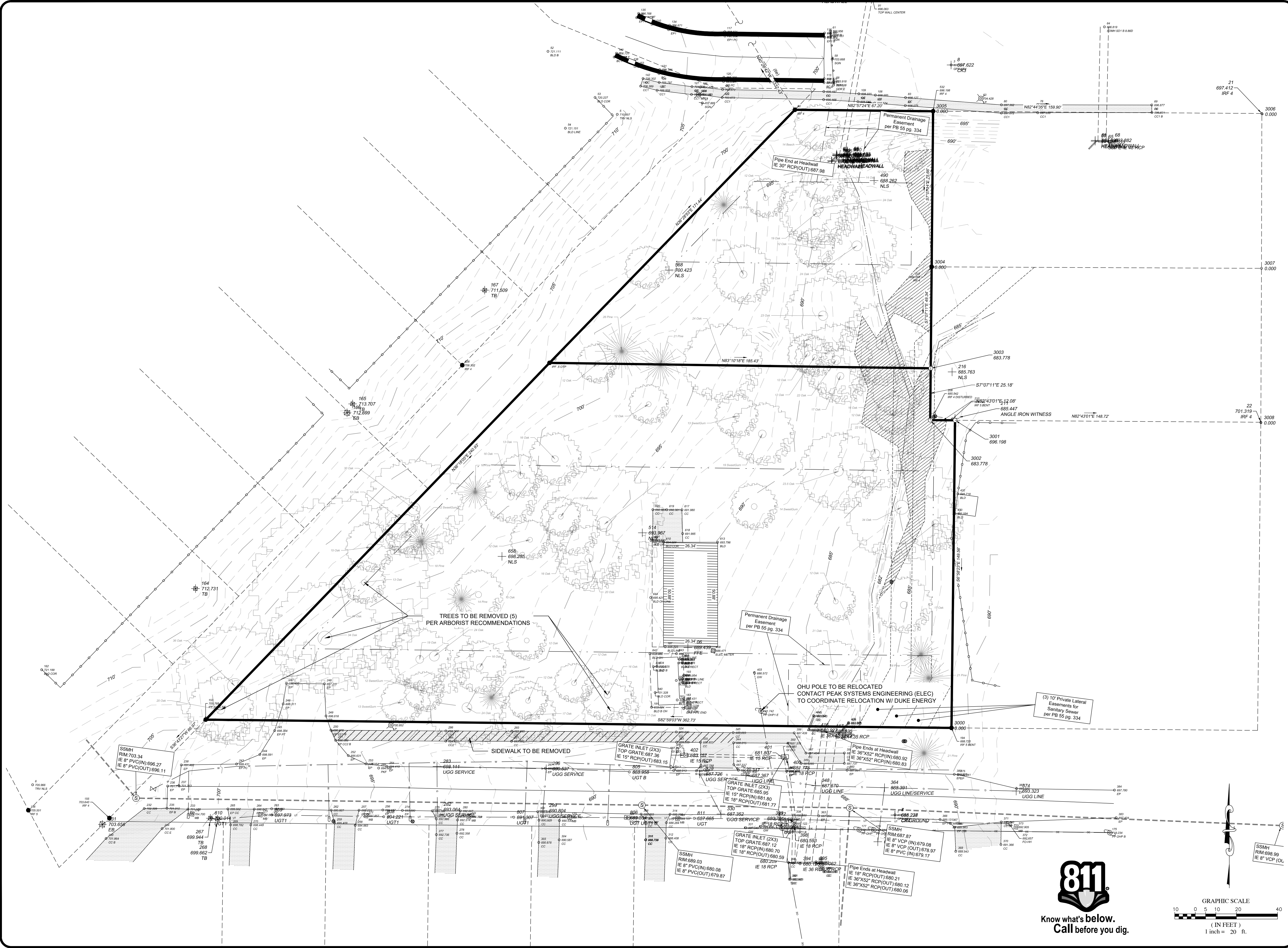
SITE PLAN

PROJECT NO.
22-0103

DRAWING NAME:
22-0103_S.DWG

SHEET NO.
C-5





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DRAWING ALTERNATION

PROJECT ENGINEER/ARCHITECT: L.J. LOGAN, JOHNSON@SUMMITDE.COM

PROJECT MANAGER: BK. BOB, BOB@SUMMITDE.COM

DRAWN BY: C.K. CHARLOTTE, KENNEDY@SUMMITDE.COM

FIRST ISSUE DATE: 12-19-2022

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NOT FOR PRELIMINARY CONSTRUCTION

PROFESSIONAL SEAL

JOHN A. JOHNSON

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DESIGN DRAWINGS
OUTEN POTTERY PARK
430 JEFFERSON STREET
MATTHEWS, NC 28105

EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT NO. 22-0103
DRAWING NAME: 22-0103_XC
SHEET NO. C-3

GENERAL NOTES

- THE ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE CIVIL, STRUCTURAL, MECHANICAL/ELECTRICAL/PLUMBING (MEP), FIRE PROTECTION DRAWINGS AND SPECIFICATIONS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATIONS OF MEP ITEMS AND THE WORK OF OTHER TRADES. ADJUSTMENTS MAY ONLY BE MADE WITH THE ARCHITECT'S APPROVAL. ANY REWORK RESULTING FROM THE FAILURE TO COORDINATE WILL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE GENERAL CONTRACTOR SHALL FULLY ACQUAINT THEMSELVES WITH THE CONDITIONS OF THE CONTRACT, LOCAL CONDITIONS RELATING TO THE JOB SITE, ACCESSIBILITY AND GENERAL CHARACTER OF THE CONSTRUCTION SITE AND LOCAL LABOR CONDITIONS SO THAT THEY UNDERSTAND THE NATURE, EXTENT, DIFFICULTIES AND RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK.
- WORK SHALL COMPLY WITH APPLICABLE CODES AND MANUFACTURER RECOMMENDATIONS IN FORCE AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY AND CEASE WORK ON ALL PARTS OF THE CONTRACT THAT MAY BE OUT OF COMPLIANCE. THE WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH THE MOST CURRENT ADOPTED, AND AS APPLICABLE, AMENDED, RULES, REGULATIONS, RESTRICTIONS, REQUIREMENTS AND CODES.
- WORK SHALL BE EXECUTED IN A SOUND AND WORKMANLIKE MANNER IN CONFORMANCE WITH THE HIGHEST STANDARDS WITHIN THE INDUSTRY AND ALL MATERIALS USED TO COMPLETE THE WORK/PROJECT SHALL BE MERCHANTABLE, FREE FROM ANY PATENT OR LATENT DEFECT, FIT FOR THEIR INTENDED USE, AND EQUAL IN QUALITY TO THE BEST OF THEIR KIND.
- THE DRAWINGS ARE ONLY INTENDED TO PARTIALLY DESCRIBE THE OVERALL SCOPE OF WORK. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND ALERT THE ARCHITECT AND OWNER IN ADVANCE, TO ANY UNFORESEEN CONDITIONS AND/OR CONSTRUCTION DIFFICULTIES PRIOR TO COMMENCING WORK OR WORKING ON THE AFFECTED PORTION OF THE WORK.
- WHERE WORK IS REQUIRED FOR A COMPLETE ASSEMBLY OR PROJECT, BUT NOT SPECIFICALLY DRAWN OR INDICATED, THE CONTRACTOR SHALL PROVIDE THE NECESSARY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING UTILITIES. ANY EXISTING UTILITIES INDICATED HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE INDICATED FOR CONVENIENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL UTILITY LOCATIONS WHETHER INDICATED OR NOT. CONTRACTOR SHALL EXERCISE EXTREME CARE TO AVOID DAMAGE OR DISTURBANCE TO EXISTING UTILITIES.
- ITEMS NOTED AS TYPICAL (TYP) MAY NOT BE NOTED AT EVERY OCCURRENCE. DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS, OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY AS TO THE PHYSICAL CHARACTERISTICS OF THE SOIL(S) OR THE ACCURACY OF ENGINEERING DATA SUPPLIED BY OTHERS.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS, LEVELS, EASEMENTS, BOUNDARIES AND CONSTRUCTION LIMITS INDICATED ON CONTRACT DRAWINGS BEFORE PROCEEDING WITH THE WORK. ALSO, THE G.C. SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS, BEFORE COMMENCING WITH ANY WORK AND REQUEST CLARIFICATION AS REQUIRED.
- DIMENSIONS NOTED AS "CLR." ARE TO BE CLEAR FROM FACE OF FINISH MATERIAL TO FACE OF FINISH MATERIAL OR CENTERLINE OF FIXTURE AND ARE NOT ADJUSTABLE WITHOUT WRITTEN APPROVAL OF ARCHITECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS FOR THE EQUIPMENT FURNISHED AND INSTALLED BY CONTRACTOR OR OTHERS.
- PROVIDE APPROPRIATE SEALANT AROUND WINDOWS, DOOR JAMBS & HEADS, AND ADJACENT CONSTRUCTION.
- WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE PRESERVATIVE TREATED; USE OF CCA PRESERVATIVE IS PROHIBITED. USE APPROPRIATE FASTENERS PER PRESERVATIVE.
- FIRE DEPARTMENT REQUIRED WATER MAINS, FIRE HYDRANTS AND TEMPORARY FIRE DEPARTMENT ACCESS TO BE INSTALLED, INSPECTED, AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO COMMENCEMENT OF COMBUSTIBLE CONSTRUCTION.
- THESE DRAWINGS DO NOT CONTAIN THE REQUIREMENTS FOR JOB SAFETY. ALL PROVISIONS FOR SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF APPROVED CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES, THE ARCHITECT, AND THE OWNER.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND PRODUCT DATA AS NOTED OR REQUESTED BY THE ARCHITECT.
- EXTERIOR GRADE SHALL BE SLOPED AWAY FROM BUILDING FOR POSITIVE DRAINAGE.
- ALL HVAC, PLUMBING AND ELEC. PENETRATIONS THROUGHOUT THE EXTERIOR WALLS AND AT THE TOP AND BOTTOM PLATES SHALL BE PROPERLY SEALED.
- ALL CAULKING/SEALANT COLORS TO MATCH ADJACENT SURFACES.
- THE CONTRACTOR SHALL ASSURE THAT ANY AND ALL MATERIAL COMPATIBILITY IS ACHIEVED WITH NO NEGATIVE EFFECT ON MATERIALS; I.E. CONTACT OF DISSIMILAR MATERIALS WILL HAVE NO NEGATIVE IMPACT/EFFECT ON EITHER MATERIAL OR SURROUNDING CONSTRUCTION. CONTRACTOR SHALL INFORM ARCHITECT OF ANY AND ALL CONCERNS PRIOR TO FABRICATION/INSTALLATION.
- VERIFY FINISH FLOOR ELEVATIONS WITH CIVIL DRAWINGS.
- COORDINATE DOWNSPOUT/ROOF DRAIN LEADER TIE-INS WITH THE CIVIL DRAWINGS; FOR THOSE WITHOUT TIES, PROVIDE SPLASH BLOCKS.
- MECHANICAL EQUIPMENT, APPLIANCES, AND SUPPORTS THAT ARE EXPOSED TO WIND SHALL BE DESIGNED AND INSTALLED TO RESIST THE WIND LOADING/PRESSURES DETERMINED IN ACCORDANCE WITH IBC.

GENERAL NOTES FOR HISTORIC STRUCTURES

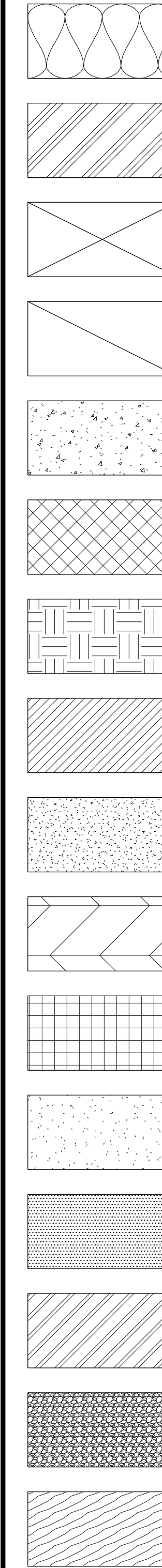
- THE EXISTING STRUCTURES ARE LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES..
- WORK SHALL COMPLY WITH THE NATIONAL HISTORIC PRESERVATION ACT.
- RETAIN HISTORIC MATERIALS, FEATURES, AND SPACES.
- NEW WORK SHALL BE COMPATIBLE WITH HISTORIC CHARACTER OF THE EXISTING STRUCTURES.
- CARE SHALL BE TAKEN TO PROJECT EXISTING ITEMS TO REMAIN AND AVOID DAMAGING HISTORIC MATERIALS, FEATURES, AND CHARACTER.
- NEW MATERIALS SHALL BE 'WEATHERED' TO MATCH SIMILAR EXISTING MATERIALS. MATERIAL AND FINISH SHALL BE APPROVED BY THE OWNER'S MUSEUM CONSULTANT PRIOR TO INSTALLATION.
- NEW MATERIALS AND SYSTEMS SHALL BE INSTALLED IN SUCH A MANNER AS TO NOT COMPROMISE THE HISTORIC CHARACTER BY BLENDING IN OR BEING HIDDEN FROM VIEW.
- EXISTING MATERIALS ARE TO REMAIN AS-IS TO THE EXTENT POSSIBLE UNO OR PRESENTS A SAFETY HAZARD IF NOT CORRECTED. CONTRACTOR IS TO NOTIFY THE OWNER OF SUCH CONDITIONS IMMEDIATELY UPON DISCOVERY AND PRIOR TO ANY WORK OR CORRECTIVE ACTION.
- CONTRACTOR IS ADVISED THE ACCUMULATED DUST WITHIN THE STRUCTURES LIKELY CONTAINS SILICA WHICH IS A KNOWN HAZARDOUS SUBSTANCE AND SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT PERSONNEL THAT WILL BE WITHIN THE SPACE.
- CUTTING AND PATCHING SHALL BE DONE IN A MANNER THAT WILL NOT LESSEN THE BUILDING'S AESTHETIC QUALITIES.
- CONTRACTOR SHALL PROVIDE A FINAL CLEANING OF THE STRUCTURES, INSIDE AND OUT. CARE SHALL BE TAKEN TO PROTECT THE FRAGILE NATURE OF THE EXISTING MATERIALS. CLEANING METHOD SHALL BE APPROVED BY THE MUSEUM CONSULTANT PRIOR TO THE START OF WORK.

ABBREVIATIONS

ABBREVIATIONS	
KEY	DESCRIPTION
#	POUND OR NUMBER
&	AND
@	AT
ABV	ABOVE
ACT	ACOUSTIC CEILING TILE
AD	AREA DRAIN
AFF	ABOVE FINISHED FLOOR
AHJ	AUTHORITY HAVING JURISDICTION
ALT	ALTERNATE
ALUM	ALUMINUM
ANOD	ANODIZED
B/O	BY OTHERS
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BLW	BELOW
BOT	BOTTOM
BTW	BETWEEN
BYND	BEYOND
CHNL	CHANNEL
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COMPR	COMPRESSIBLE
CONC	CONCRETE
CONT	CONTINUOUS
COORD	COORDINATE
CPT	CARPET
CT	CERAMIC TILE
DBL	DOUBLE
DEMO	DEMOLISH OR DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
EA	EACH
EJ	EXPANSION JOINT
ELEV	ELEVATION OR ELEVATOR
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)
EQ	EQUAL
EXIST	EXISTING
EXT	EXTERIOR
FA	FIRE ALARM
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIXT	FIXTURE
FLR	FLOOR
FND	FOUNDATION
FO	FACE OF
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF STUDS
FOW	FACE OF WALL
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GWB	GYPSUM WALL BOARD
HC	HOLLOW CORE
HM	HOLLOW METAL
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
INSUL	INSULATION
INT	INTERIOR
IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD
LH	LEFT HAND
LWC	LIGHT WEIGHT CONCRETE
MAX	MAXIMUM
MECH	MECHANICAL
MEMBR	MEMBRANE
MFR	MANUFACTURER
MIN	MINIMUM
MIR	MIRROR
MO	MASONRY OPENING
MIRGWB	MOISTURE RESISTANT GYPSUM WALL BOARD

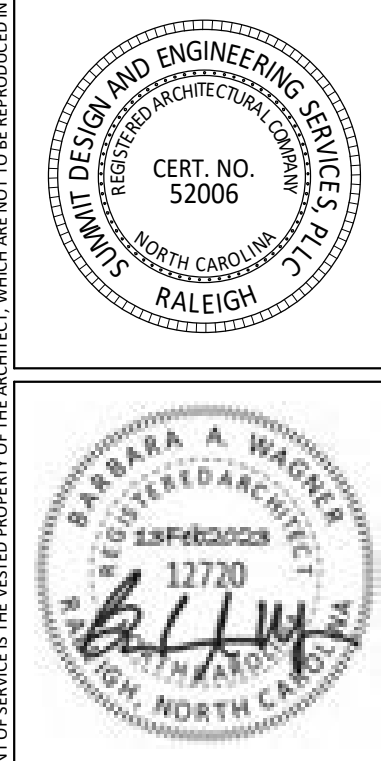
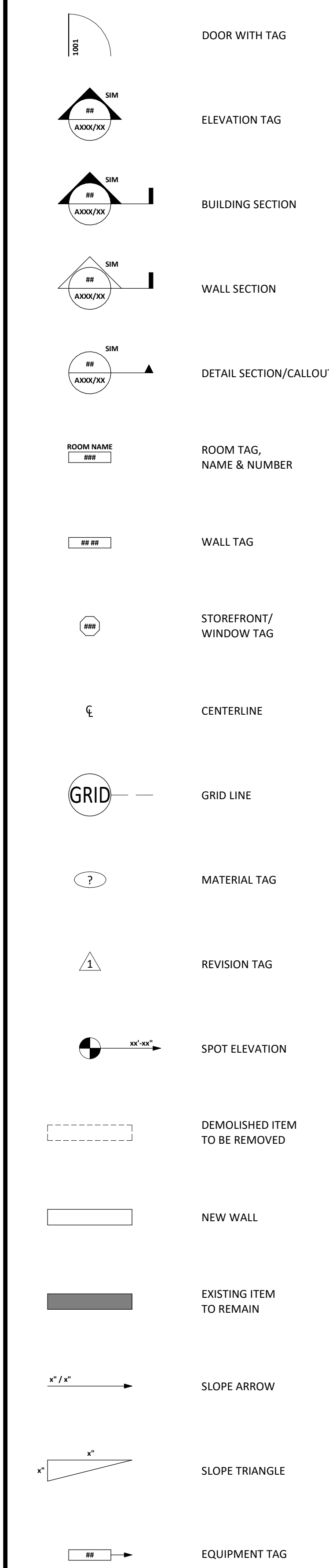
ABBREVIATIONS	
KEY	DESCRIPTION
MTL	METAL
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OPNG	OPENING
PCC	PRE-CAST CONCRETE
PL	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLUMB	PLUMBING
PLYD	PLYWOOD
PNT	PAINT OR PAINTED
PT	PRESSURE TREATED
PVC	POLYVINYL CHLORIDE
QTY	QUANTITY
RAD	RADIUS
RBR	RUBBER
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFERENCE
REFR	REFRIGERATOR
REQ'D	REQUIRED
REV	REVISION
RH	RIGHT HAND
RM	ROOM
RO	ROUGH OPENING
SCH	SCHEDULE
SIM	SIMILAR
SPEC	SPECIFIED OR SPECIFICATION
SPK	SPEAKER
SQ	SQUARE
SSTL	STAINLESS STEEL
STC	SOUND TRANSMISSION COEFFICIENT
STL	STEEL
STRUCT	STRUCTURE OR STRUCTURAL
T&G	TONGUE AND GROOVE
T/D	TELEPHONE/DATA
T/O	TOP OF
TELE	TELEPHONE
THK	THICK
TLT	TOILET
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TPD	TOILET PAPER DISPENSER
TYP	TYPICAL
UL	UNDERWRITERS LABORATORY
UNO	UNLESS NOTED OTHERWISE
VB	VAPOR BARRIER
VIF	VERIFY IN FIELD
VR	VAPOR RETARDER
W/	WITH
W/O	WITHOUT
WD	WOOD

MATERIAL SYMBOLS



ACOUSTICAL BATT INSULATION
ALUMINUM
BLOCKING (CONTINUOUS)
BLOCKING (NON-CONTINUOUS)
CONCRETE
CONCRETE BLOCK
EARTH, COMPACTED FILL
FACE BRICK
GYPSUM WALLBOARD
PLYWOOD
RIGID INSULATION
SAND/MORTAR
SPRAY FOAM INSULATION
STEEL
STONE/GRAVEL
WOOD

DRAWING SYMBOLS



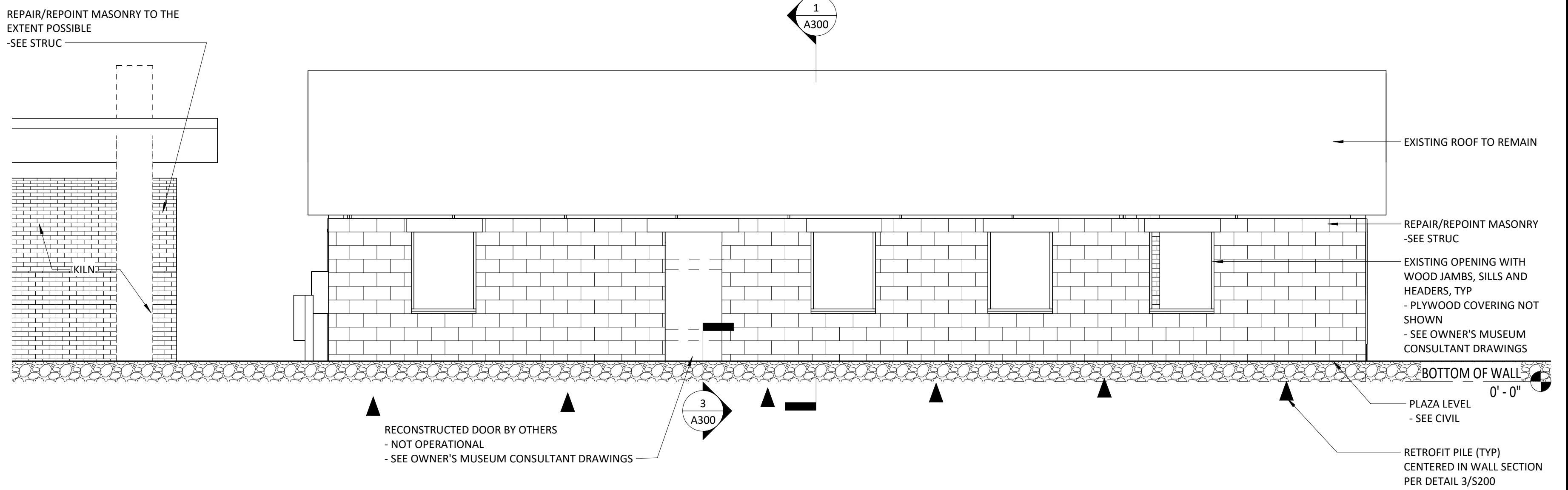
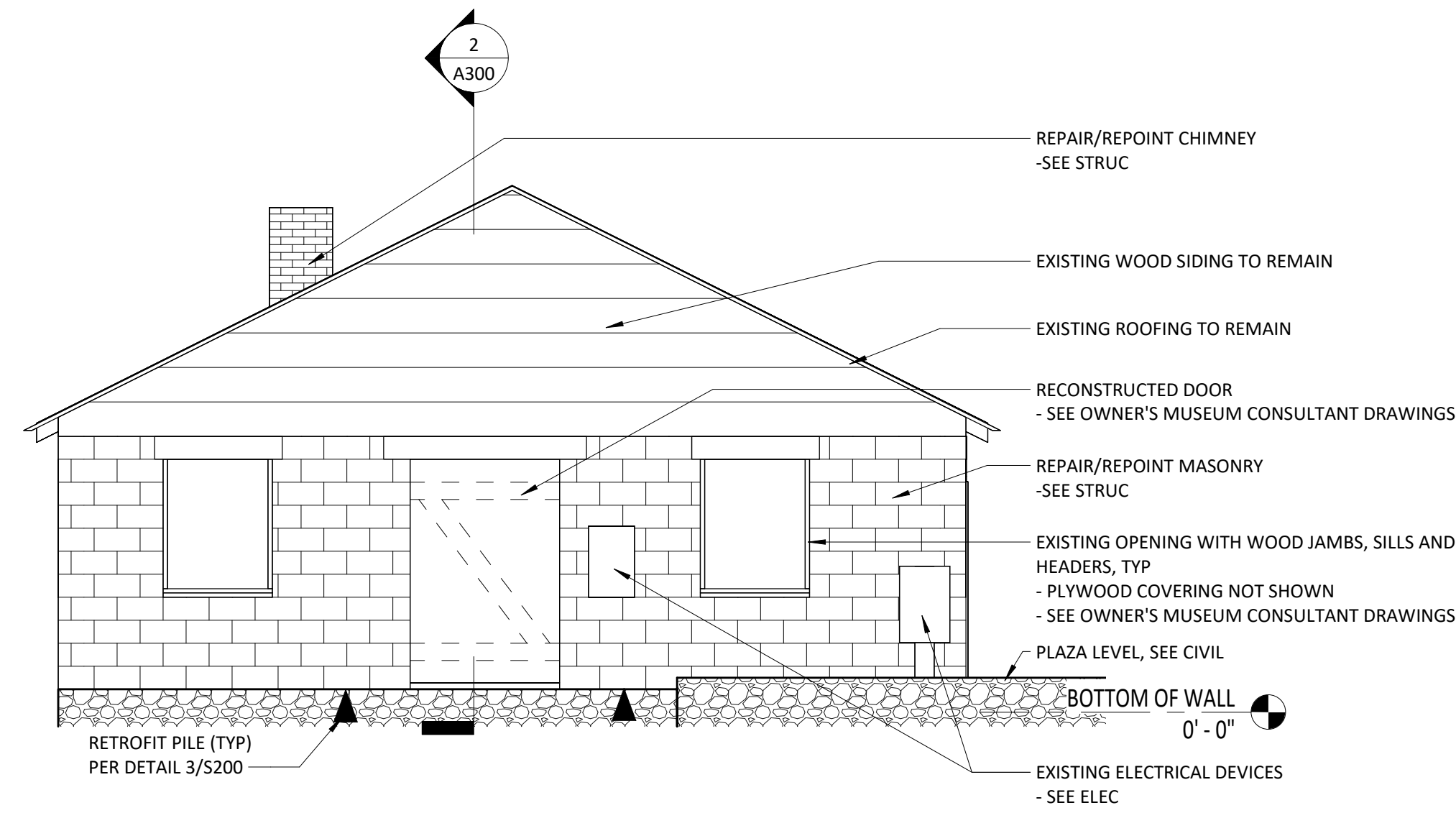
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PROJECT NO.
22-0103.010

NOTES, ABBREVIATIONS, SYMBOLS

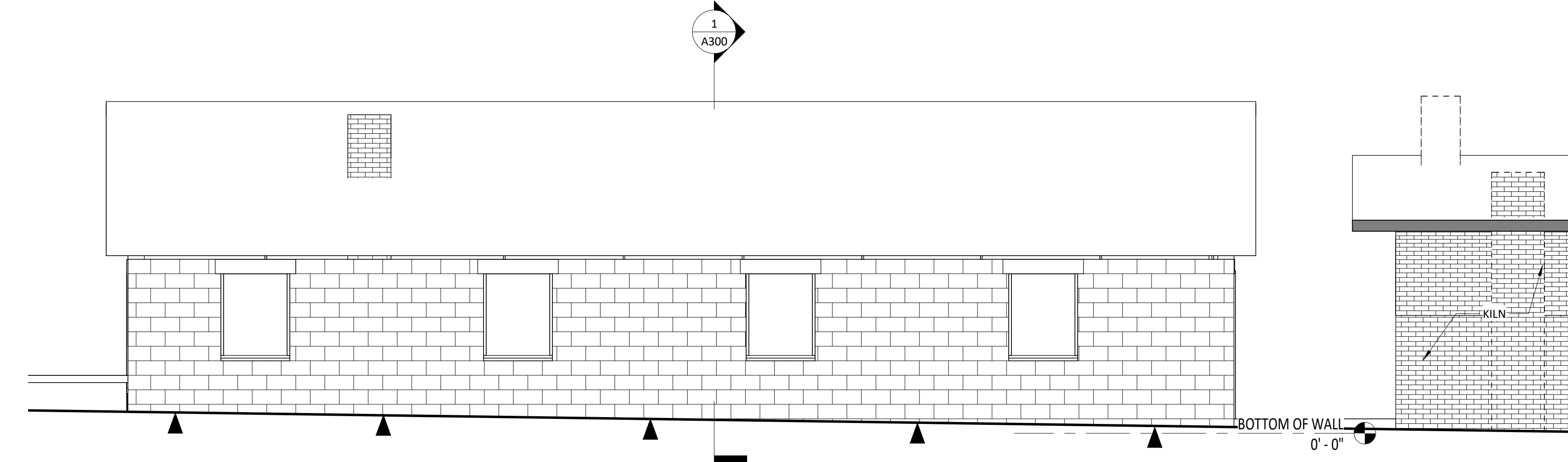
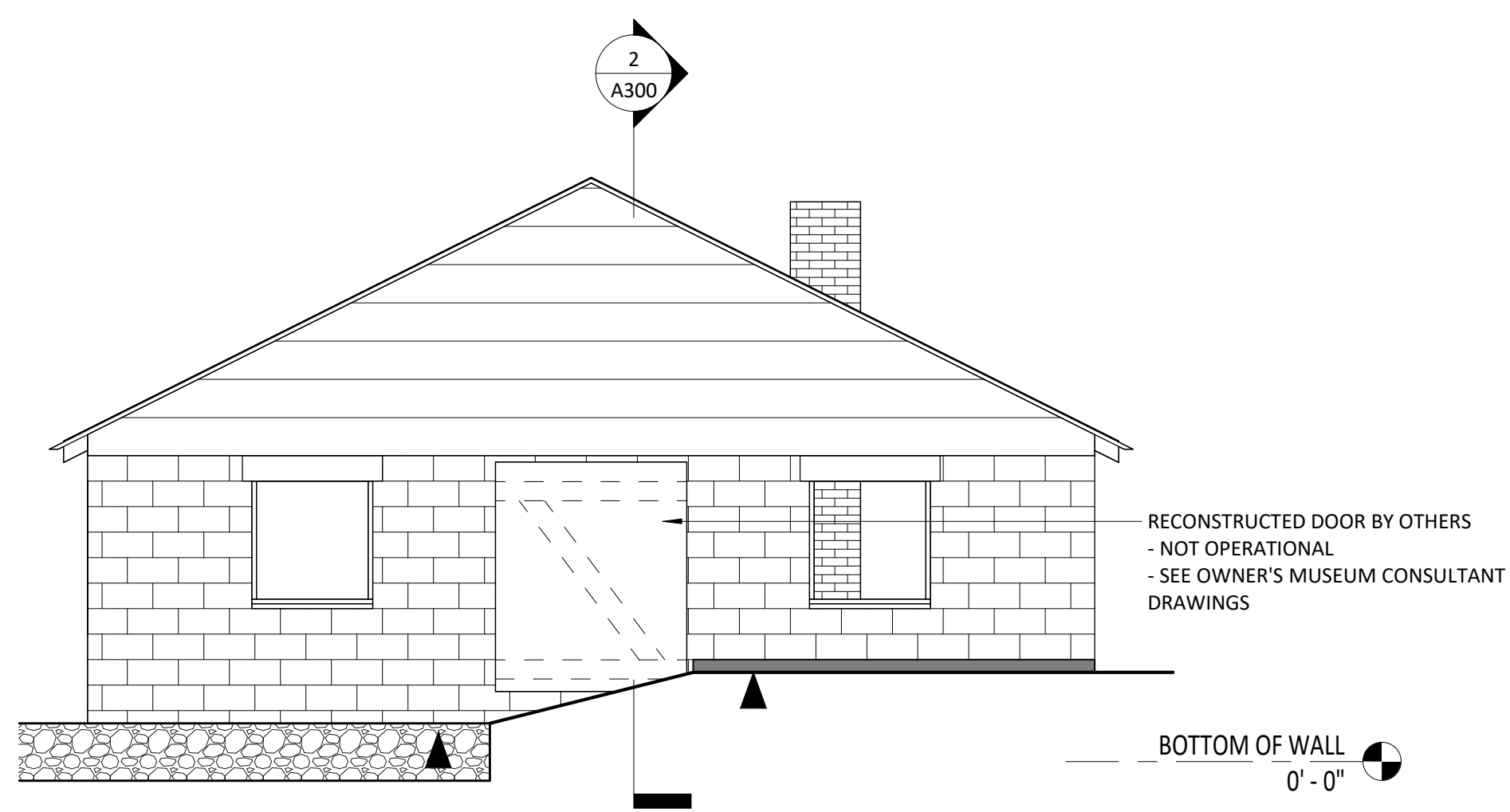
GENERAL ELEVATION NOTES:

1. SEE ALSO GENERAL NOTES ON A100.
2. NOTES ON DETAILS 1 & 2 ARE TYPICAL AND APPLY TO ALL VIEWS WITH SIMILAR ITEMS.
3. COMPLETE ALL MASONRY REPAIRS PER S301 BEFORE RETROFIT PILE INSTALLATION.
4. PROVIDE LIQUID-APPLIED WATERPROOFING TO EXTERIOR WALL FACES THAT ARE BELOW GRADE/PLAZA LEVEL.
5. PROVIDE ASPHALT SATURATED EXPANSION MATERIAL BETWEEN EXISTING MASONRY AND PLAZA CONSTRUCTION.



1 SOUTH ELEVATION
 1/4" = 1'-0"

2 EAST ELEVATION
 1/4" = 1'-0"



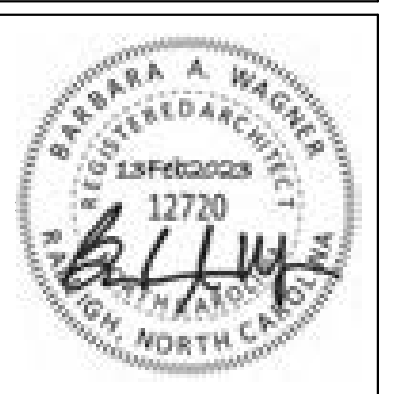
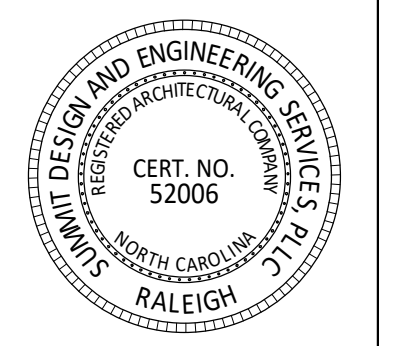
3 NORTH ELEVATION
 1/4" = 1'-0"

4 WEST ELEVATION
 1/4" = 1'-0"

STRUCTURES RESTORATION

OUTEN POTTERY PARK

430 JEFFERSON ST.,
 MATTHEWS, NC

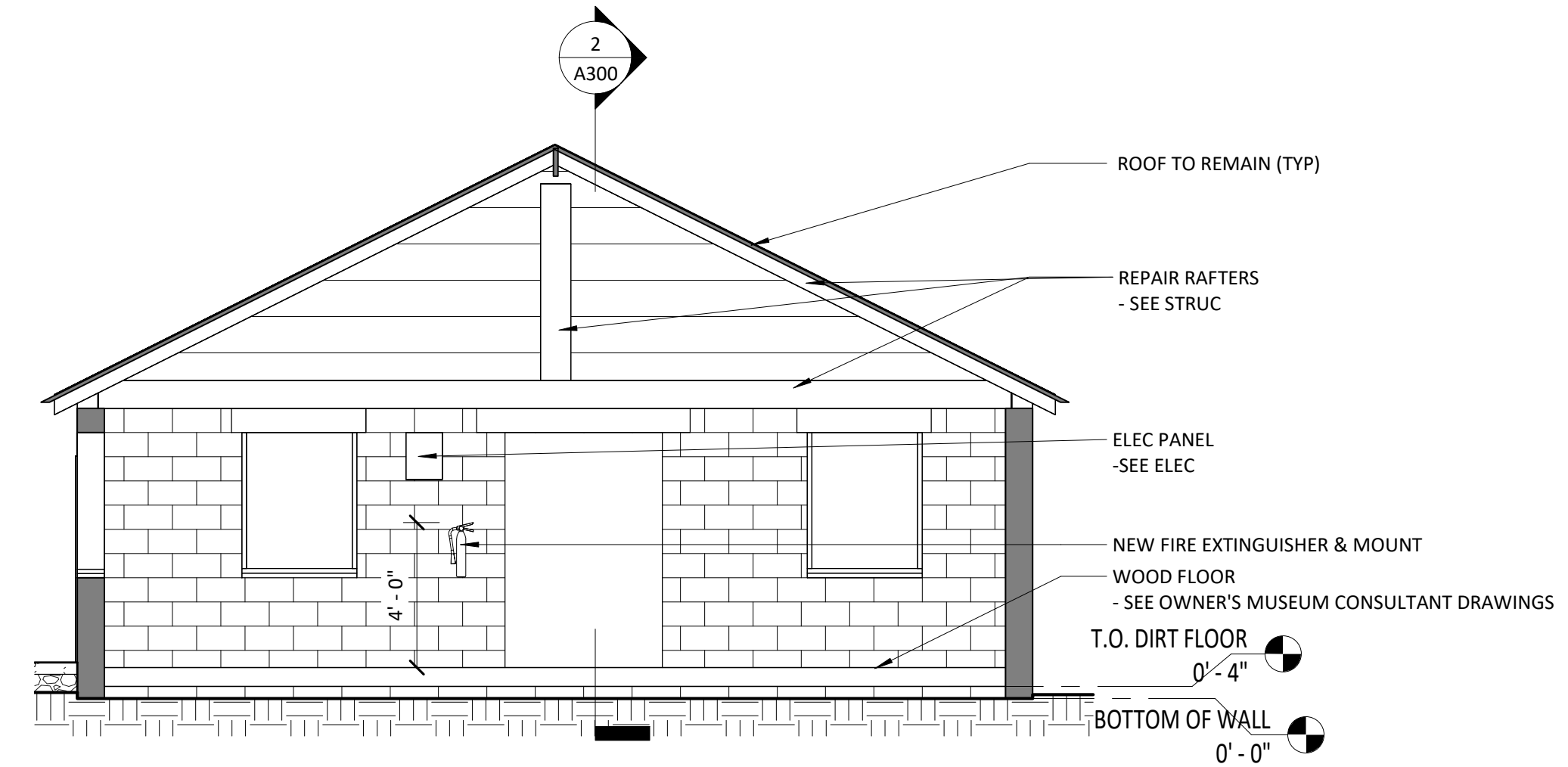
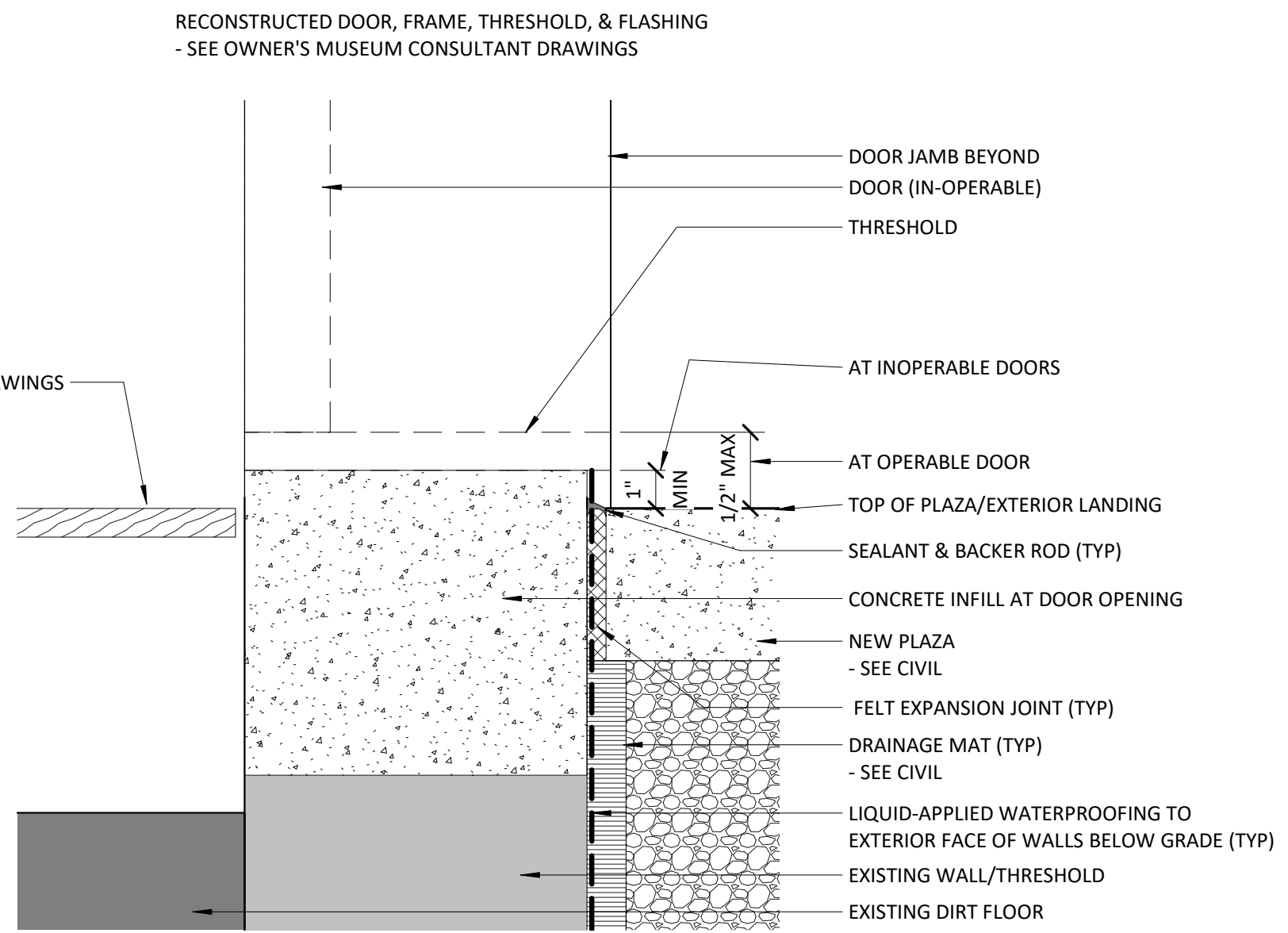


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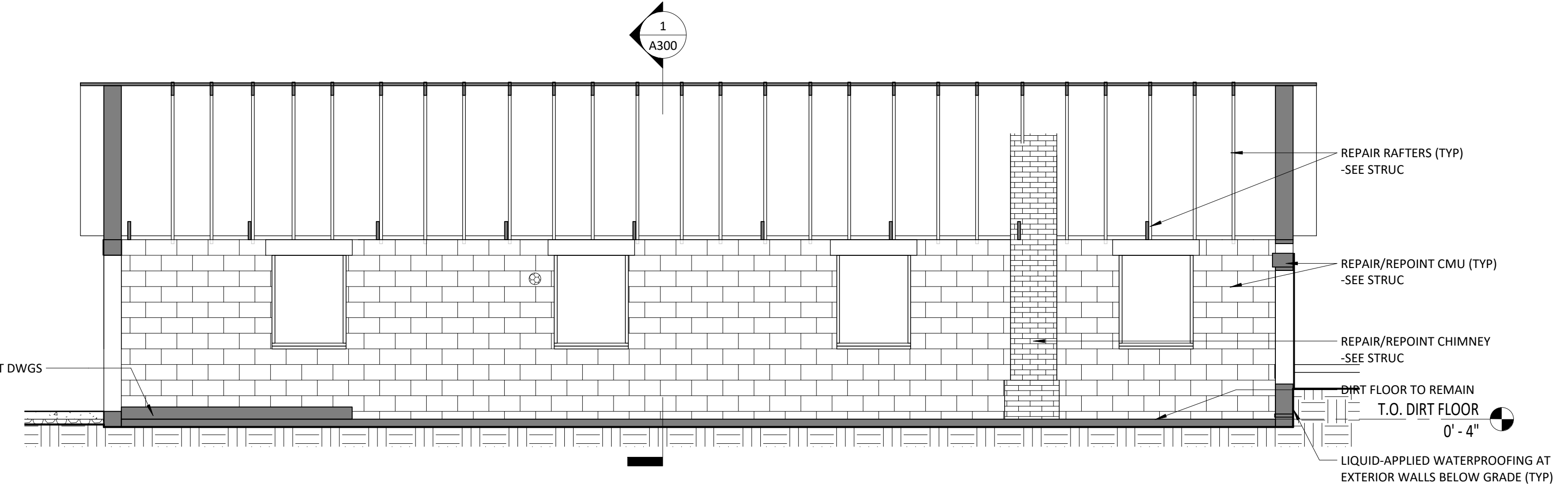
EXTERIOR ELEVATIONS

A200



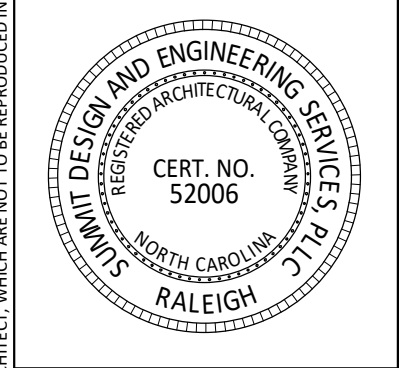
3 DOOR THRESHOLD (TYP)
3" = 1'-0"

1 CROSS SECTION
1/4" = 1'-0"



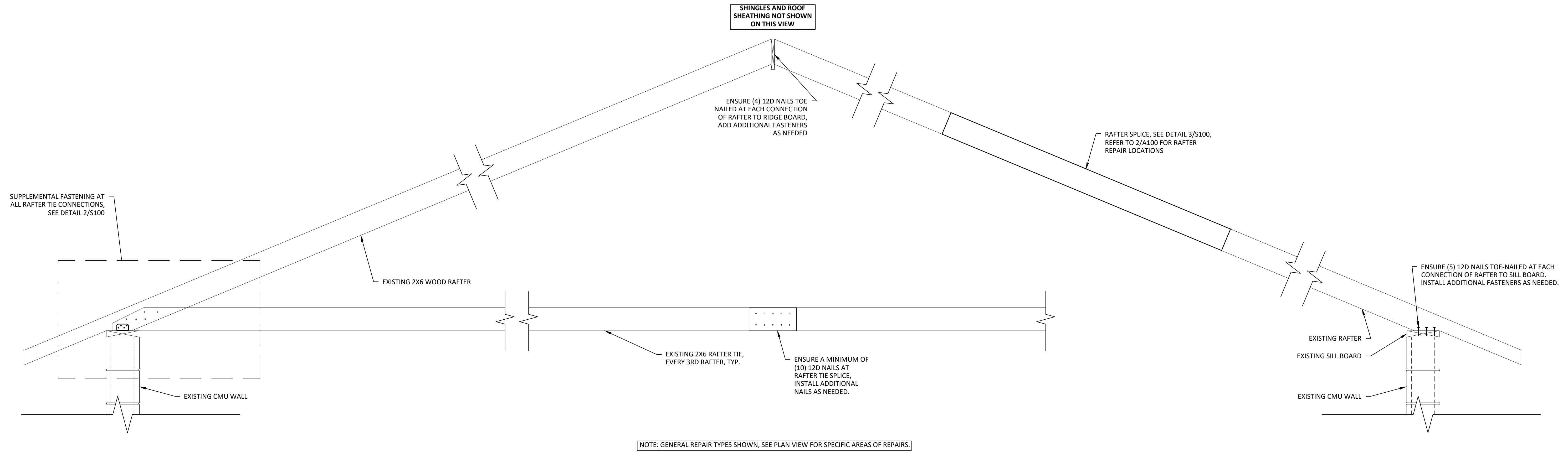
2 LONGINTUDINAL SECTION
1/4" = 1'-0"

3/13/2023 11:54:41 AM C:\Users\barbara.wagner\Documents\22-0103-010 Outen Pottery Park Structures_CD-CENTRAL_022_barbara.wagner\CWUTV.rvt



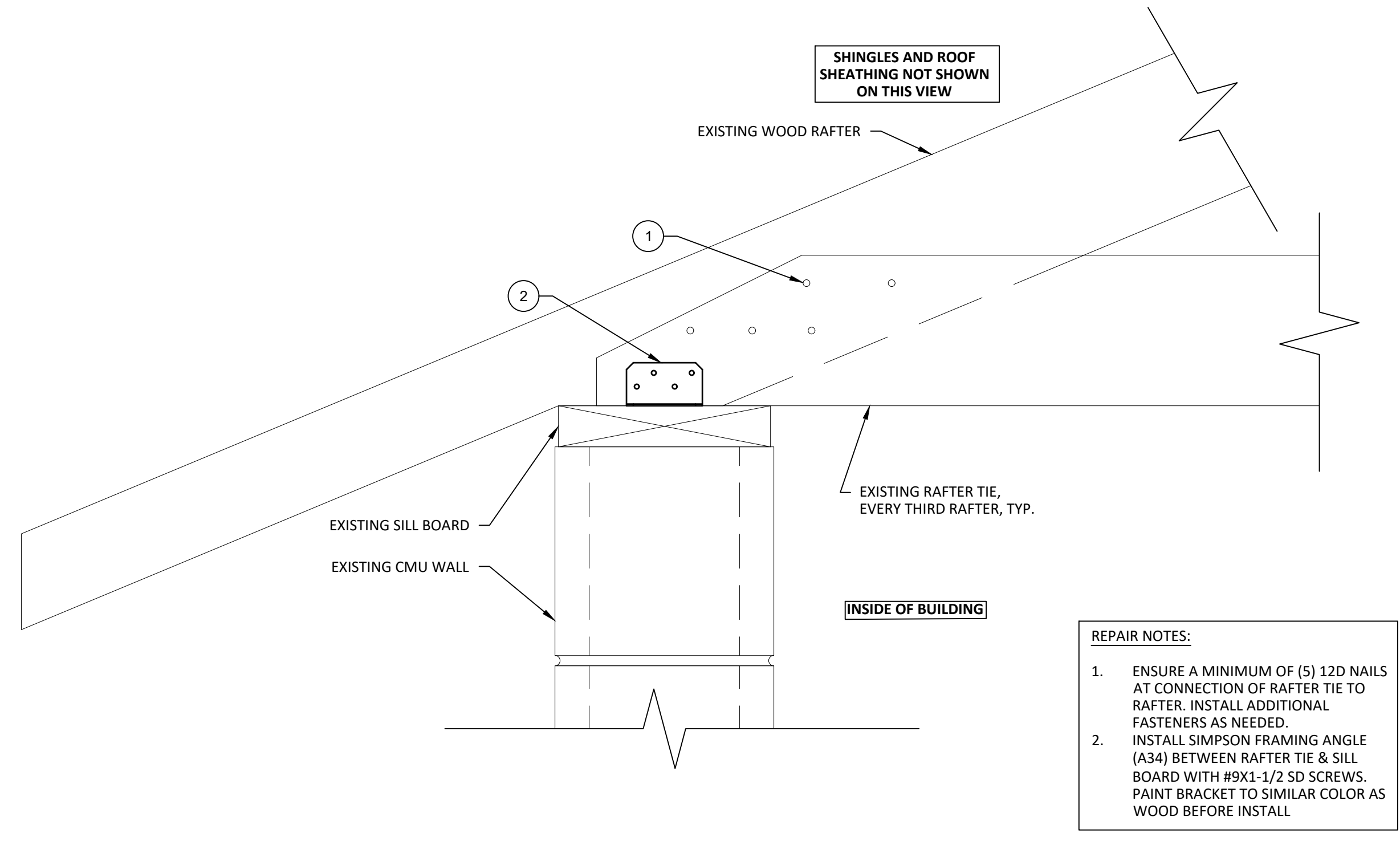
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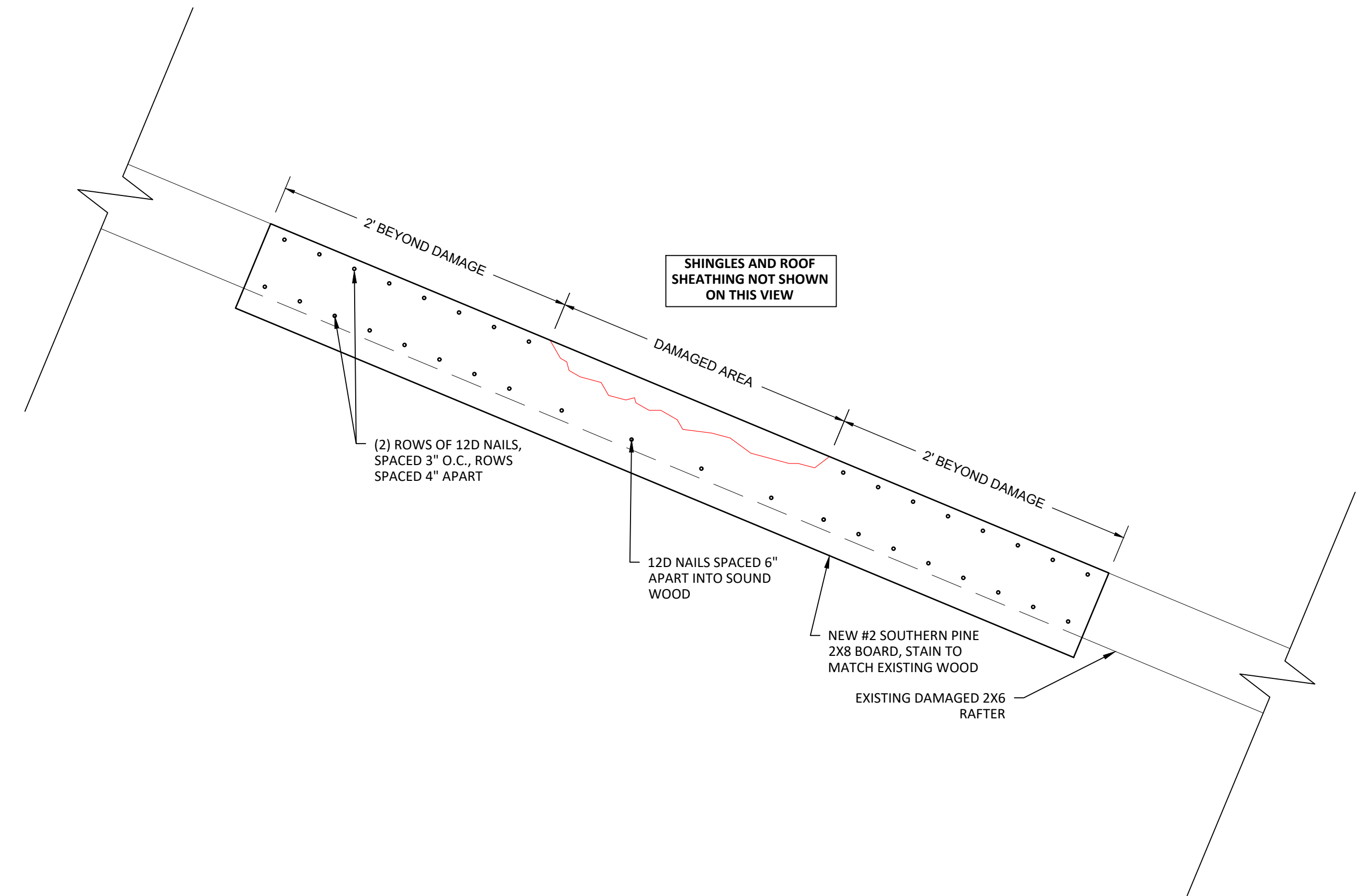
NOTE: GENERAL REPAIR TYPES SHOWN, SEE PLAN VIEW FOR SPECIFIC AREAS OF REPAIRS.

1 ROOF TRUSS - SECTION CUT
1" = 1'-0"



- REPAIR NOTES:**
1. ENSURE A MINIMUM OF (5) 12D NAILS AT CONNECTION OF RAFTER TIE TO RAFTER. INSTALL ADDITIONAL FASTENERS AS NEEDED.
 2. INSTALL SIMPSON FRAMING ANGLE (A34) BETWEEN RAFTER TIE & SILL BOARD WITH #9X1-1/2 SD SCREWS. PAINT BRACKET TO SIMILAR COLOR AS WOOD BEFORE INSTALL

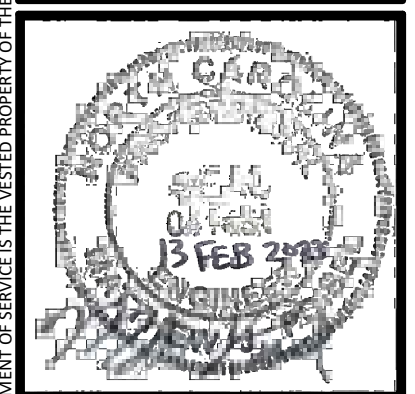
2 SUPPLEMENTAL FASTENING AT RAFTER TIE
3" = 1'-0"



3 RAFTER SPICE
1-1/2" = 1'-0"

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STRUCTURES RESTORATION
OUTEN POTTERY PARK
430 JEFFERSON ST.,
MATTEWS, NC



NO.	REVISIONS	DATE
1	CONSTRUCTION DRAWINGS	2/13/23

DRAWN BY: TJF
CHECKED BY: MJP
FIRST ISSUE DATE: 13FEB2023
PROJECT NO.
22-0103.010
ROOF STRUCTURE REPAIRS

S100



SOUTH ELEVATION - OVERVIEW



SOUTH ELEVATION - WEST SECTION

REMOVE TREE STUMP



SOUTH ELEVATION - EAST SECTION

ELEVATION REPAIRS

- 1 CMU REPOINTING PER DETAIL 1/S200. REPOINT ALL AREAS BEFORE ELEVATION REPAIR 2, REPLACEMENT OF ADJACENT CMU BLOCK(S).
- 2 CMU REPLACEMENT. CAREFULLY AND NEATLY REMOVE EXISTING CMU BLOCK(S). INSTALL NEW CMU BLOCKS TO MATCH EXISTING, TOOTH IN TO EXISTING CMU WALL. FINISH MORTAR JOINTS TO MATCH EXISTING.
- 3 INSTALL NEW REINFORCING BAR IN CMU JOINT PER DETAIL 2/S200. COMPLETE ELEVATION REPAIRS 1 & 2 BEFORE INSTALLING NEW REINFORCING BAR.

1 MASONRY WALL REPAIRS - SOUTH ELEVATION

N.T.S.

ELEVATION REPAIRS

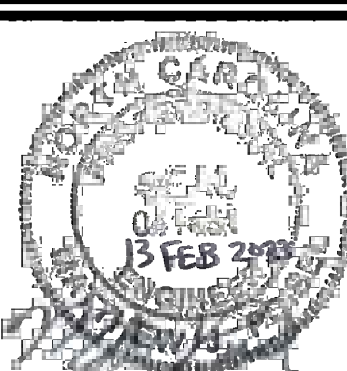
- 1 CMU REPOINTING PER DETAIL 1/S200. REPOINT ALL AREAS BEFORE ELEVATION REPAIR 2, REPLACEMENT OF ADJACENT CMU BLOCK(S).
- 2 CMU REPLACEMENT. CAREFULLY AND NEATLY REMOVE EXISTING CMU BLOCK(S). INSTALL NEW CMU BLOCKS TO MATCH EXISTING, TOOTH IN TO EXISTING CMU WALL. FINISH MORTAR JOINTS TO MATCH EXISTING.
- 3 INSTALL NEW REINFORCING BAR IN CMU JOINT PER DETAIL 2/S200. COMPLETE ELEVATION REPAIRS 1 & 2 BEFORE INSTALLING NEW REINFORCING BAR.



EAST ELEVATION

2 MASONRY WALL REPAIRS - EAST ELEVATION

N.T.S.



NO.	REVISIONS	DATE
1	CONSTRUCTION DRAWINGS	2/13/23

DRAWN BY: TJF
CHECKED BY: MJP
FIRST ISSUE DATE: 13FEB2023
PROJECT NO.
22-0103.010

MASONRY WALL REPAIR AREAS

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NORTH ELEVATION

2 TEMPORARILY SHORE ROOF & GABLE STRUCTURE WHILE REPLACING CMU WALL IN THIS AREA. INSTALL LADDER WIRE REINFORCING AT EVERY 2ND ROW OF CMU.

ELEVATION REPAIRS	
1	CMU REPOINTING PER DETAIL 1/S200. REPOINT ALL AREAS BEFORE ELEVATION REPAIR 2, REPLACEMENT OF ADJACENT CMU BLOCK(S).
2	CMU REPLACEMENT. CAREFULLY AND NEATLY REMOVE EXISTING CMU BLOCK(S). INSTALL NEW CMU BLOCKS TO MATCH EXISTING, TOOTH IN TO EXISTING CMU WALL. FINISH MORTAR JOINTS TO MATCH EXISTNG.
3	INSTALL NEW REINFORCING BAR IN CMU JOINT PER DETAIL 2/S200. COMPLETE ELEVATION REPAIRS 1 & 2 BEFORE INSTALLING NEW REINFORCING BAR.

1 MASONRY WALL REPAIRS - NORTH ELEVATION
N.T.S.



WEST ELEVATION

REPAIR CHIMNEY, EXTEND UP TO ELEVATION ABOVE RIDGE. CAP WITH SOLID MORTAR.

NEW 2X8 TREATED WOOD HEADER ABOVE WINDOWS ON EXTERIOR. 3 LOCATIONS

REPLACE 2X4 BLOCKING WITH NEW TREATED WOOD 2X8 HEADER. TYPICAL 3 LOCATIONS. ADD BLOCKING AND SHIMS SO THAT 2X8 IS FLUSH WITH EXTERIOR FACE OF CMU. STAIN ALL WOOD TO MATCH EXISTING.

3 REINFORCING BAR INSTALLED AT LOWEST 2 CMU HORIZONTAL MORTAR JOINTS, CONTINUOUS ALONG WALL.

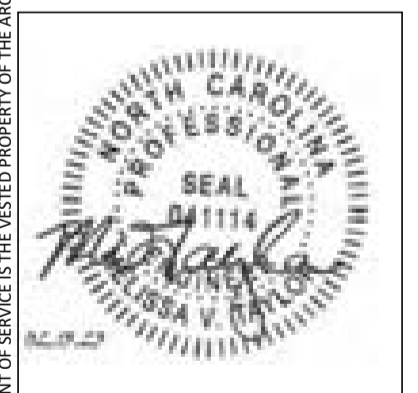
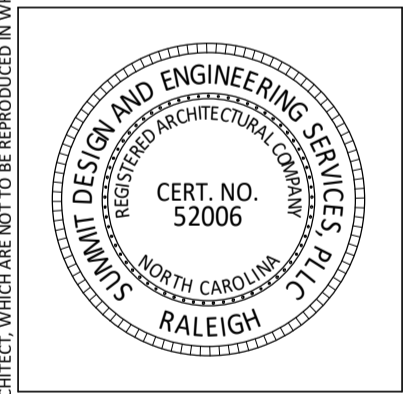
SEE DETAIL AT WINDOW

ELEVATION REPAIRS	
1	CMU REPOINTING PER DETAIL 1/S200. REPOINT ALL AREAS BEFORE ELEVATION REPAIR 2, REPLACEMENT OF ADJACENT CMU BLOCK(S).
2	CMU REPLACEMENT. CAREFULLY AND NEATLY REMOVE EXISTING CMU BLOCK(S). INSTALL NEW CMU BLOCKS TO MATCH EXISTING, TOOTH IN TO EXISTING CMU WALL. FINISH MORTAR JOINTS TO MATCH EXISTNG.
3	INSTALL NEW REINFORCING BAR IN CMU JOINT PER DETAIL 2/S200. COMPLETE ELEVATION REPAIRS 1 & 2 BEFORE INSTALLING NEW REINFORCING BAR.



WEST ELEVATION - DETAIL AT WINDOW

2 MASONRY WALL REPAIRS - WEST ELEVATION
N.T.S.



NO	REVISIONS	DATE

DRAWN BY: LFB
CHECKED BY: MVT
FIRST ISSUE DATE: 13FEB23
PROJECT NO.
22-0103.010

POWER & LIGHTING PLAN

PROJECT NORTH TRUE NORTH

E111

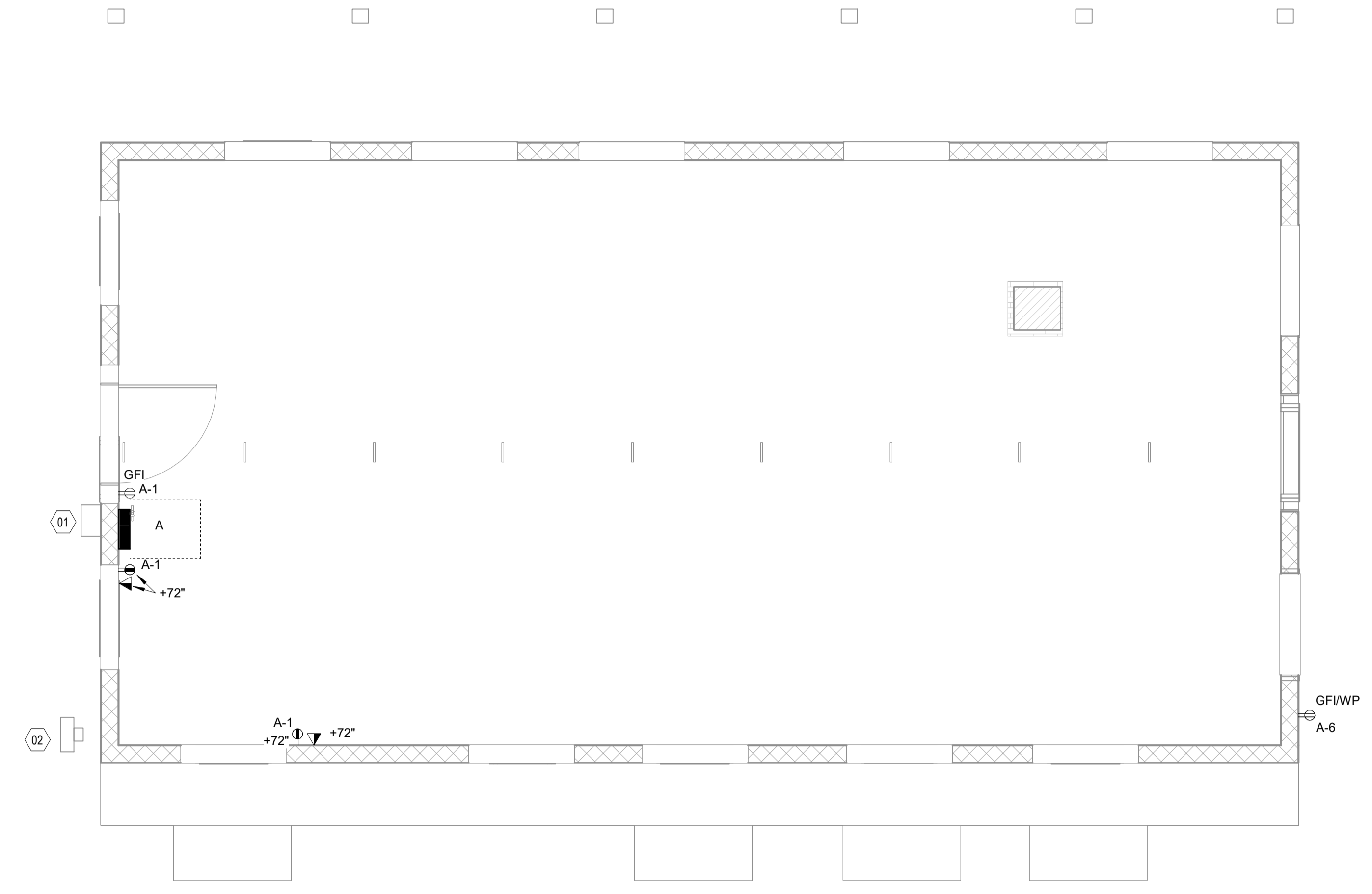
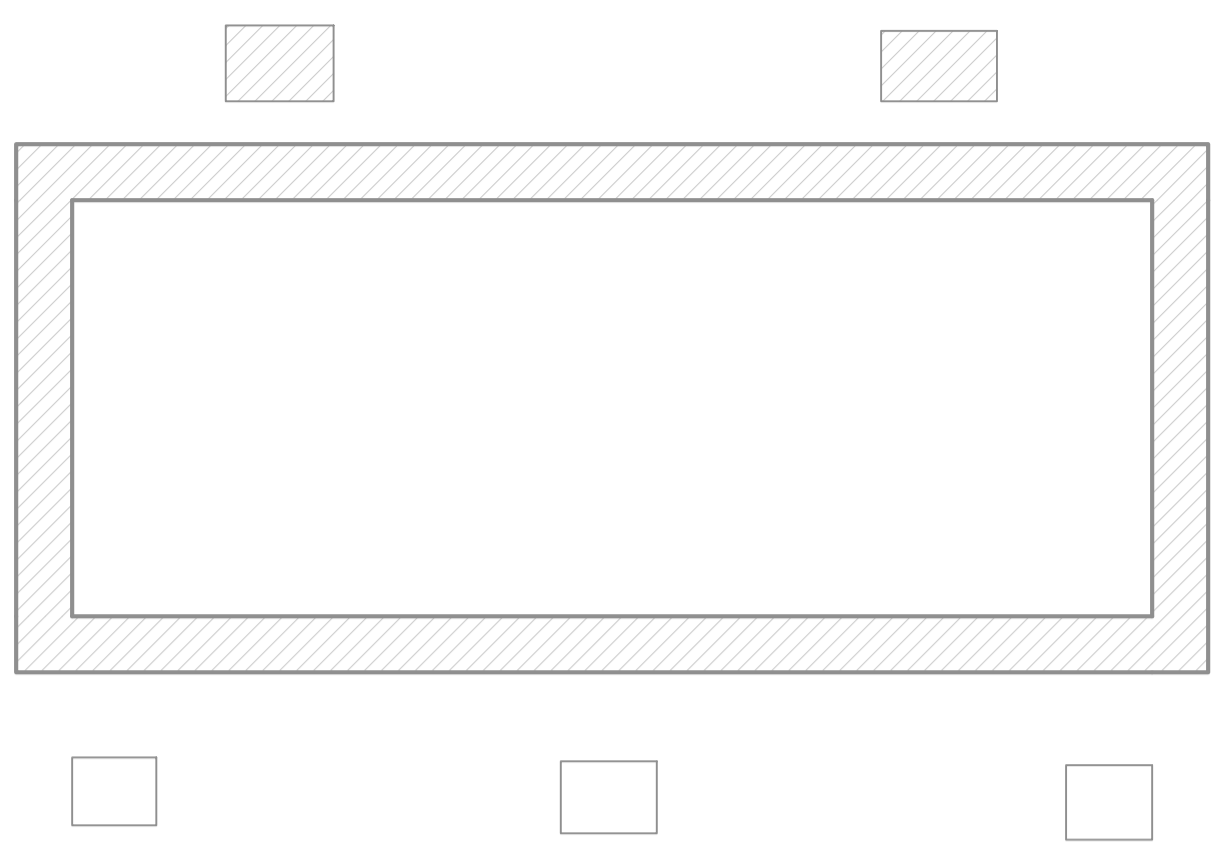
GENERAL NOTES

- A. ALL RECEPTACLES AND TELEPHONE/DATA OUTLETS SHALL BE SURFACE-MOUNTED. ALL CONDUIT AND RACEWAY SHALL BE CONCEALED, UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS.
- B. EC TO COORDINATE WITH UTILITY COMPANY THE RELOCATION OF ELECTRICAL SERVICE POLE AND GUY-WIRE.

KEYED NOTES

- 01 LOCATION OF SERVICE DISCONNECT, CT CABINET AND METER.
- 02 EXISTING METER TO BE REMOVED.

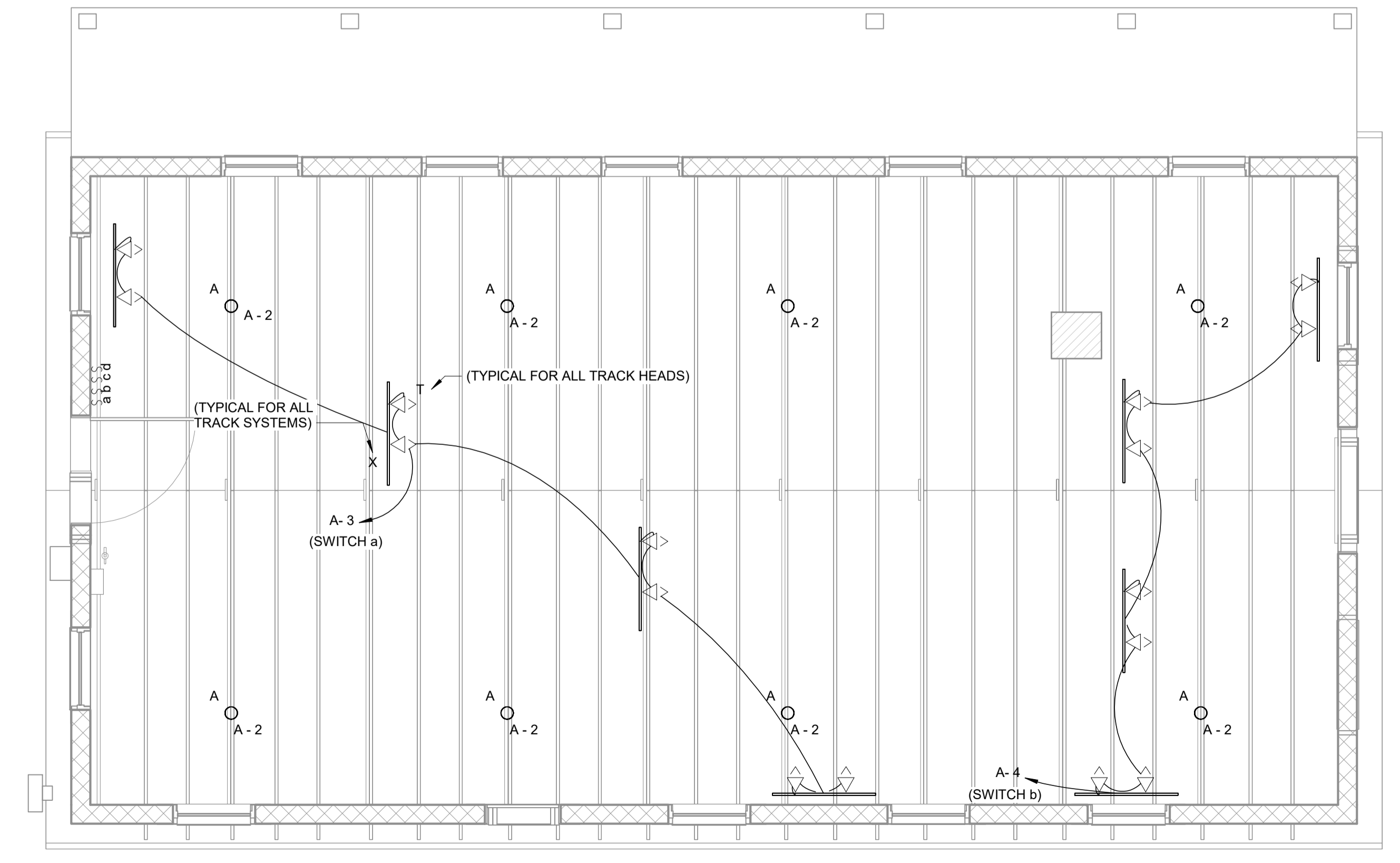
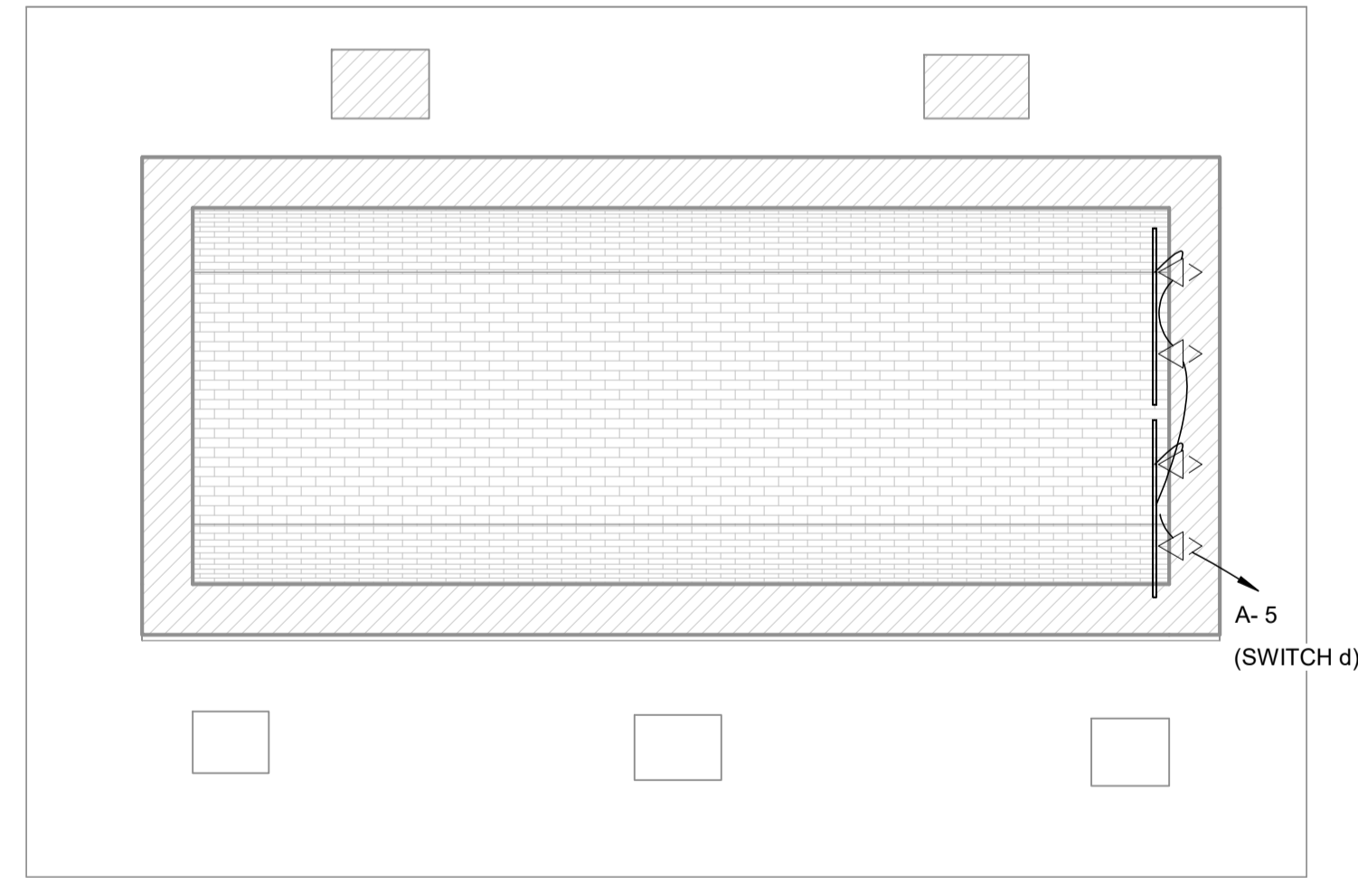
1 POWER PLAN
1/4" = 1'-0"



LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	BASIS OF DESIGN - MANUFACTURER	BASIS OF DESIGN - MODEL	LAMP	VOLTAGE	APPARENT LOAD	MOUNTING	NOTES
A	MEDIUM BASE PORCELAIN LAMPHOLDER	LEVITON	49816-C	INCAND	120 V	50 VA	SURFACE	
T	TRACK HEAD	SOLAIS	LCM-1-NVL-8-30-2000-CTBS-J-SN	LED	120 V	20 VA	TRACK	
X	4' TRACK SYSTEM	SOLAIS	J SERIES TRACK	LED	120 V	40 VA	SURFACE	

2 LIGHTING PLAN
1/4" = 1'-0"



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CARY, NC 27511
984.465.4050
PROJECT NO: 22.074

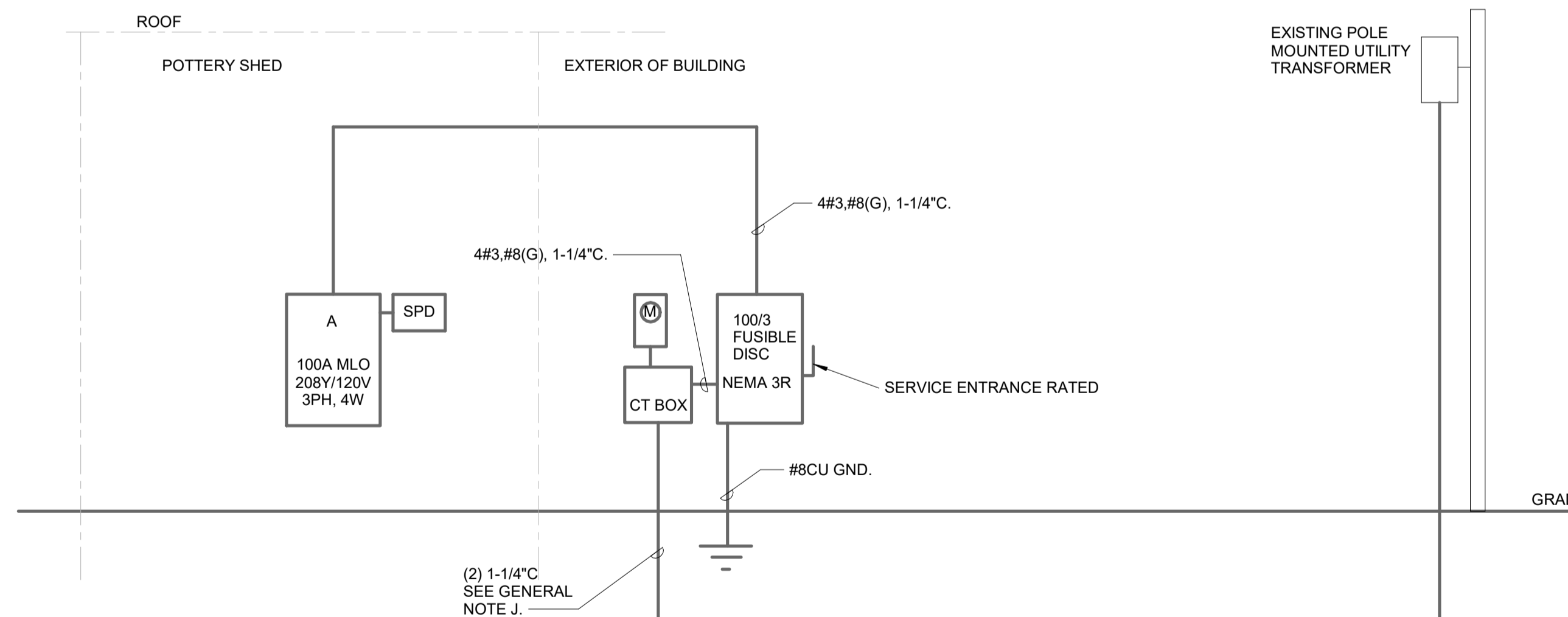
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Branch Panel: A		New									
Location: POTTERY SHED		Volts: 120/208 Wye		A.I.C. Rating: 10,000							
Supply From:		Phases: 3		Mains Type: MLO							
Mounting: Surface		Wires: 4		Mains Rating: 100 A							
Enclosure: Type 1											
Notes:											
CKT	Circuit Description	Trip	Poles	A (VA)	B (VA)	C (VA)	Poles	Trip	Circuit Description	CKT	
1	REC. MONITOR	20 A	1	540	400			1	20 A	LIGHTING	2
3	TRACK LIGHTING	20 A	1		320	320		1	20 A	TRACK LIGHTING	4
5	LIGHTING	20 A	1			160	180	1	20 A	Receptacle	6
7	SPARE	20 A	1	0	0			1	20 A	SPARE	8
9	SPARE	20 A	1		0	0		1	20 A	SPARE	10
11	SPARE	20 A	1			0	0	1	20 A	SPARE	12
13	SPARE	20 A	1	0	0			1	20 A	SPARE	14
15	SPARE	20 A	1		0	0		1	20 A	SPARE	16
17	SPARE	20 A	1			0	0	1	20 A	SPARE	18
19	SPARE	20 A	1	0	0						20
21	SPARE	20 A	1		0	0		3	30 A	SPD	22
23	SPARE	20 A	1			0	0				24
Total Load:				940 VA	640 VA	340 VA					
Total Amps:				8 A	6 A	3 A					
Load Classification		Connected Load	Demand Factor	Estimated Demand	Panel Totals						
Lighting		1.2 kVA	125.00%	1.5 kVA	Total Conn. Load: 1.92 kVA						
Receptacle		0.72 kVA	100.00%	0.72 kVA	Total Est. Demand: 2.22 kVA						
					Total Conn. Current: 5 A						
					Total Est. Demand Current: 6 A						
Notes:											

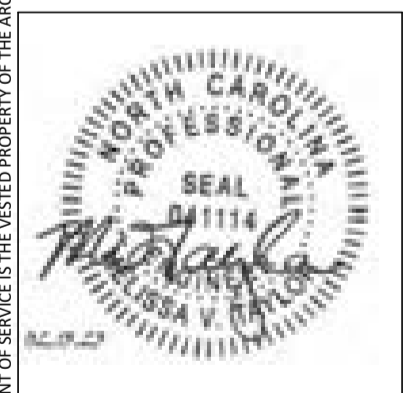
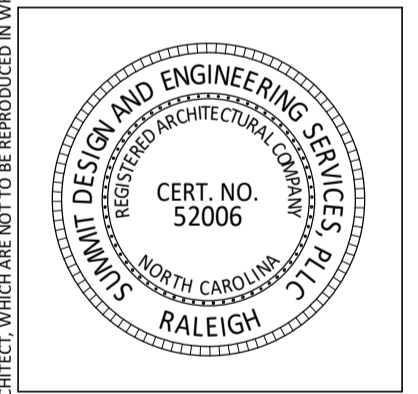
GENERAL NOTES

- REFER TO PANEL SCHEDULES FOR FAULT CURRENT INTERRUPTING CAPACITIES.
- PROVIDE ARC FLASH HAZARD LABELING FOR ALL EQUIPMENT PER NEC 110.16
- ALL EXISTING CONDITIONS NOTED ON THESE PLANS ARE TAKEN FROM SITE OBSERVATIONS AND AVAILABLE AS-BUILT / RECORD DRAWINGS. CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS IN THE FIELD AND NOTIFY DESIGN TEAM OF DISCREPANCIES. IN ADDITION, CONTRACTOR SHALL INDICATE ANY CHANGES FROM DRAWINGS ON AS-BUILTS FOR THE OWNER. ALL CIRCUITRY MODIFICATIONS SHALL BE INDICATED ON THE DEVICE CIRCUIT LABELS AND IN UPDATED TYPED PANEL DIRECTORIES. ALL SPARE BREAKERS AT THE END OF THE PROJECT SHALL BE LABELED "SPARE" AND TURNED OFF. CONTRACTOR SHALL PROVIDE UPDATED DIRECTORY REFLECTING EXISTING CONDITIONS ONCE DEMOLITION PHASE IS COMPLETE FOR ENGINEER OF RECORD'S REVIEW.
- ALL CIRCUITRY MODIFICATIONS MADE IN THE FIELD SHALL BE INDICATED ON THE DEVICE CIRCUIT LABELS, ASSOCIATED JUNCTION BOXES ABOVE CEILING, AND IN UPDATED TYPED PANEL DIRECTORIES.
- PROVIDE TYPED DIRECTORY AT END OF PROJECT. ALL SPARE BREAKERS SHALL BE LABELED "SPARE" IN THE DIRECTORY AND IN THE "OFF" POSITION. THERE SHALL BE NO HAND WRITTEN MARKS ON THE DIRECTORIES AT PROJECT COMPLETION. ALL PANEL SCHEDULES SHALL MEET NEC 408.4.
- PROVIDE AVAILABLE FAULT CURRENT PLAQUES ON SERVICE EQUIPMENT PER NEC 110.24. PLAQUE SHALL BE MELAMINE PLASTIC, ENGRAVED WITH RED BACKGROUND AND 1/2 INCH HIGH WHITE LETTERS. PLAQUE SHALL READ AS FOLLOWS:

 MAXIMUM AVAILABLE FAULT CURRENT
 X,XXX AIC
 CALCULATED XX-XX-2022
- SWITCHBOARDS, SWITCHGEAR, AND PANELBOARDS SHALL HAVE A SHORT-CIRCUIT CURRENT RATING NOT LESS THAN THE AVAILABLE FAULT CURRENT. THE AVAILABLE FAULT CURRENT AND THE DATE THE CALCULATION WAS PERFORMED SHALL BE FIELD MARKED ON THE ENCLOSURE AT THE POINT OF SUPPLY. COMPLY WITH NEC 110.21(B)(3).
- CONTRACTOR SHALL COORDINATE SERVICE ENTRANCE EQUIPMENT WORK WITH UTILITY COMPANY AND INSTALL PER UTILITY COMPANY REQUIREMENTS.
- COORDINATE DEPTH OF TRENCHING AND CONDUITS INSTALLATION WITH EXISTING UTILITY LOCATIONS. INSTALL CONDUITS BELOW WATER PIPING WHERE CROSSINGS OCCUR. CONDUITS NOT TO RISE ABOVE MINIMUM DEPTH OF 18" BELOW GRADE. CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL (1-800-632-4949) 48 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO VERIFY LOCATION OF AND PREVENT DISTURBANCE OF ANY EXISTING UTILITIES IN WORK AREA AND PROVIDE IMMEDIATE TEMPORARY SERVICE TO ANY DAMAGED UTILITIES.
- UTILITY COMPANY TO PULL CONDUCTORS FROM TRANSFORMER TO CT CABINET. CONTRACTOR TO COORDINATE FINAL LOCATION AND CONNECTIONS WITH UTILITY COMPANY.



1 POWER RISER DIAGRAM
E700 NOT TO SCALE



NO	REVISIONS	DATE

peak systems engineering

1513 WALNUT ST.
SUITE 250
CARY, NC 27511
984.465.4050
PROJECT NO: 122.074

DRAWN BY: Checker
CHECKED BY: Approver
FIRST ISSUE DATE: 13FEB23
PROJECT NO.
22-0103.010
SINGLE LINE DIAGRAM

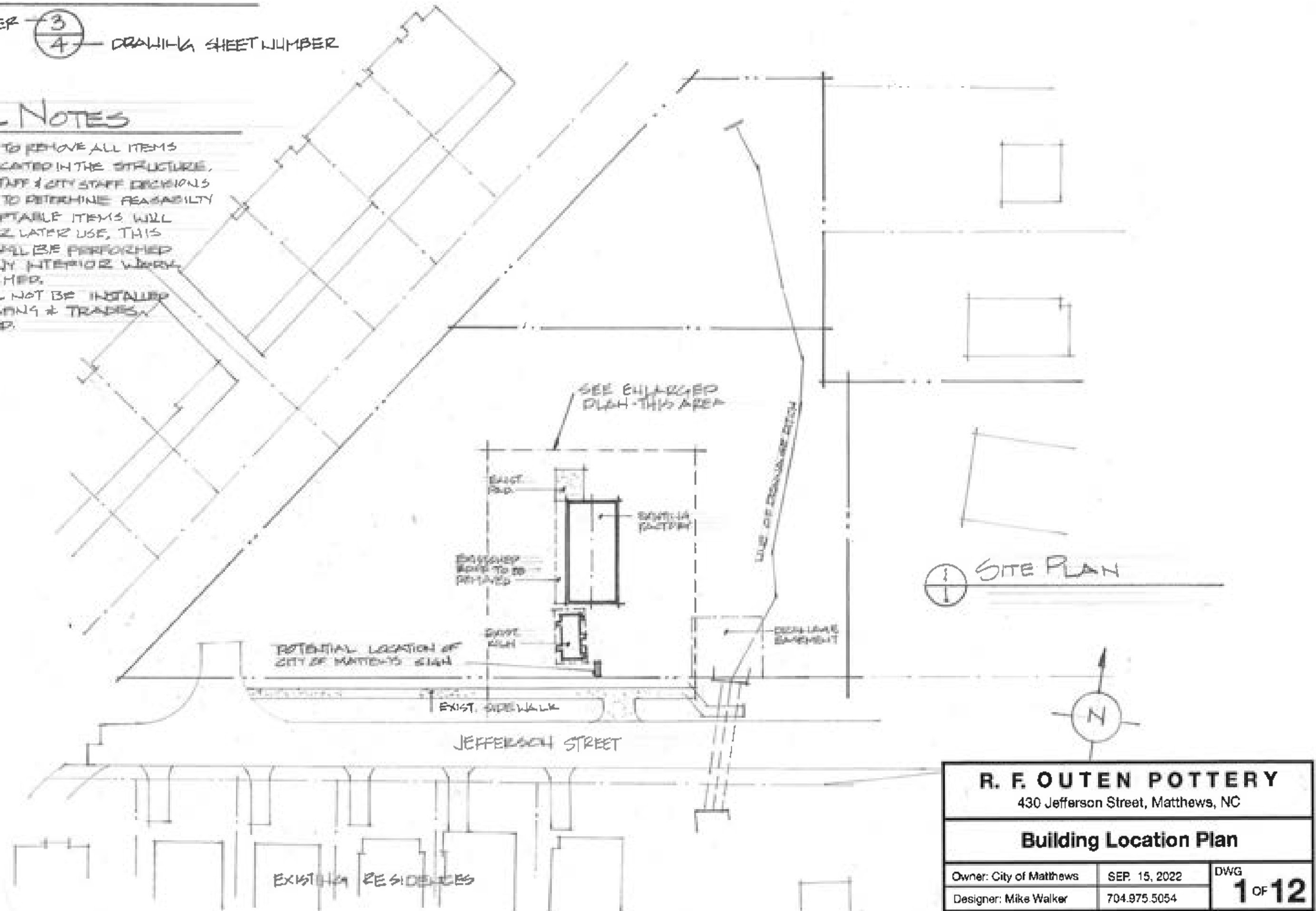
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KEY

DETAIL NUMBER $\frac{3}{4}$ DRAWING SHEET NUMBER

GENERAL NOTES

1. EXHIBIT G.C. IS TO REMOVE ALL ITEMS PRESENTLY LOCATED IN THE STRUCTURE. WITH MUSEUM STAFF & CITY STAFF DECISIONS WILL BE MADE TO DETERMINE FEASIBILITY OF USE. ACCEPTABLE ITEMS WILL BE STORED FOR LATER USE. THIS SCHEDULE SHALL BE PERFORMED PRIOR TO ANY INTERIOR WORK BEING PERFORMED.
2. EXHIBITS WILL NOT BE INSTALLED UNTIL LANDSCAPING & TRADES ARE COMPLETED.



R. F. OUTEN POTTERY 430 Jefferson Street, Matthews, NC		
Building Location Plan		
Owner: City of Matthews	SEP. 15, 2022	DWG
Designer: Mike Walker	704.975.5054	1 OF 12

KILN
SEE SHEET 4

NEW CONCRETE WALK BY COLUMNS

EXIST. SHED ROOF TO BE REMOVED BY OTHERS

EXIST WOOD FLOOR TO BE REPLACED WHERE ROTTEN OVER EXISTING JOISTS. WOOD TO BE SA4 S" ROUGH SAWN.

(5) EXIST. OPENINGS TO RECEIVE NEW JAMBS, SILLS & WINDOWS TO MATCH EXISTING WINDOWS. WOOD TO BE VINTAGE. GLAZING TO BE NEW TO MATCH EXISTING. 3/8" CLEAR POLY CARBONATE ATTACHED TO JAMB W/ANTI-THEFT SCREWS - WINDOWS ARE ALL FIXED.

EXIST. CHIMNEY

HAMMER MILL TO BE INSTALLED IN EXIST. OPENING. NEW JAMB & SILL TO BE CONSTRUCTED TO FIT OPENING. CMU TO BE REPAIRED ALL WOOD TO BE VINTAGE

NOTE:

ALL OPENINGS & WALL PENETRATIONS TO BE COVERED WITH HARDING MATERIALS WHERE POSSIBLE, CMU TO BE USED WHERE OPENINGS IN WALLS OCCUR

EDGE OF DIRT FLOOR

NEW JAMB, SILL & DOOR-OPENABLE SEE SHEET 10 FOR DOOR DETAILS

NEW DOOR & JAMB TO FIT EXISTING OPENING - FIXED. WOOD TO BE VINTAGE SEE SHEET 10 FOR DETAILS & ELEVATION

SEE ELEVATION FOR LOCATION & SIZE OF NEW GABLE FOR THIS END ONLY

SEE 2/10

DIRT FLOOR TO REMAIN

TO RECEIVE LCD SCREEN
NEW DISPLAY BOWLS - SEE DETAILS SHEET 7 & 8

NEW JAMBS, SILLS W/ 6 EXISTING WINDOWS TO BE CLEANED & INSTALLED. ALL WINDOWS TO RECEIVE 3/8" CLEAR POLY CARBONATE ATTACHED TO JAMB W/ANTI-THEFT SCREWS. ALL WINDOWS ARE FIXED.

EXISTING WINDOW OPENING TO RECEIVE NEW SILL, JAMB & WINDOW TO MATCH EXISTING. WOOD TO BE VINTAGE - IS COVERED W/ 3/8" POLY CARBONATE

TO RECEIVE POTTERY

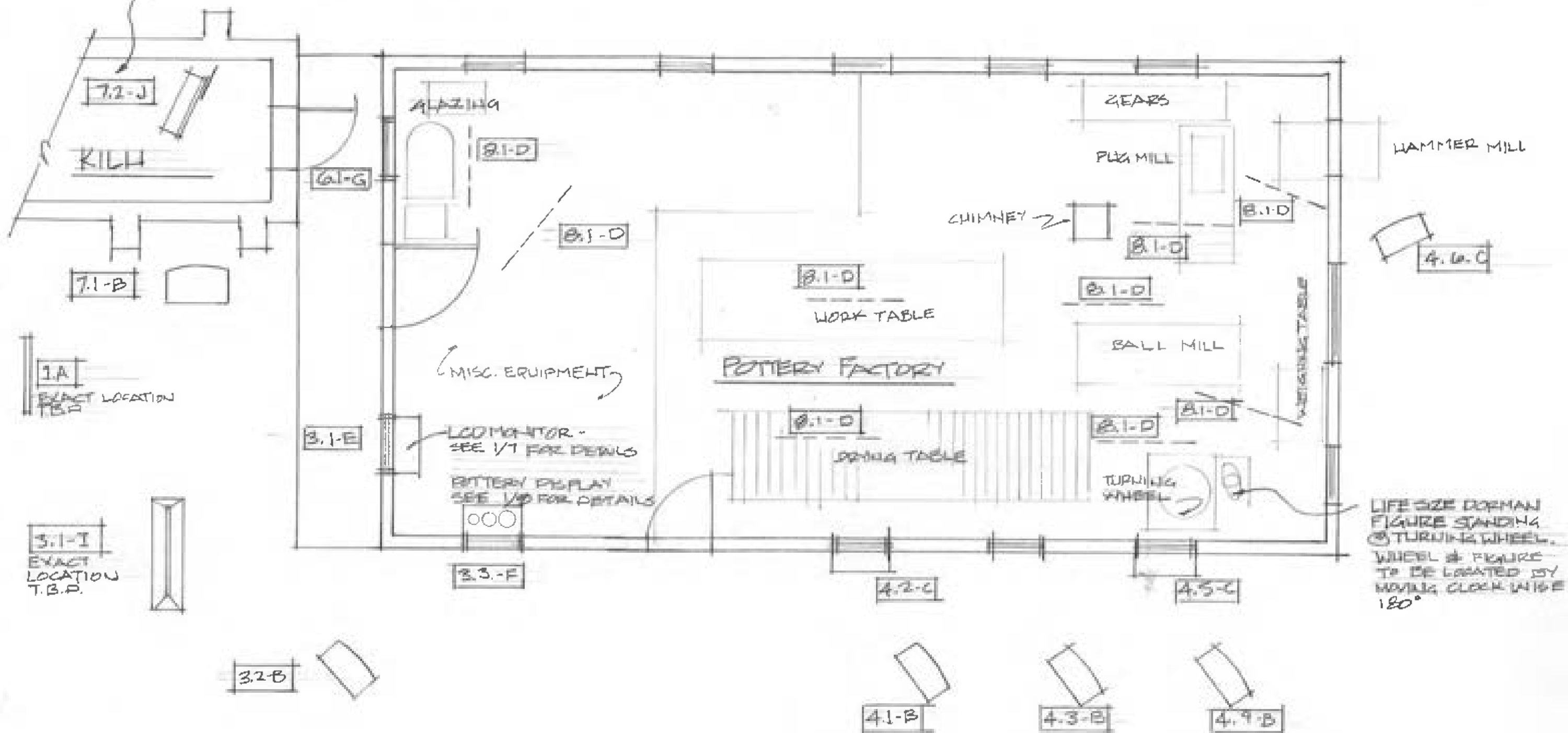
NEW JAMB, SILL & DOOR W/ VINTAGE WOOD - SEE SHEET 7 FOR DETAILS OF WINDOWS

AC IS TO REPAIR ALL FINE BOARDS W/ VINTAGE WOOD AT 4" O.C. WIRE VENTS ARE TO BE INSTALLED. VENTS ARE TO BE 2" X 6" W/ SCREENS

1
2 FLOOR PLAN - FRONT
1/4" = 1'-0"

R. F. OUTEN POTTERY		
430 Jefferson Street, Matthews, NC		
Existing Structure w/ Modifications		
Owner: City of Matthews	SEP 15, 2022	DWG
Designer: Mike Walker	704.975.5054	2 OF 12

SEE DWG SHEET 4 FOR KILN DETAILS



1
3 EXHIBIT & PANEL PLAN W/EQUIPMENT
NTS.

KEY

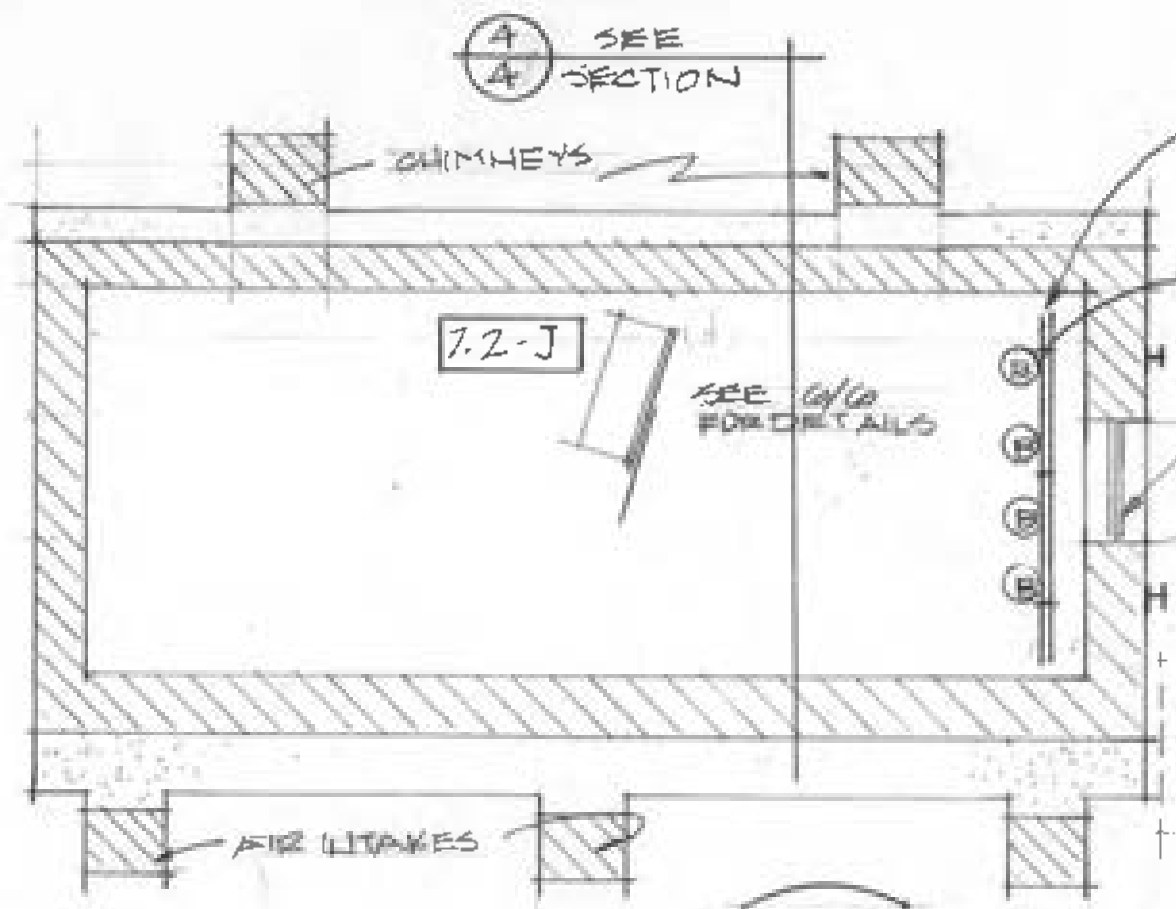
TEXT IDENTIFICATION A.1-B - SEE EXHIBIT/PANEL TYPE - SEE SHEET 4

R. F. OUTEN POTTERY

430 Jefferson Street, Matthews, NC

Exhibit Plan & Equipment Layout

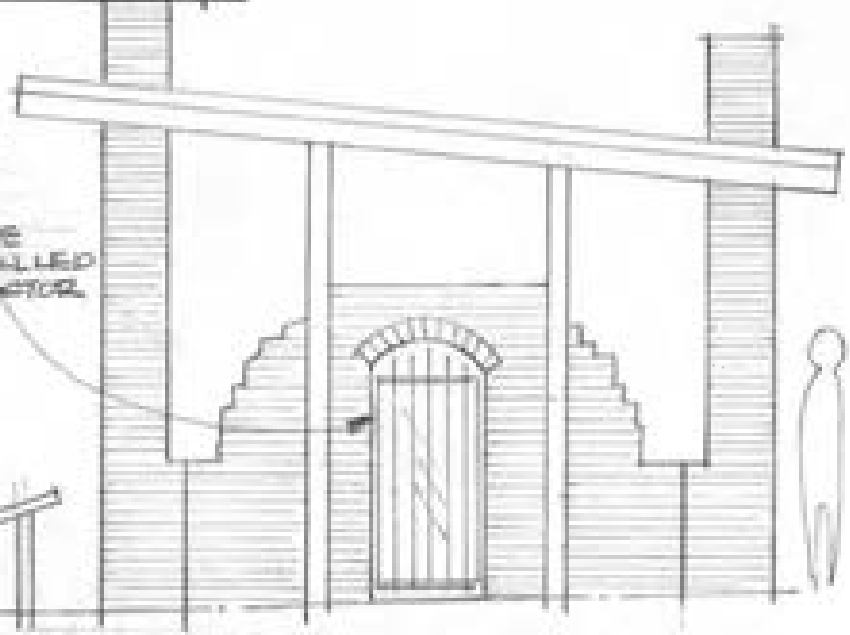
Owner: City of Matthews	SEP. 15, 2022	DWG 3 OF 12
Designer: Mike Walker	704.975.5054	



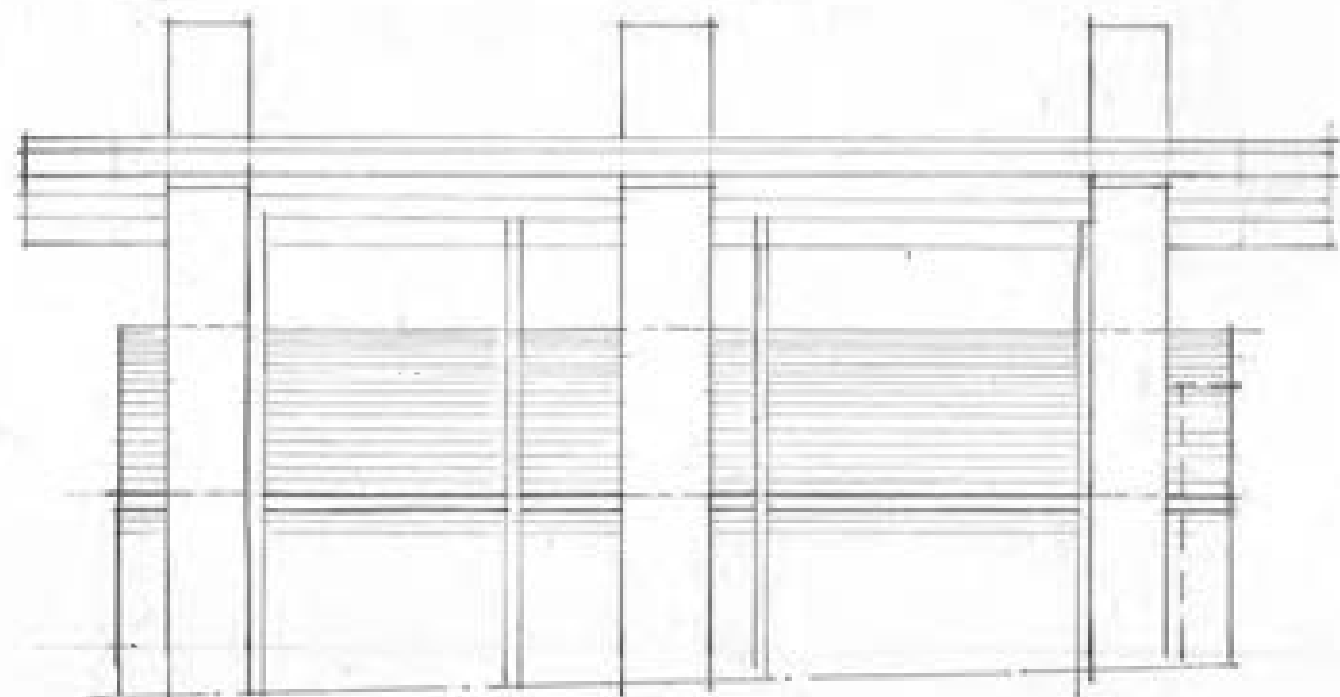
1
4 KILN PLAN
1/4" = 1'-0"

NOTE FOR ELECTRICAL
 (2) 2" BLACK LIGHT TRACKS
 ATTACHED TO CEILING OR WALL -
 EACH W/ (2) FIXTURES - 100W
 LAMPS EACH - CONCEALED
 FROM PUBLIC VIEW

FIXED STEEL GATE
 W/ POLYCARBONATE
 ATTACHED
NOTE:
 DECORATIVE GATE
 BY OTHERS - INSTALLED
 BY EXHIBIT CONTRACTOR

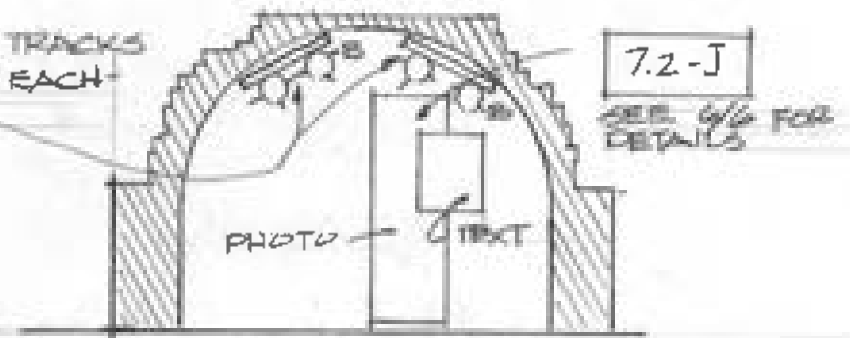


2
4 KILN SOUTH ELEVATION
1/4" = 1'-0"



3
4 KILN - WEST ELEVATION
1/4" = 1'-0"

(2) 2" BLACK LIGHT TRACKS
 W/ (2) LAMP HOLDERS EACH -
 100W EACH



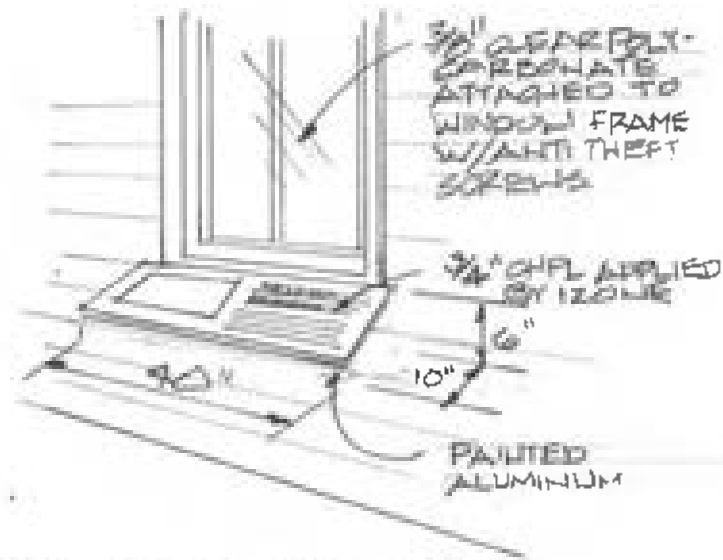
4
4 SECTION THROUGH KILN
1/4" = 1'-0"

R. F. OUTEN POTTERY		
430 Jefferson Street, Matthews, NC		
Kiln Exhibit Plan & Details		
Owner: City of Matthews	SEP. 15, 2022	DWG
Designer: Mike Walker	704.975.5054	4 OF 12

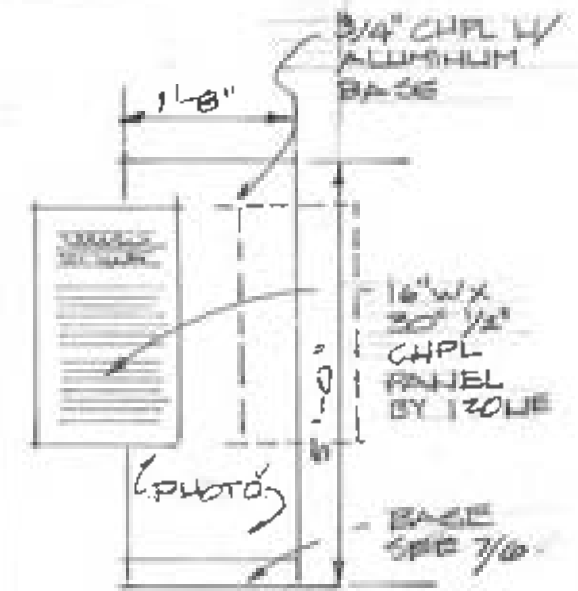
A SEE CITY LOCATION SIGNAGE -



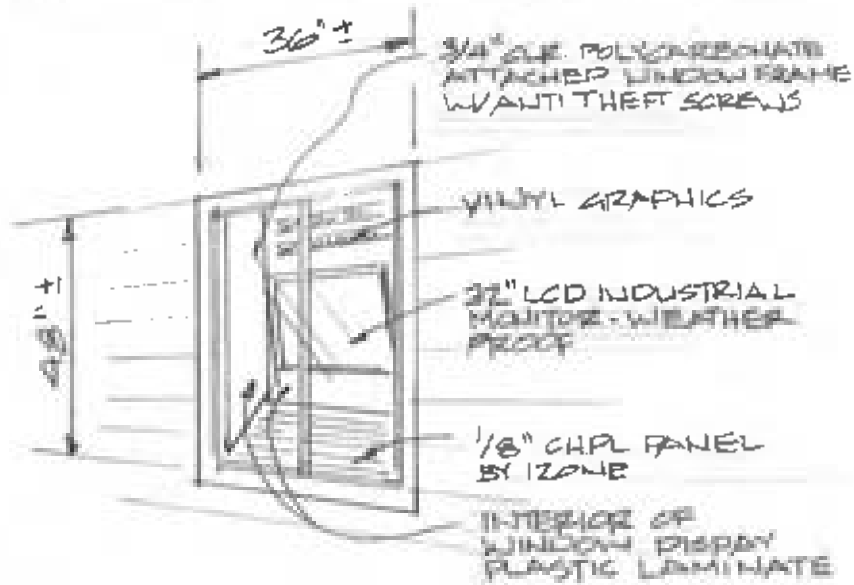
B TYP. INTERPRETIVE PANEL SEE 4/6 & 5/6 FOR DETAILS



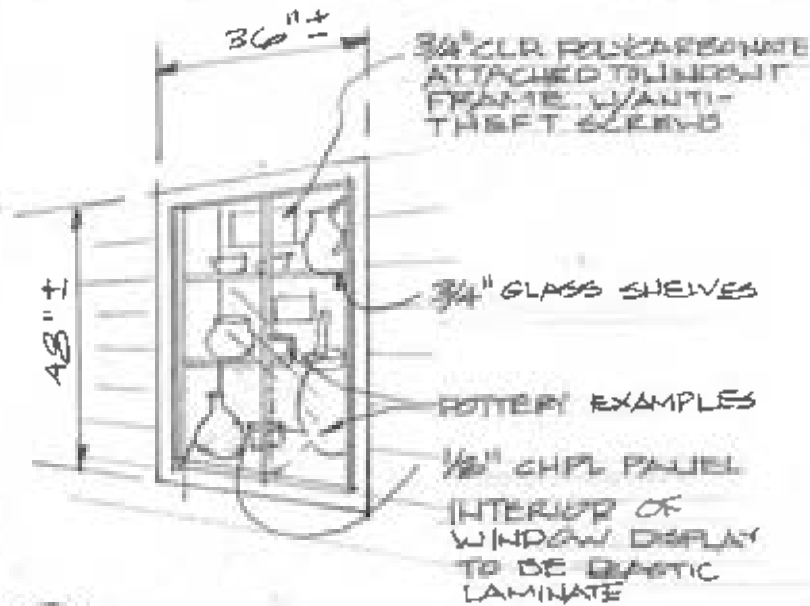
C TYPICAL READER RAIL SEE 3/6 FOR DETAILS



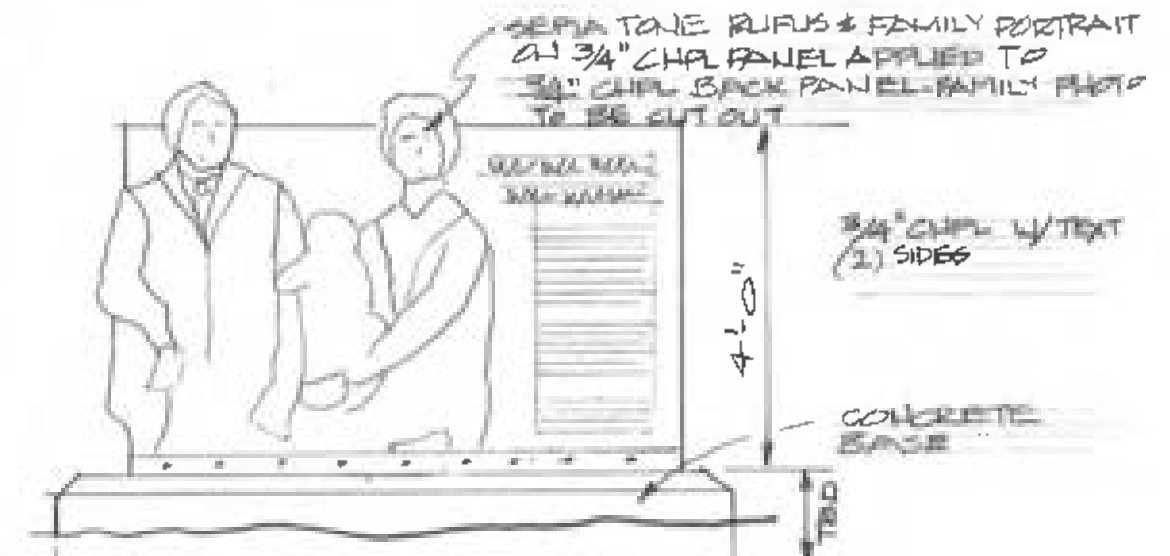
J FREE STANDING PANEL SEE 6/6 FOR DETAILS



E VIDEO WINDOW DISPLAY SEE 1/7 FOR DETAILS



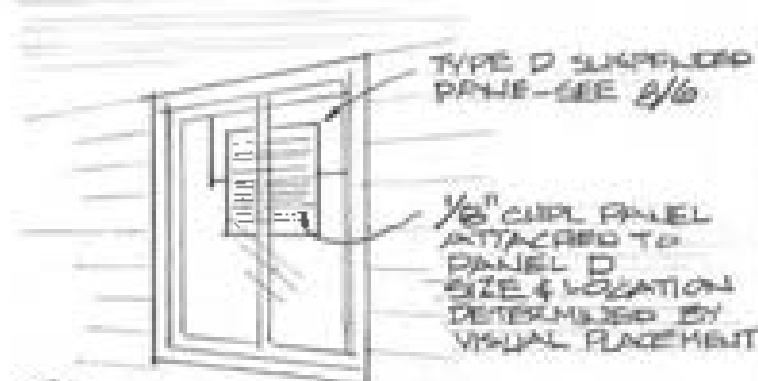
F ARTIFACT WINDOW DISPLAY SEE 1/8 FOR DETAILS



I TITLE PANE @ STREET ENTRANCE SEE 1/6 FOR DETAILS



D SUSPENDED NOMENCLATURE SIGNAGE SEE 8/6 FOR DETAILS



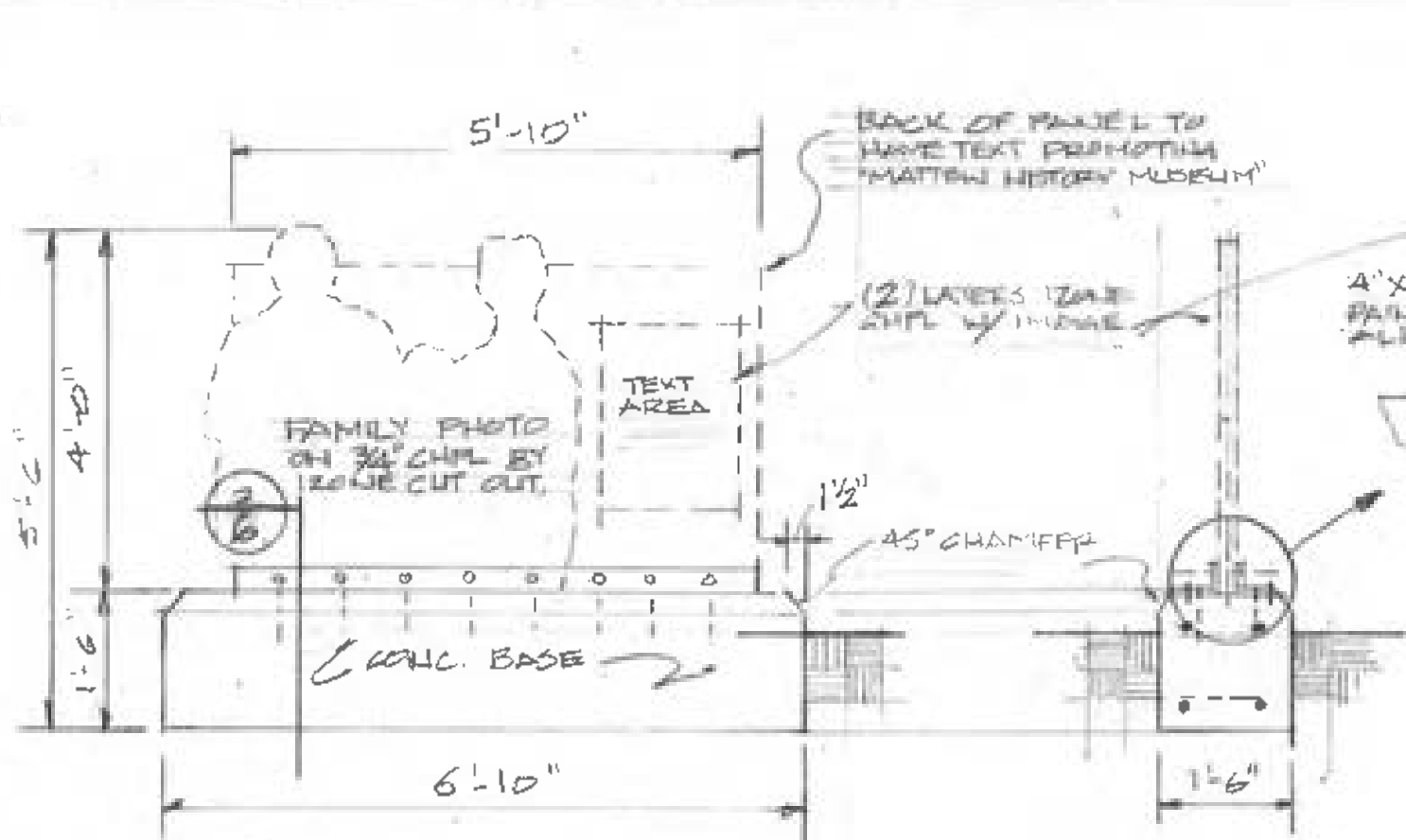
G GLAZING WINDOW SEE 8/6 FOR DETAILS (SIMILAR)

R. F. OUTEN POTTERY

430 Jefferson Street, Matthews, NC

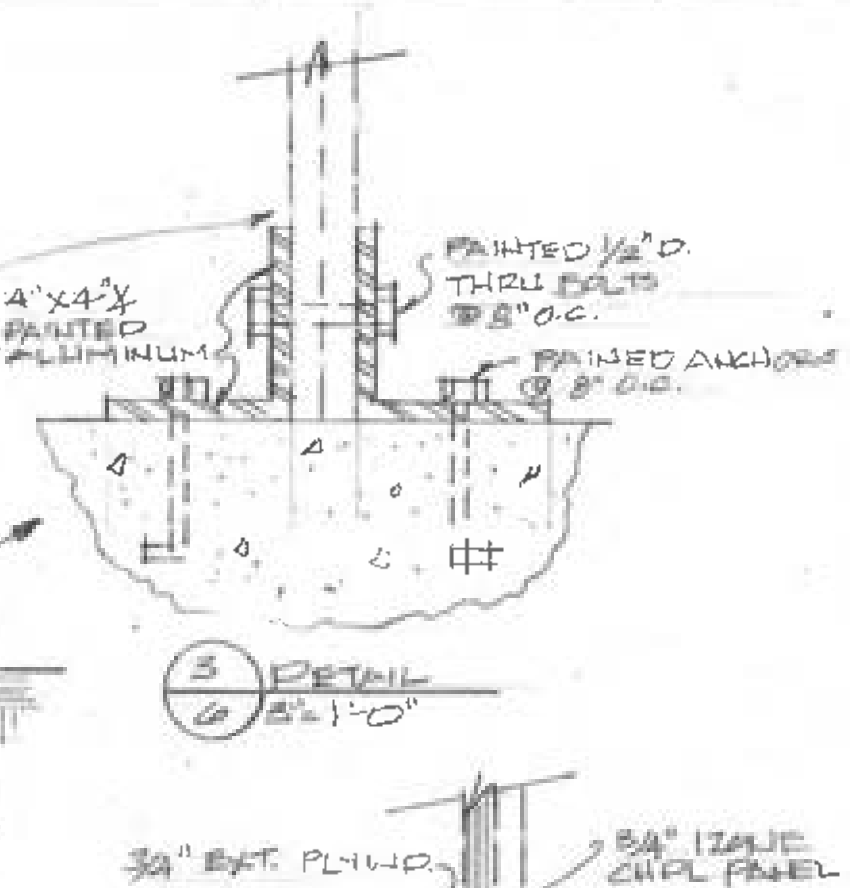
Exhibit Nomenclature & Details

Owner: City of Matthews	SEP. 15, 2022	DWG
Designer: Mike Walker	704.975.5054	5 OF 12

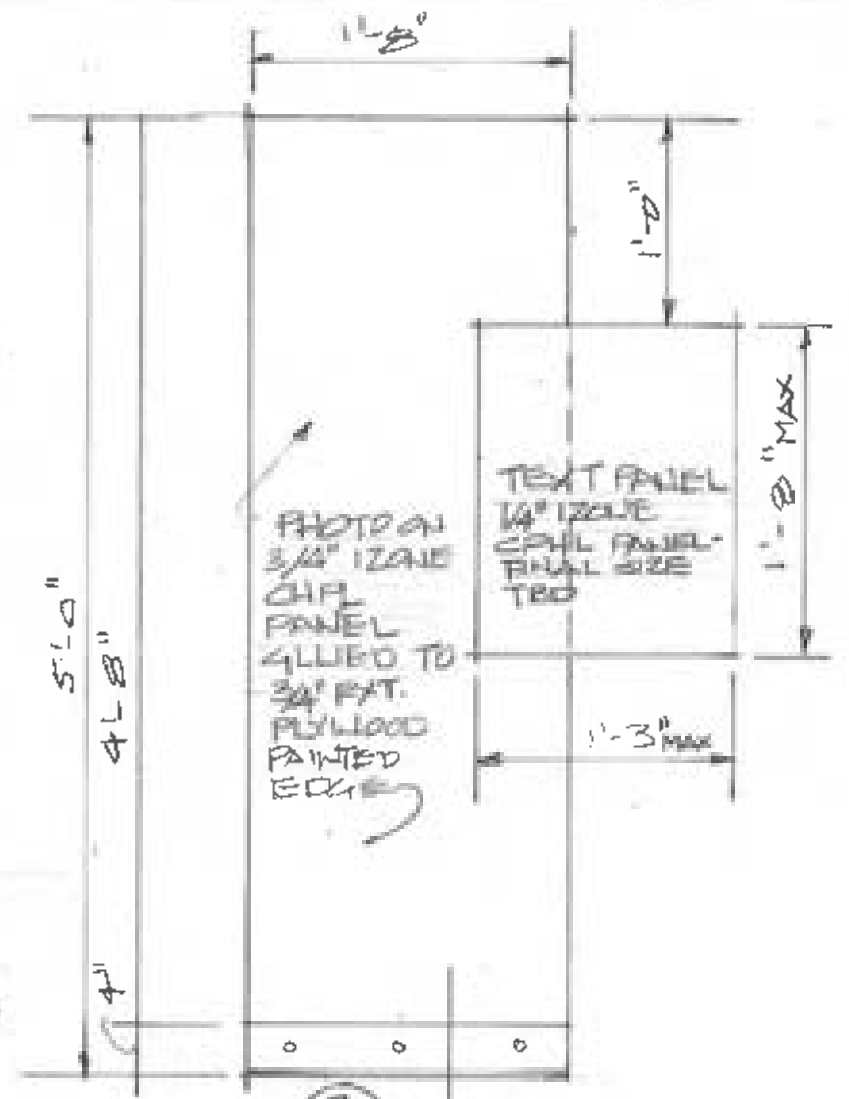


1. ELITE KILN BASE - 1A
 1/2" = 1'-0"

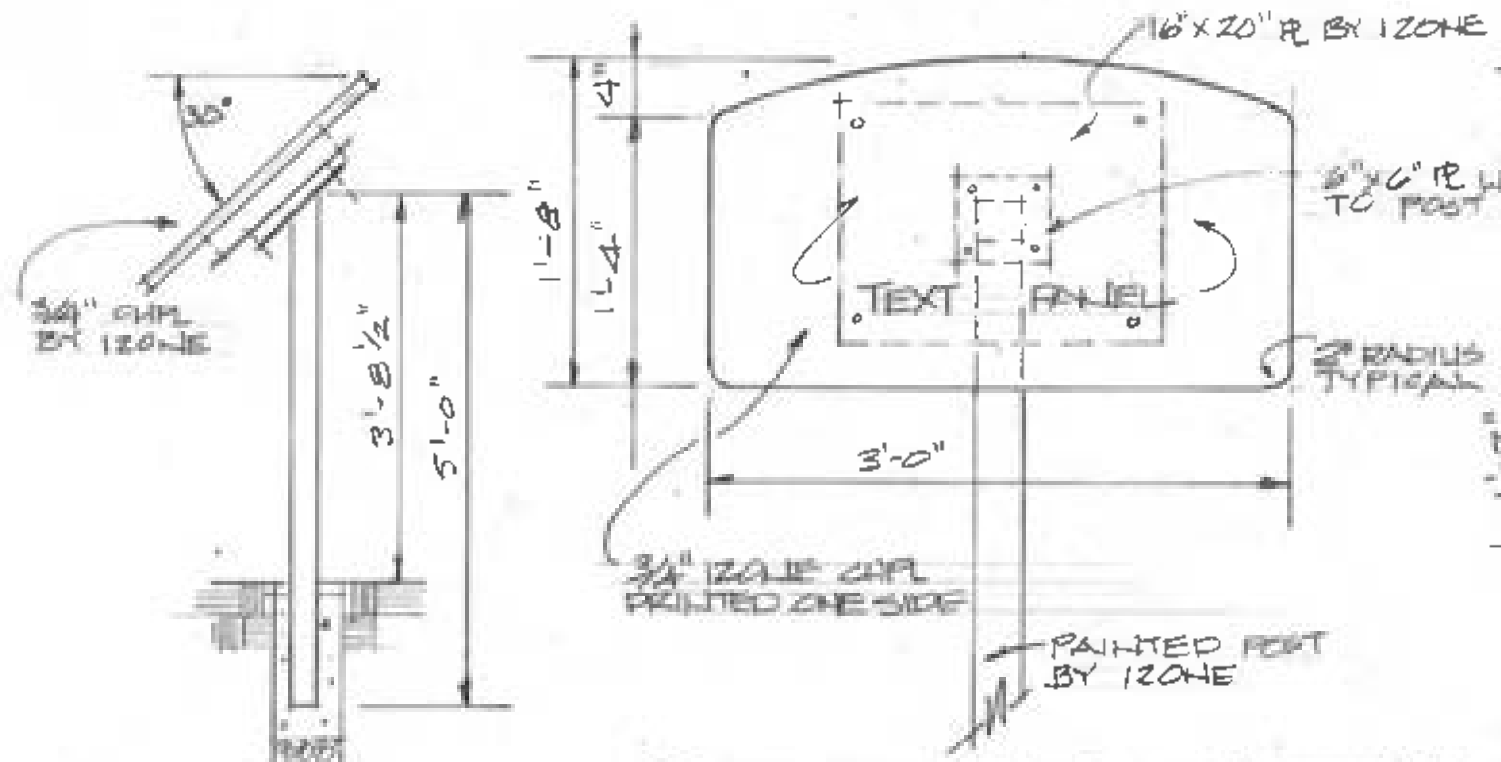
2. BASE SECTION
 1/2" = 1'-0"



3. DETAIL
 1/2" = 1'-0"

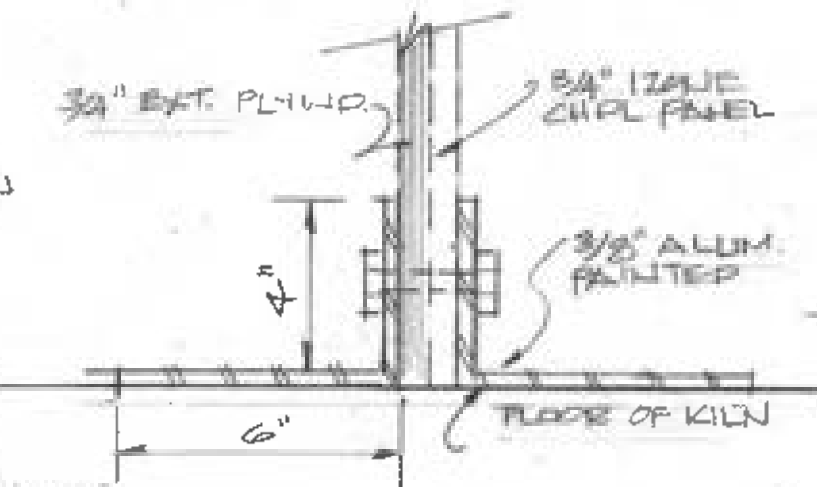


7. KILN PANEL - 7.2-J
 1" = 1'-0"



4. SIDE VIEW OF INTERPRETIVE PANEL
 N.T.S.

5. TYPICAL INTERPRETIVE PANEL - TYPE B
 1" = 1'-0"



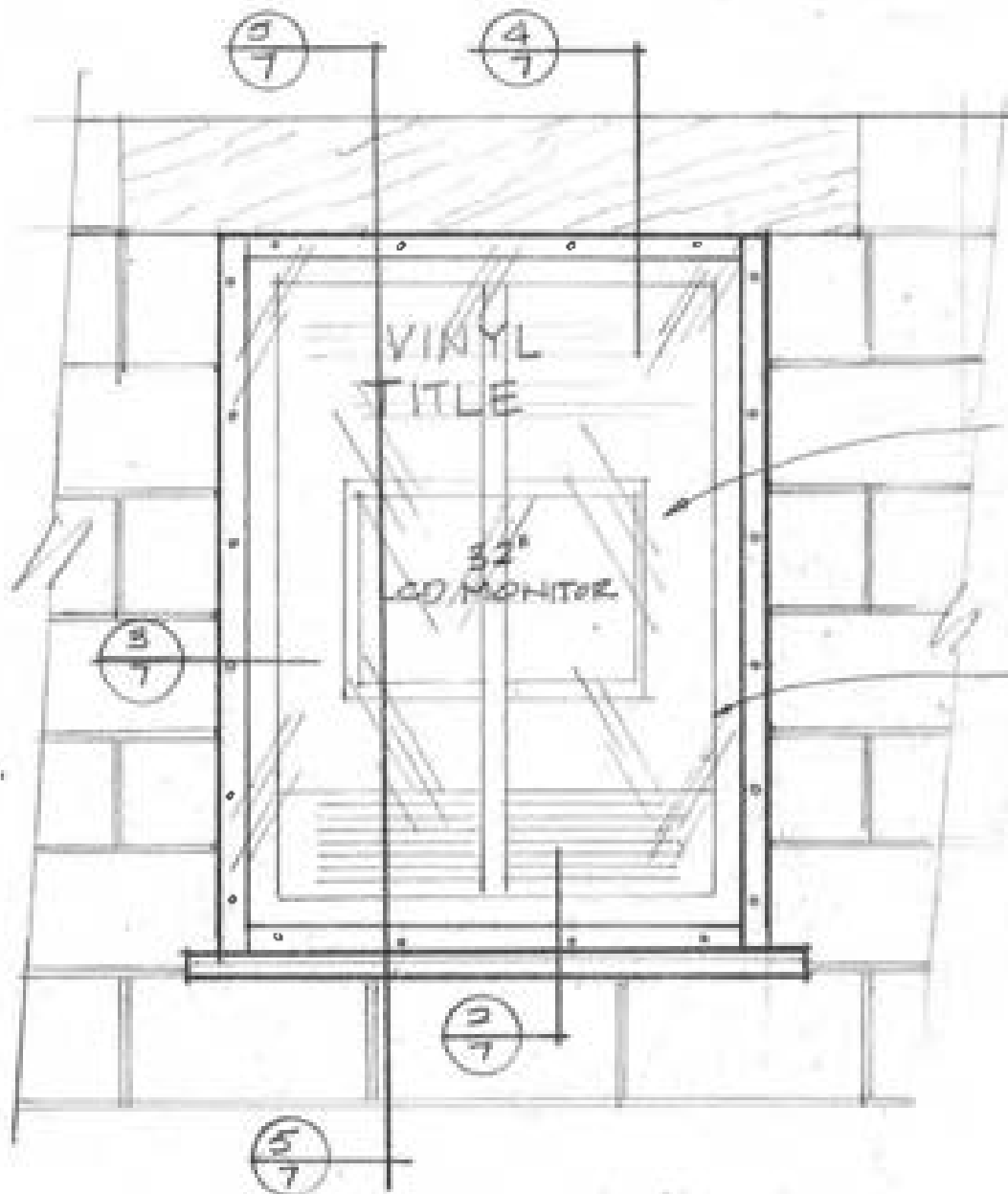
7. SECTION THRU BASE
 3" = 1'-0"



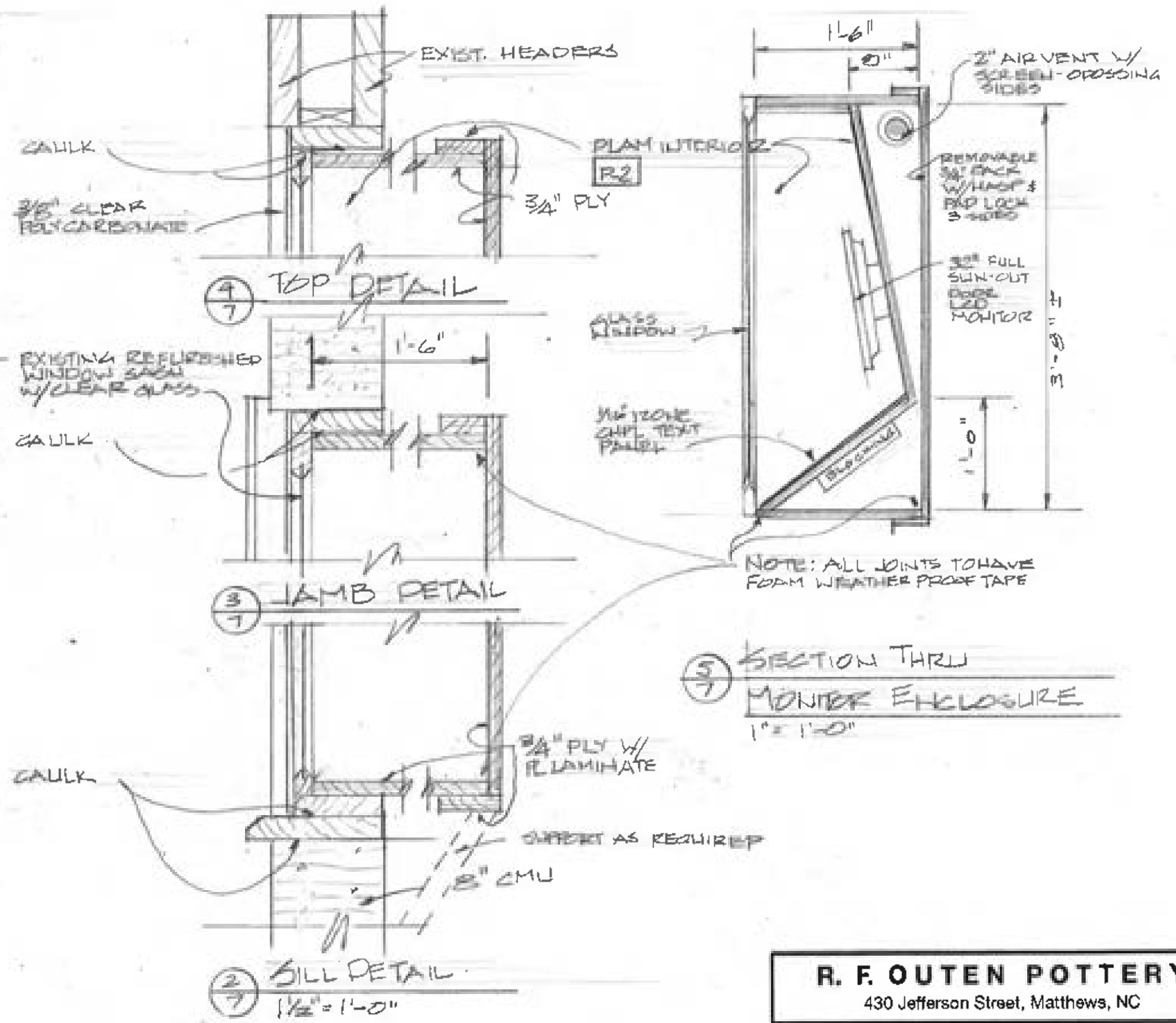
8. SUSPENDED SIGN-TYPED
 3/4" = 1'-0"

1. HAMMER MILL
2. PLIG MILL
3. BALL MILL
4. WEIGHING TABLE
5. TURNING WHEEL
6. DRYING TABLE
7. GLAZING
8. WORK TABLE

R. F. OUTEN POTTERY		
430 Jefferson Street, Matthews, NC		
Exhibit Component Details		
Owner: City of Matthews	SEP. 15, 2022	DWG
Designer: Mike Walker	704.975.5054	6 OF 12



①
7 ELEVATION OF LCD MONITOR ENCLOSURE
1" = 1'-0"



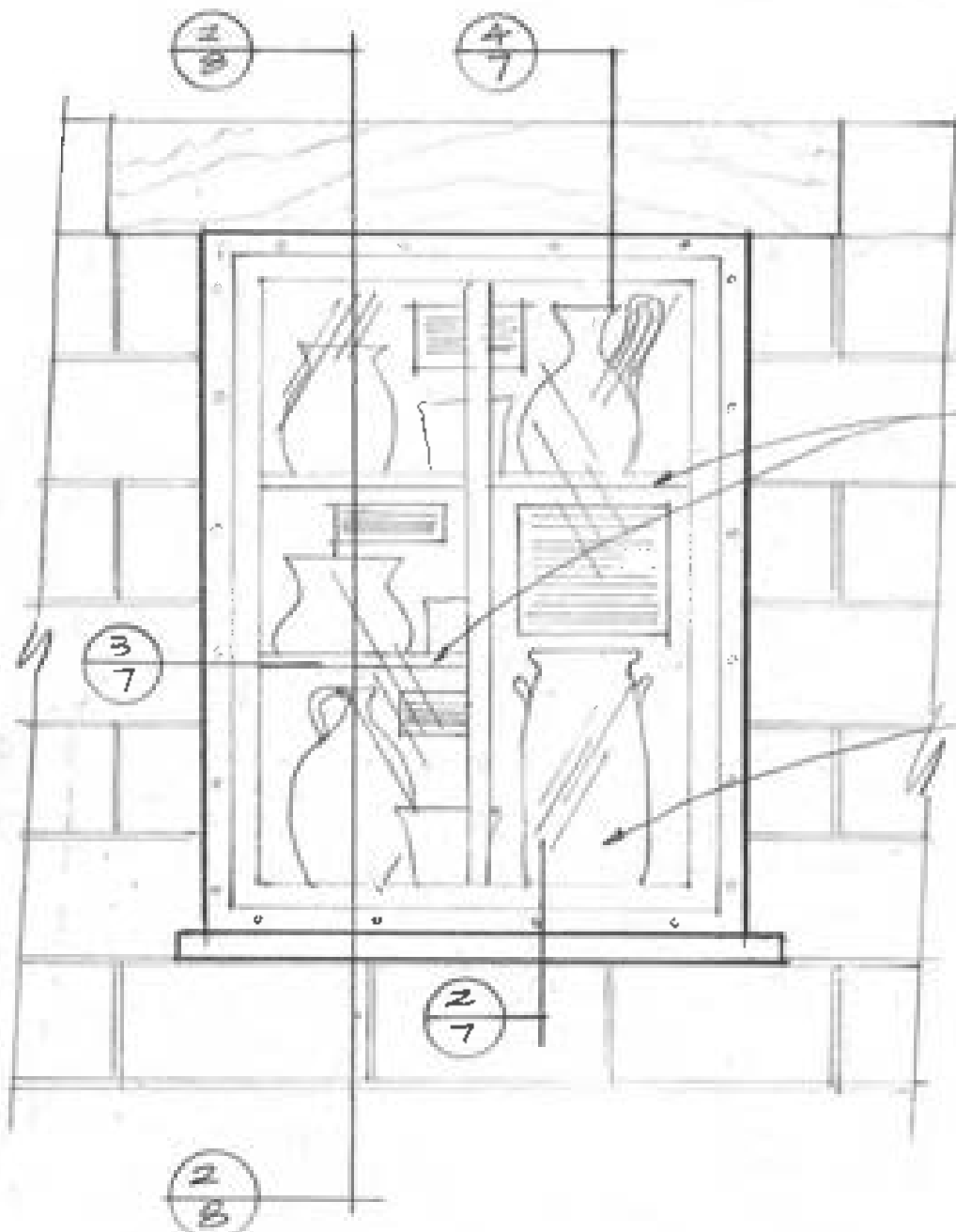
②
7 SILL DETAIL
1/2" = 1'-0"

③
7 JAMB DETAIL

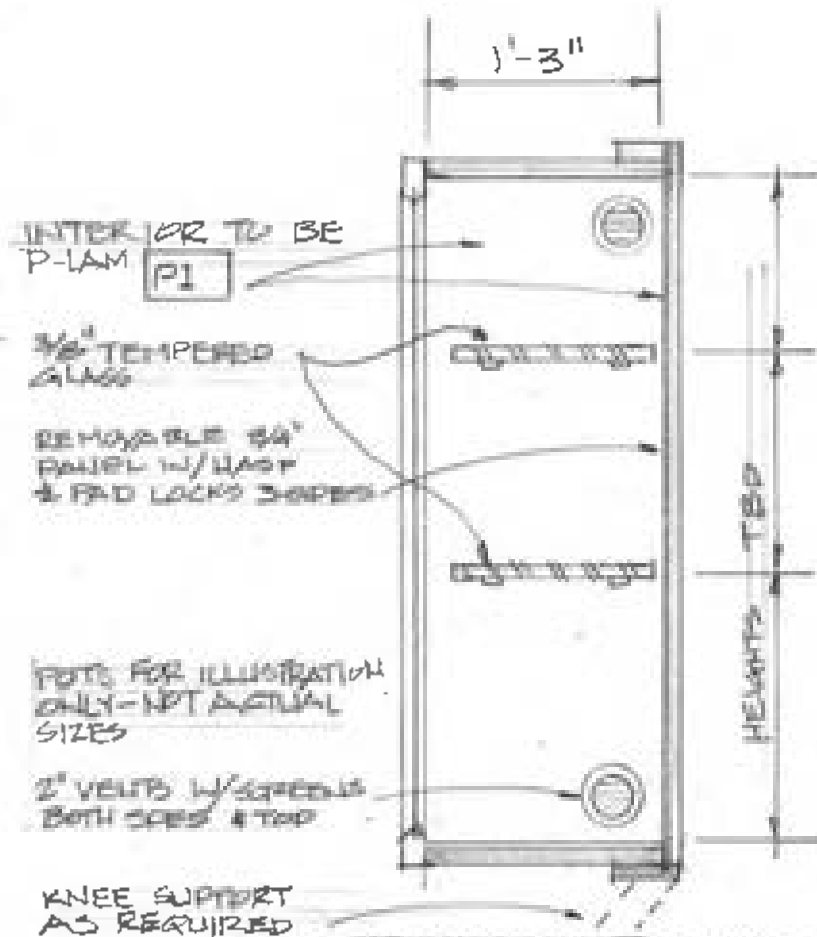
④
7 TOP DETAIL

⑤
7 SECTION THRU MONITOR ENCLOSURE
1" = 1'-0"

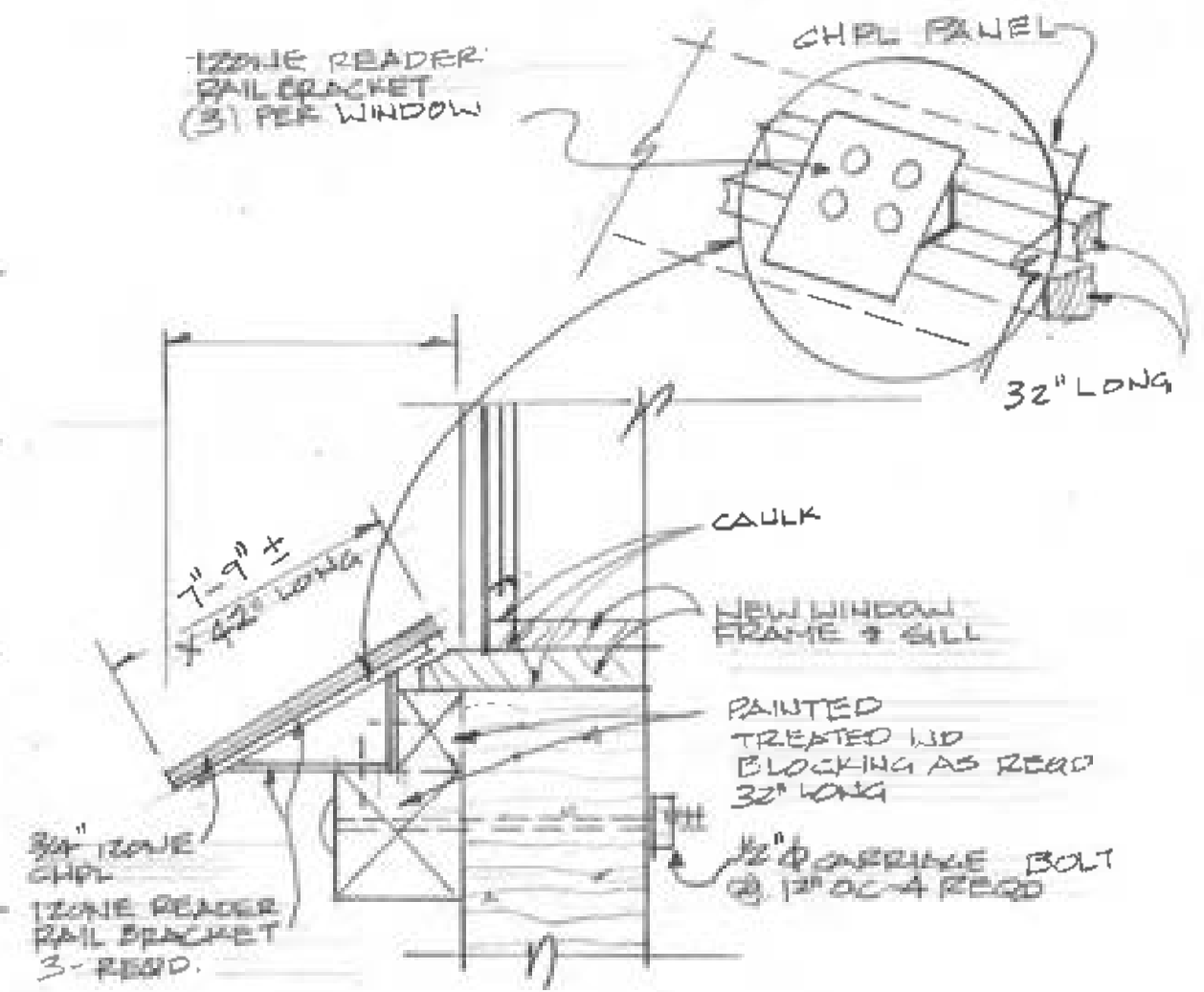
R. F. OUTEN POTTERY		
430 Jefferson Street, Matthews, NC		
3.1E Monitor Window Details		
Owner: City of Matthews	SEP. 15, 2022	DWG
Designer: Mike Walker	704.975.5054	7 OF 12



① ELEVATION OF POTTERY
 DISPLAY WINDOW
 1" = 1'-0"

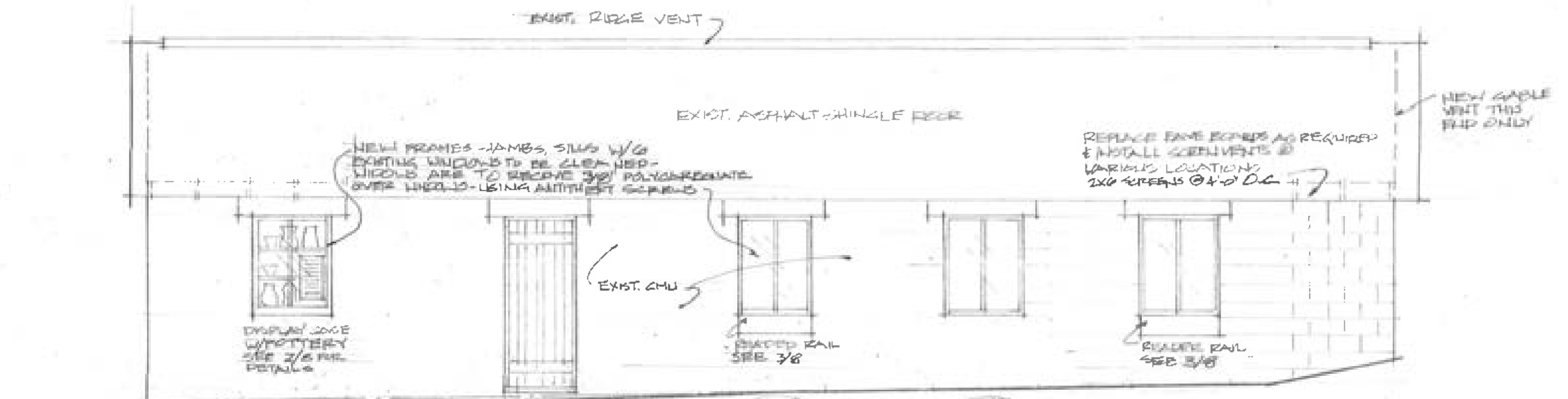


③ POTTERY DISPLAY
 WINDOW SECTION
 1" = 1'-0"



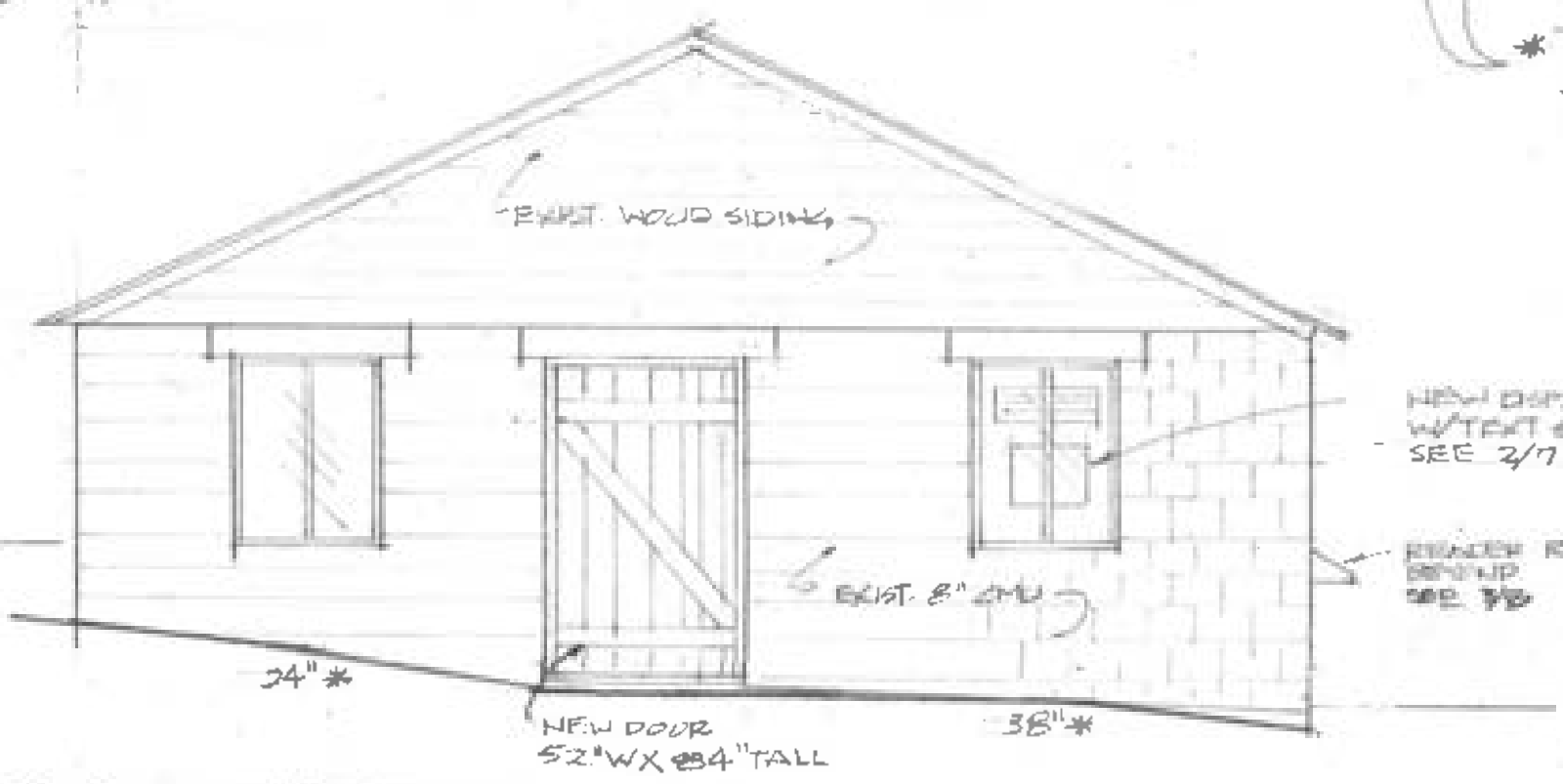
③ READER RAIL
 WINDOW - (2) REQ'D.
 1/2" = 1'-0"

R. F. OUTEN POTTERY		
430 Jefferson Street, Matthews, NC		
3.3F Pottery Display Window Details		
Owner: City of Matthews	SEP. 15, 2022	DWG
Designer: Mike Walker	704.975.5054	8 OF 12



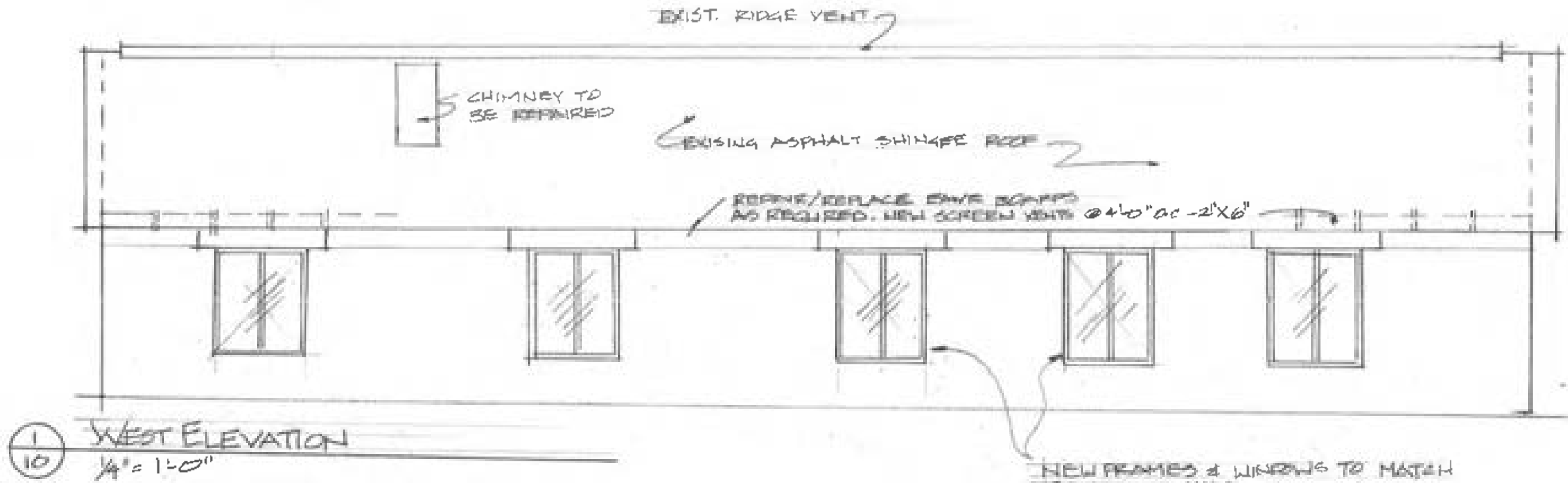
1 EAST ELEVATION
1/4" = 1'-0"

NOTE:
* INDICATES TOP OF CMU ABOVE EXISTING GRADE



2 SOUTH ELEVATION
1/4" = 1'-0"

R. F. OUTEN POTTERY		
430 Jefferson Street, Matthews, NC		
Building Elevations		
Owner: City of Matthews	SEP. 15, 2022	DWG
Designer: Mike Walker	704.975.5054	9 OF 12



WEST ELEVATION

1/4" = 1'-0"

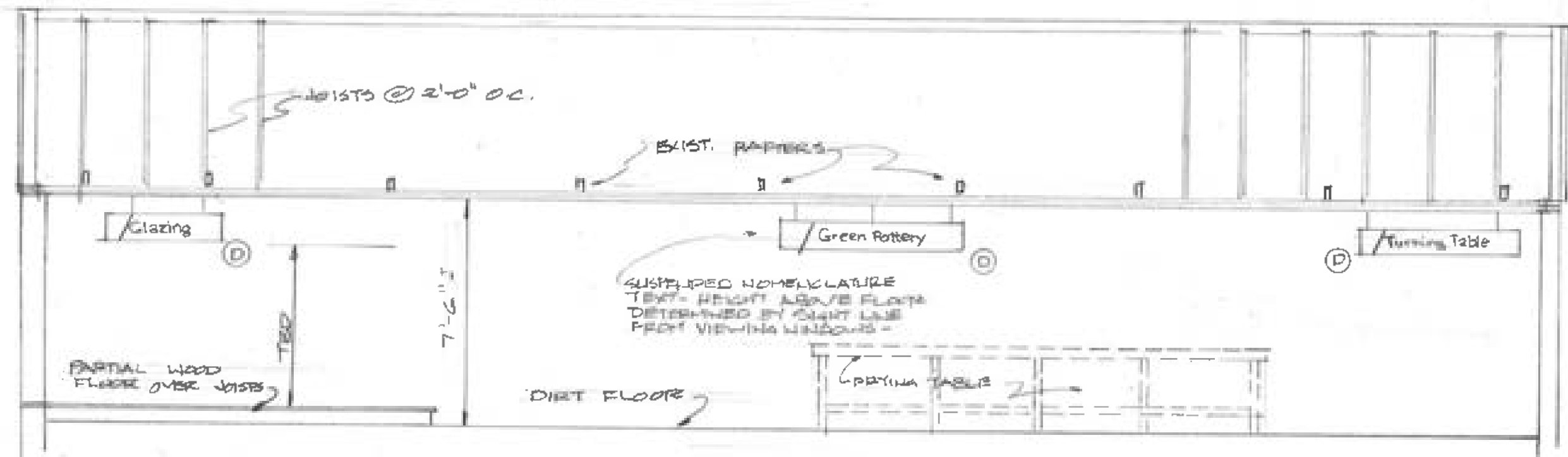
NEW FRAMES & WINDOWS TO MATCH EXISTING - W/ 1/2" POLYCARBONATE OVER NEW GLASS - 5 LOCATIONS - THIS SIDE



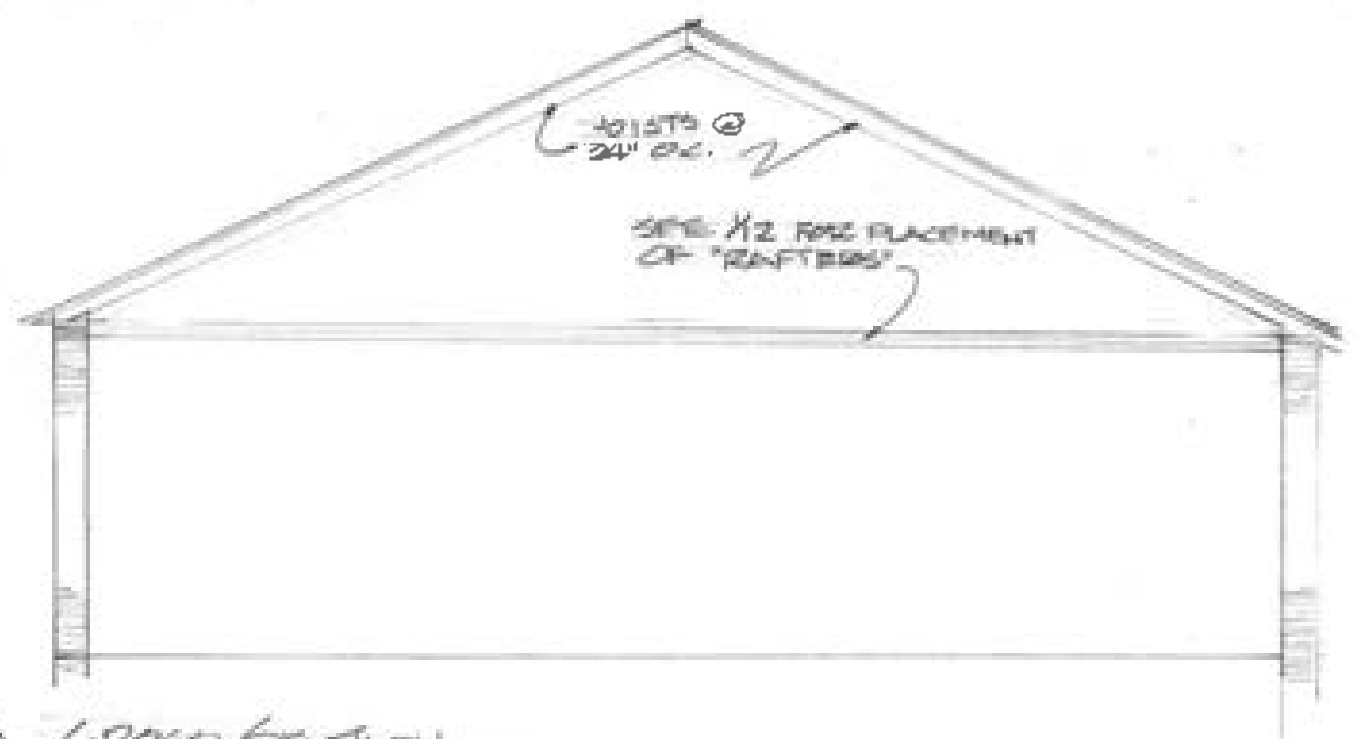
NORTH ELEVATION

1/4" = 1'-0"

R. F. OUTEN POTTERY		
430 Jefferson Street, Matthews, NC		
Building Elevation and Details		
Owner: City of Matthews	SEP. 15, 2022	DWG
Designer: Mike Walker	704.975.5054	10 OF 12

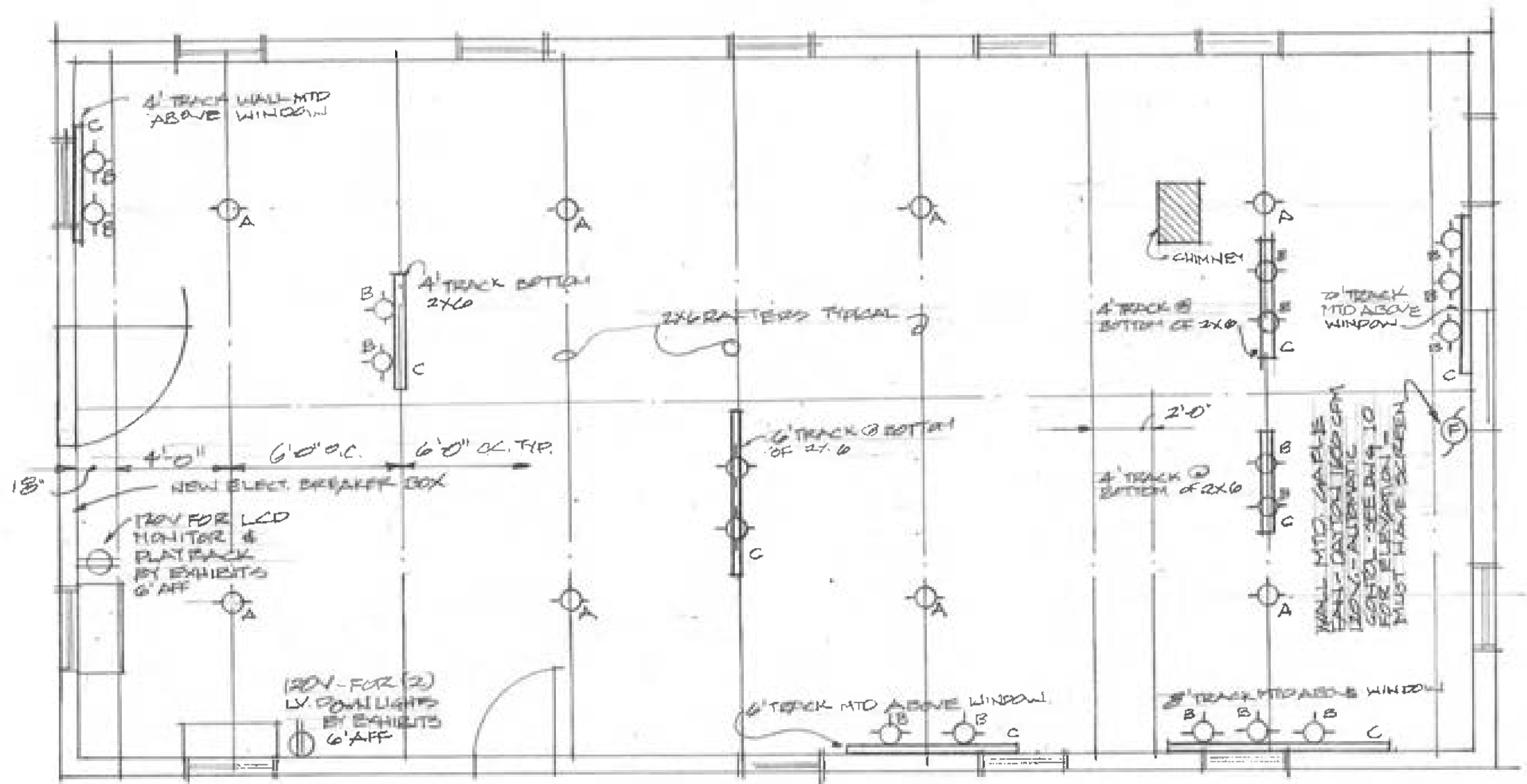
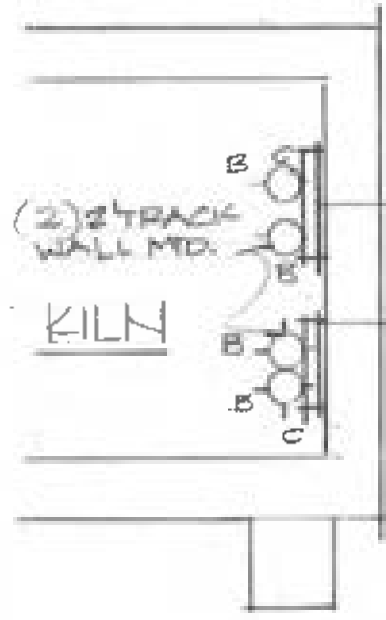


I
II
LONGITUDINAL SECTION
1/4" = 1'-0"



3
II
CROSS SECTION
1/4" = 1'-0"

R. F. OUTEN POTTERY		
430 Jefferson Street, Matthews, NC		
Building Section & Details		
Owner: City of Matthews	SEP. 15, 2022	DWG
Designer: Mike Walker	704.975.5054	11 OF 12



NOTE:

ALL NEW ELECTRICAL TO BE PAINTED FLAT BLACK - WITH THE EXCEPTION OF WHITE PER-BLAIN.

1 ELECTRICAL FIXTURE PLAN
1/4" = 1'-0"

ELECT. CONTRACTOR TO REMOVE ALL UNNEEDED WIRING - LEAVE EMPTY (DEAD) BOXES

ELECTRICAL FIXTURES

- A - WHITE - 75W LAMPHOLDER W/ 55W HALOGEN BULB CLEAR
- B - LIGHTLOU - CTL 9020 LINE VOLTAGE PAR30 - THEATRICAL TRACK FIXTURE W/ BARN DOORS - BLACK
- C - BLACK 1-CIRCUIT LINE VOLTAGE TRACK BY GONTECH/LIGHTLOU

R. F. OUTEN POTTERY		
430 Jefferson Street, Matthews, NC		
Lighting Fixture Layout		
Owner: City of Matthews	SEP. 15, 2022	DWG
Designer: Mike Walker	704.975.5054	12 OF 12