

Staff Report and Comments
WPA Hangar
4108 Minuteman Way, Charlotte
Application for COA HLC238

Exhibits presented to and considered by the Commission:

Exhibit A – Project description from application

Renovate existing Historic Airport Hangar (W.P.A Douglas Airport Hangar). Work includes abatement of hazardous materials where required and selective demolition of rusted / failing metal siding, trim and glazing. All four elevations are to be repaired / restored as required (including replacing damaged siding with new to match existing where required). Existing metal roof to be repaired and resealed (with waterproof coating). Existing features such as ESSO sign and lights to be maintained. Two new pairs of doors are to be added (one on each side) with structure in wall for future canopy (canopy not part of the scope of this project). The intent is to maintain as much of the original character of this historic structure as possible.

Exhibit B – Map

Exhibit C – Project plan

Exhibit D – Images of current conditions

Based upon the information presented in the application, staff offers the following suggested findings of fact:

1. The project meets STANDARD 2 in that the proposed work would not remove historic character defining materials that have retained integrity.
2. The project meets STANDARD 6 in that severely deteriorated wall siding panels will be replaced with material that matches the historic siding.
3. The project meets STANDARD 9 in that the proposed new openings do not significantly affect the historic character of the hangar. The proposed new door, window, and ventilation opening are realatily small in term of the large hangar building.
4. The project meets STANDARD 10 in that the proposed new openings could easily be recovered with matching siding, restoring the historic configuration of the hangar.

Staff suggests that the Commission approve the application.

THE STANDARDS

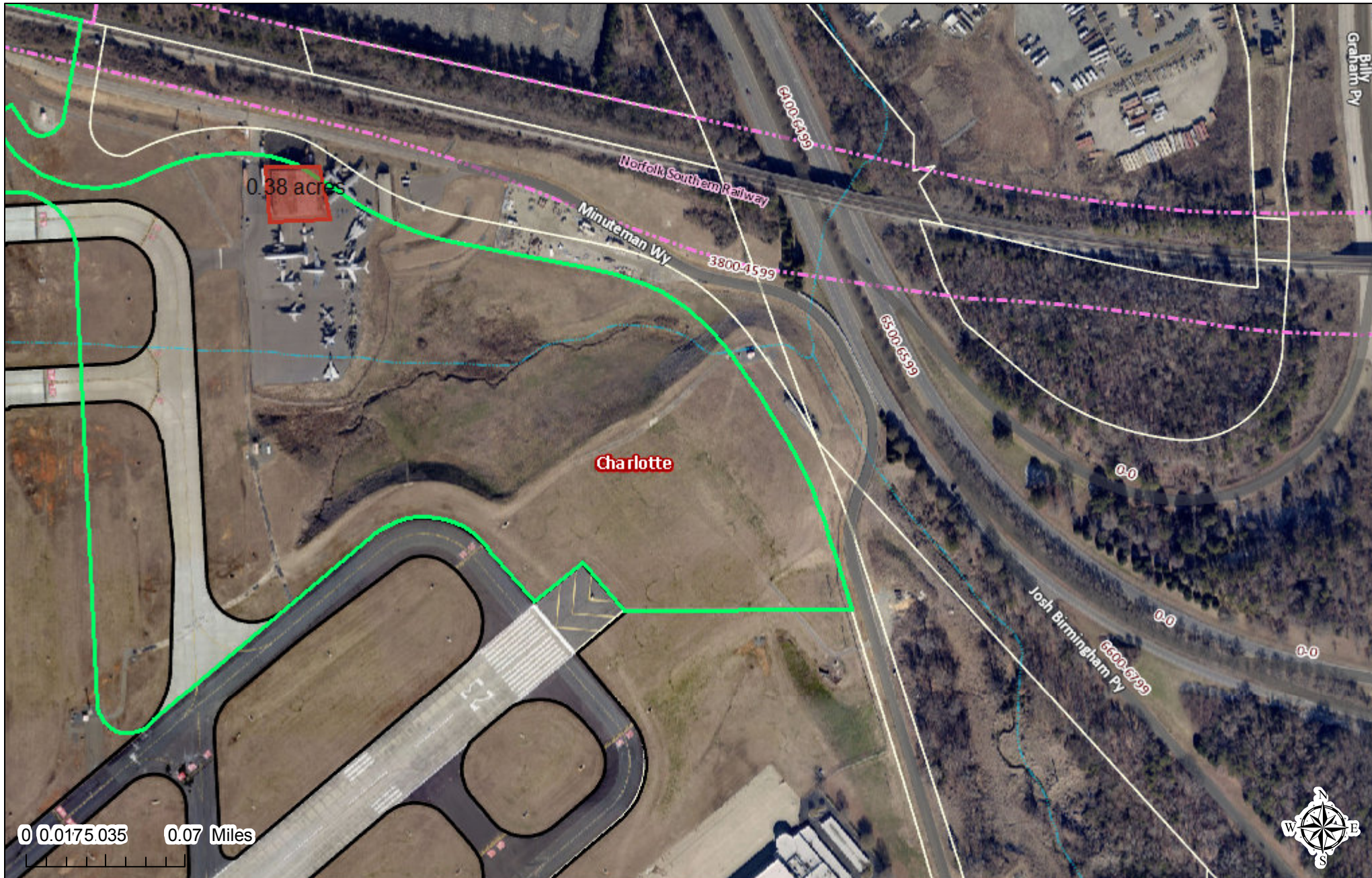
Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. Alterations, new additions, and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Polaris 3G Map – Mecklenburg County, North Carolina

WPA Hangar - Exhibit B

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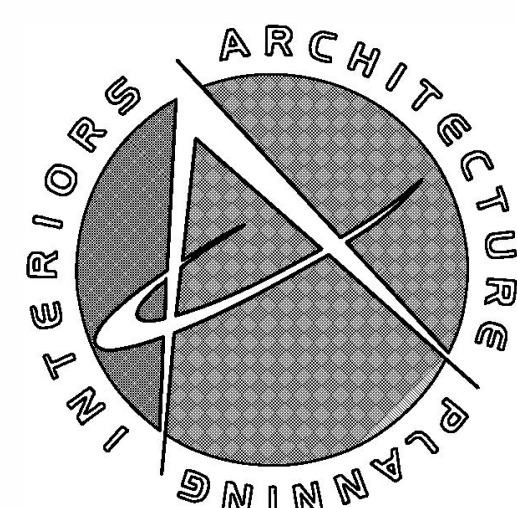


This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and data. Users of this map or report are hereby notified that the aforementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no legal responsibility for the information contained herein.



CHARLOTTE AIRPORT - HISTORIC HANGAR SHELL RESTORATION

(WPA DOUGLAS AIRPORT HANGAR)
4108 MINUTEMAN WAY
28208 CHARLOTTE, NORTH CAROLINA



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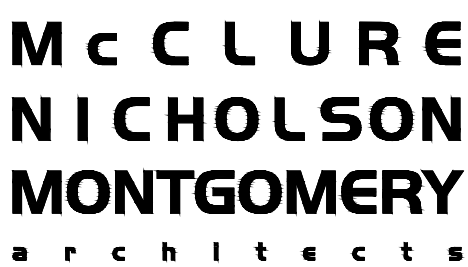
2108 South Blvd - Suite 110 - Charlotte - NC
Tel. 704.332.6763 - www.mnmarchitects.com

CONSTRUCTION DOCUMENTS - 08/25/22

NOT FOR CONSTRUCTION

ARCHITECTURAL	
A-0.0	COVER / DRAWING INDEX
A-0.1	APPENDIX B: SITE PLAN; VICINITY MAP
A-1.0	LIFE SAFETY PLAN
A-1.1	FLOOR PLAN
A-2.0	EXTERIOR ELEVATIONS
A-2.1	EXTERIOR ELEVATIONS
A-3.0	LONGITUDINAL SECTION
A-3.1	TRANSVERSE SECTIONS
A-4.0	REFLECTED CEILING PLAN
A-5.0	DETAILS
A-5.1	DETAILS
A-5.2	DOOR DETAILS
AD-1.0	DEMO FLOOR PLAN
AD-2.0	DEMO EXTERIOR ELEVATIONS
AD-2.1	DEMO EXTERIOR ELEVATIONS
AD-3.0	DEMO BUILDING SECTIONS

STRUCTURAL	
S-1.01	FOUNDATION & ROOF FRAMING PLANS - HANGAR
S-2.01	STRUCTURAL EXTERIOR ELEVATIONS - HANGAR
S-3.01	EXISTING FRAME SECTIONS AND FOUNDATION DETAILS - HANGAR



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CHARLOTTE AIRPORT
HISTORIC HANGAR
(MPA DOUGLAS AIRPORT HANGAR)
4108 MINUTEMAN WAY
CHARLOTTE, NC 28208

APPENDIX B

GENERAL NOTES:

- TENANT SPACE: 10,336 S.F., 6.5.F.
- TENANT SPACE LOCATED ON THE 1st FLOOR - SINGLE STORY BUILDING.
- SHELL BUILDING.
- OCCUPANT LOAD FOR EGRESS:
HANGAR: 10,169.29 S.F. / 500 S.F./O. = 20.34 OCCUPANTS
- CONSTRUCTION TYPE OF EXISTING BUILDING: II-B (PER SHELL BLDG. APPX. B)
- EXIT ACCESS TRAVEL DISTANCE 300 FT MAX. AS PER NC BUILDING CODE 2018 CH. 10 TABLE 1017.2
- DOOR X EXIT TRAVEL ACCESS DISTANCE 98'-2 1/8" < 300'-0"
- DOOR Y EXIT ACCESS TRAVEL DISTANCE 100'-5 1/2" < 300'-0"
- FIRE PROTECTION:
 - SPRINKLERED - NO
 - FIRE ALARM - NO
 - SMOKE DETECTION - NO

PLUMBING FIXTURE CALCULATIONS				
UP-FIT AREA: <u>10,282</u> SQUARE FEET				
NUMBER OF OCCUPANTS (BASED ON EGRESS LOAD): <u>20.34</u>				
GENDER DISTRIBUTION: 50M / 50F = <u>11</u> M / <u>11</u> F				
SEPARATE M / F TOILETS REQUIRED? YES ☐ NO ☒				
FIXTURE	MALE		FEMALE	
	REQUIRED/PROVIDED		REQUIRED/PROVIDED	
WATER CLOSETS	1/100	<u>1 / 1</u>	1/100	<u>1 / 1</u>
URINALS		<u>0 / 0</u>		<u>0 / 0</u>
LAVATORIES	1/100	<u>1 / 1</u>		<u>1 / 1</u>
WATER FOUNTAINS	1/1000	<u>0 / 0</u>		
SERVICE SINKS		<u>1 / 0</u>		
- NOTE-1:				

WALL LEGEND	
	NEW 3/4" DEEP, 16-GA. GALV. CORRUG. MTL. PANELING (SEE SPEC)
	XXX

NOTES:

ACCESSIBLE ENTRY/EXIT 72" DR. CLEAR EXIT WIDTH: 48" X 0.27/O. = 340 OCCUPANTS CAPACITY (NON-SPRINKLERED). > 21 OCCUP. THIS EXIT. CAPABLE OF HANDLING ENTIRE OCCUPANT LOAD FOR EGRESS.

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04/11/22	90% CONST. DOCS.
04/20/22	90% CONST. DOCS.
08/25/22	- UPDATED
	HLC SUBMISSION
	- UPDATED

REVISION

CHARLOTTE HLC SUBMISSION
UPDATING
DRAWINGS
08-23-2022

NOT FOR CONSTRUCTION

DATE: 08.25.2022

SHEET TITLE:
LIFE SAFETY PLAN

A-1.0

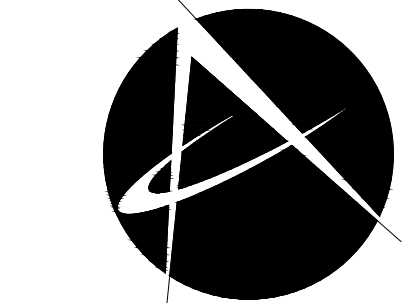
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NICHOLSON
MONTGOMERY
architects

2108 South Boulevard, Suite 110
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LIFE SAFETY PLAN
SCALE: 1/4"=1'-0"



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CHARLOTTE HLC
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08-23-2022

NOT FOR CONSTRUCTION

DATE: 08.25.2022

SHEET TITLE:
FLOOR PLAN

A-1.1

FLOOR PLAN
SCALE: 1/4"=1'-0"

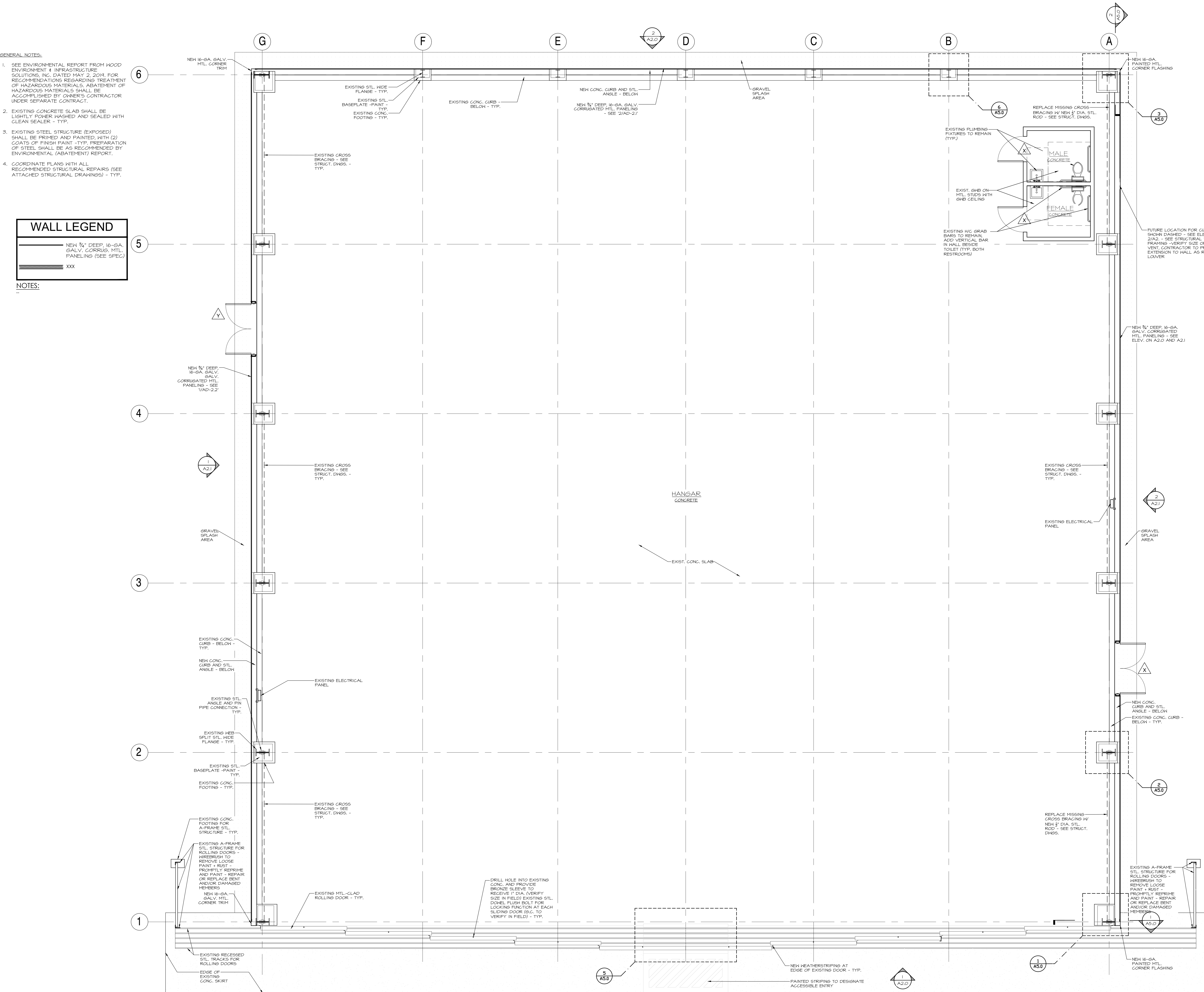
GENERAL NOTES:

- SEE ENVIRONMENTAL REPORT FROM HOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC. DATED MAY 2, 2019, FOR RECOMMENDATIONS REGARDING TREATMENT OF HAZARDOUS MATERIALS. ABATEMENT OF HAZARDOUS MATERIALS SHALL BE ACCOMPLISHED BY OWNER'S CONTRACTOR UNDER SEPARATE CONTRACT.
- EXISTING CONCRETE SLAB SHALL BE LIGHTLY POWER WASHED AND SEALED WITH CLEAN SEALER - TYP.
- EXISTING STEEL STRUCTURE (EXPOSED) SHALL BE PRIMED AND PAINTED, WITH (2) COATS OF FINISH PAINT - TYP. PREPARATION OF STEEL SHALL BE AS RECOMMENDED BY ENVIRONMENTAL (ABATEMENT) REPORT.
- COORDINATE PLANS WITH ALL RECOMMENDED STRUCTURAL REPAIRS (SEE ATTACHED STRUCTURAL DRAWINGS) - TYP.

WALL LEGEND

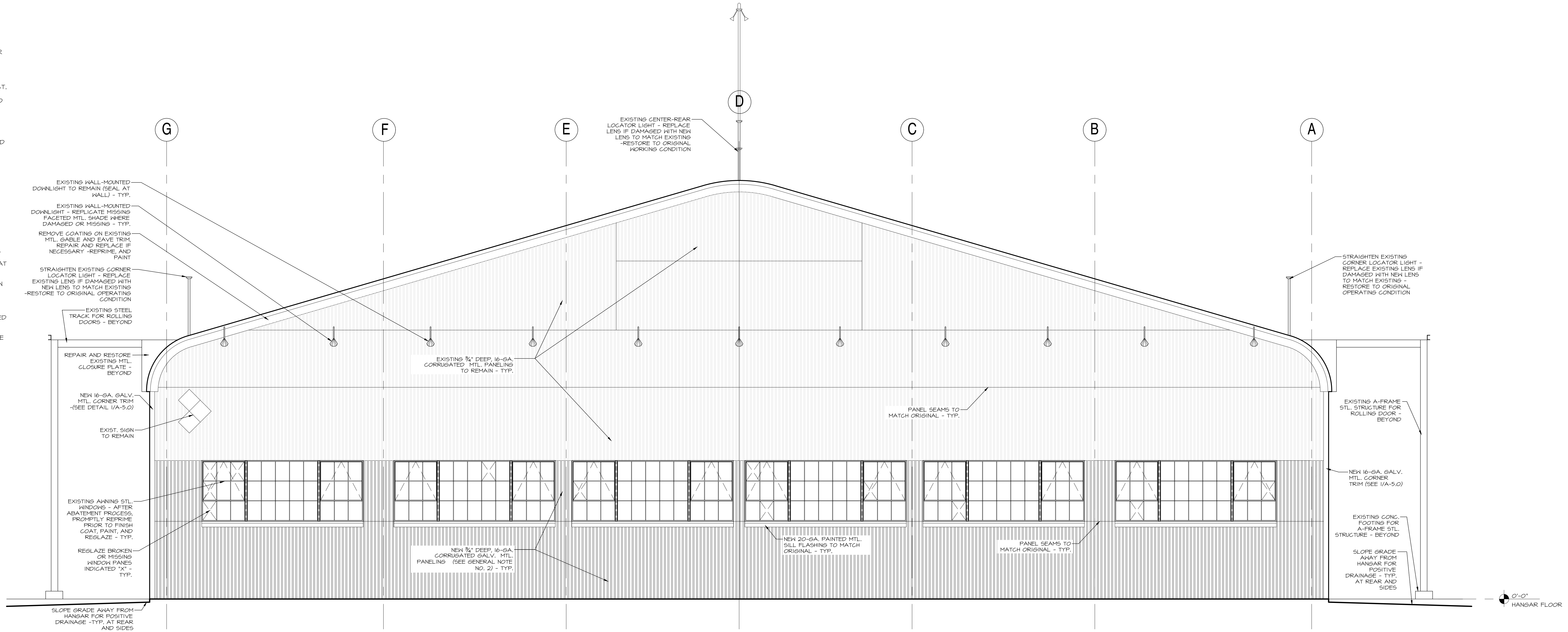
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XXX

NOTES:

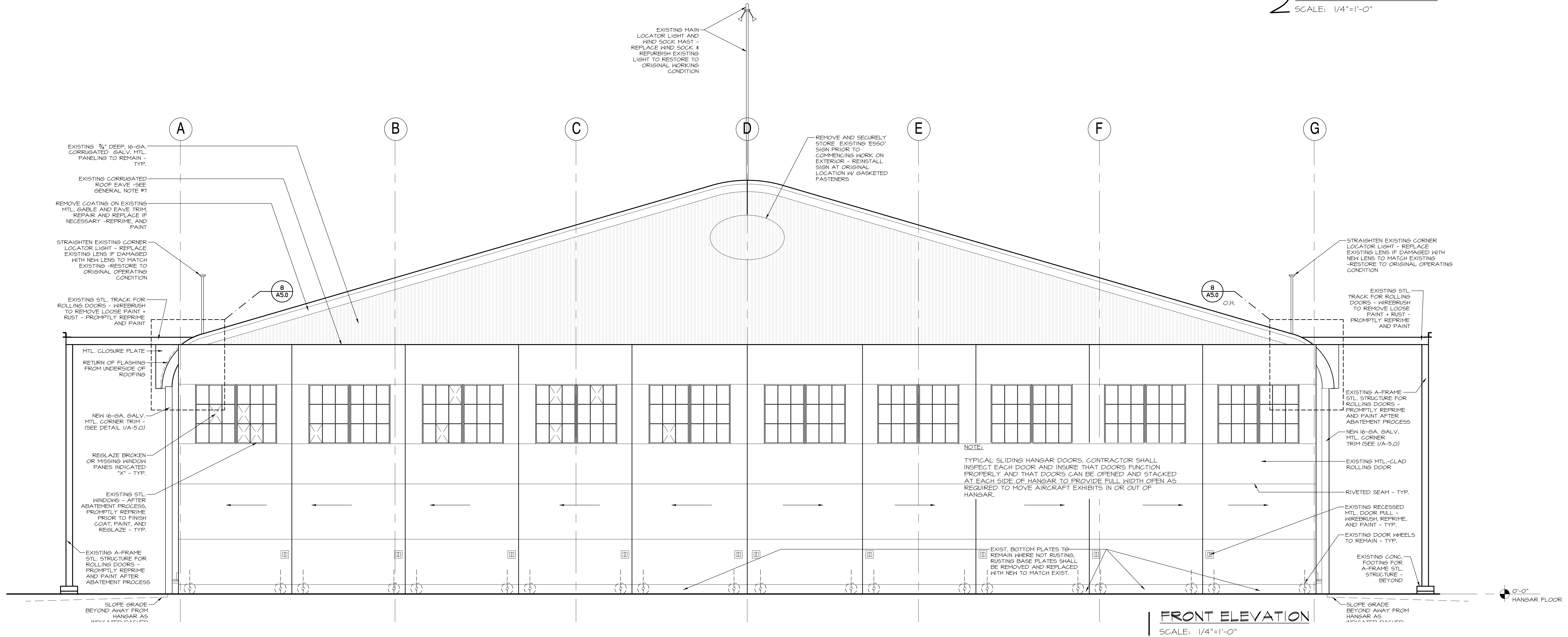


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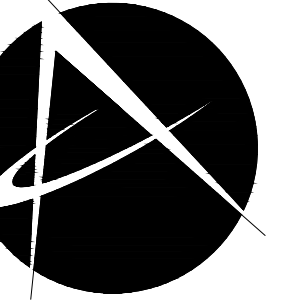
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2. INSTALL NEW PRE-FINISHED CORRUGATED MTL. PANELING IN PLACE OF ORIGINAL MTL. PANELING. PANELING SHALL BE GALVANIZED - TYP.
3. ALL EXPOSED STRUCTURAL STL. FRAMING AT EXTERIOR TO BE PROMPTLY RE-PRIMED AND PAINTED (SEE NOTE 1 ABOVE)
4. EXISTING MTL. DOORS TO BE PRIMED AND PAINTED. SLIDING MTL. DOORS TO BE PRIMED AND PAINTED IF RUSTING - TYP. - DOORS NOT RUSTING ARE TO BE MAINTAINED AS EXISTING - TYP.
5. AT EXISTING ROOF MTL. PANELING TO REMAIN, TIGHTEN AND/OR REPLACE ALL RIVETS AND FASTENERS, AS REQUIRED, PRIOR TO REPRIMING AND PAINTING.
6. ROOFING CONTRACTOR TO FIELD SURVEY EXISTING ROOF CONDITION AND ADVISE ARCHITECT PRIOR TO COMMENCING WORK.
7. TERMINATION OF WATERPROOFING PAINT AT EXPOSED EDGES OF MTL. PANELING TO MATCH MANUFACTURER'S RECOMMENDED METHOD. REPLACE RUBBER SEAL WITH NEW NEOPRENE SEALS TO MATCH PROFILE OF ROOF PANEL CORRUGATIONS - TYP.
8. ALL EXISTING GLASS TO BE CLEANED, REINSTALLED AND REGLAZED AS REQUIRED TO CREATE WATER-TIGHT INSTALLATION.
9. G.C. SHALL RE-USE EXISTING GLASS WHERE NOT BROKEN OR DAMAGED. G.C. SHALL FIELD SURVEY EXISTING GLASS AND PROVIDE NEW TO MATCH EXISTING WHERE REQUIRED.
10. COORDINATE WITH ALL RECOMMENDED STRUCTURAL REPAIRS - TYP. - SEE ATTACHED REPORT AND DRAWINGS.
11. G.C. TO TREAT ALL EXPOSED STEEL W/ RUST INHIBITOR TO CONTROL RUST AND PREPARE FOR PAINT - TYP.



2 REAR ELEVATION
SCALE: 1/4"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0"



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02/12/19	A5-BUILTS
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08/25/22	UPDATED
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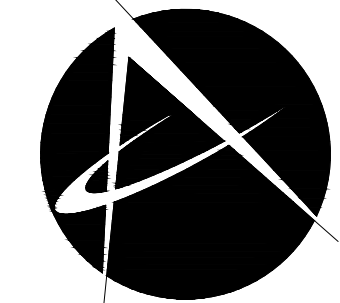
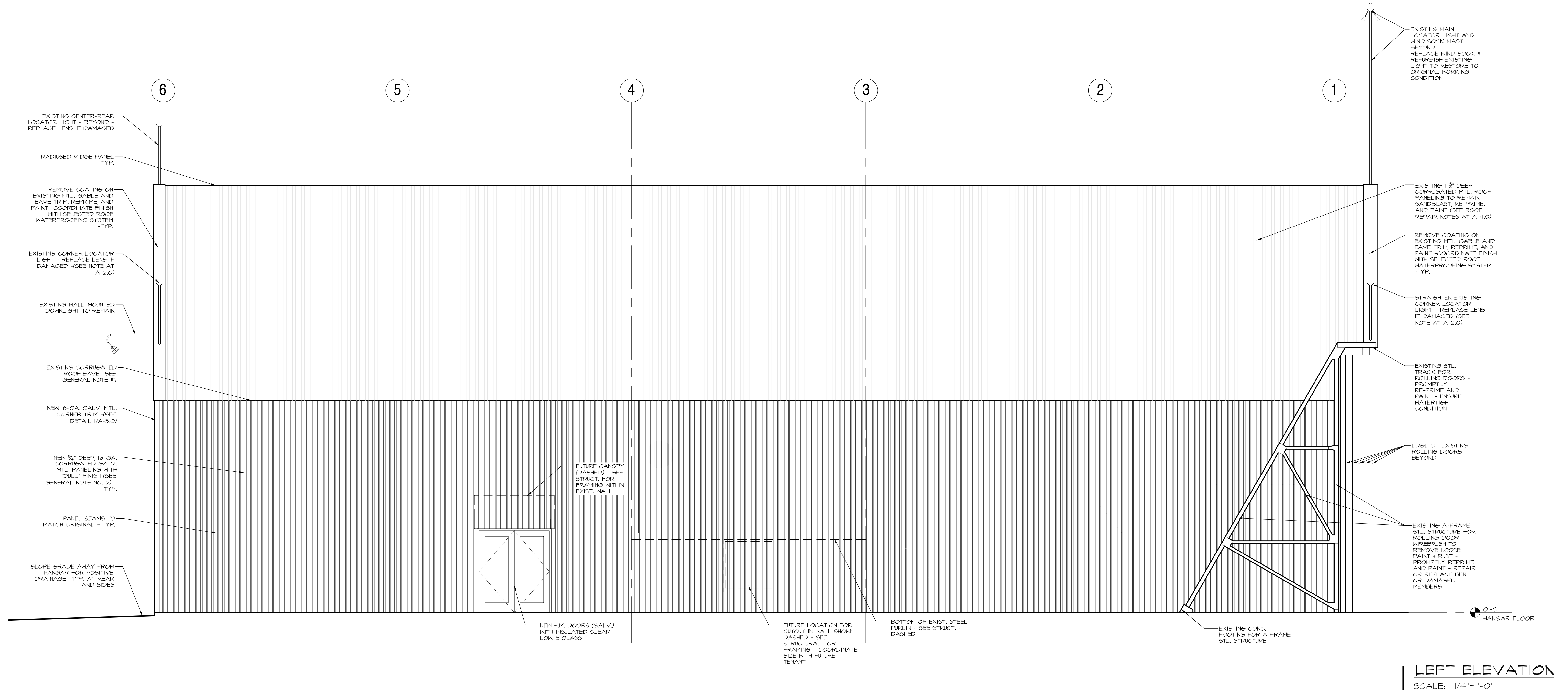
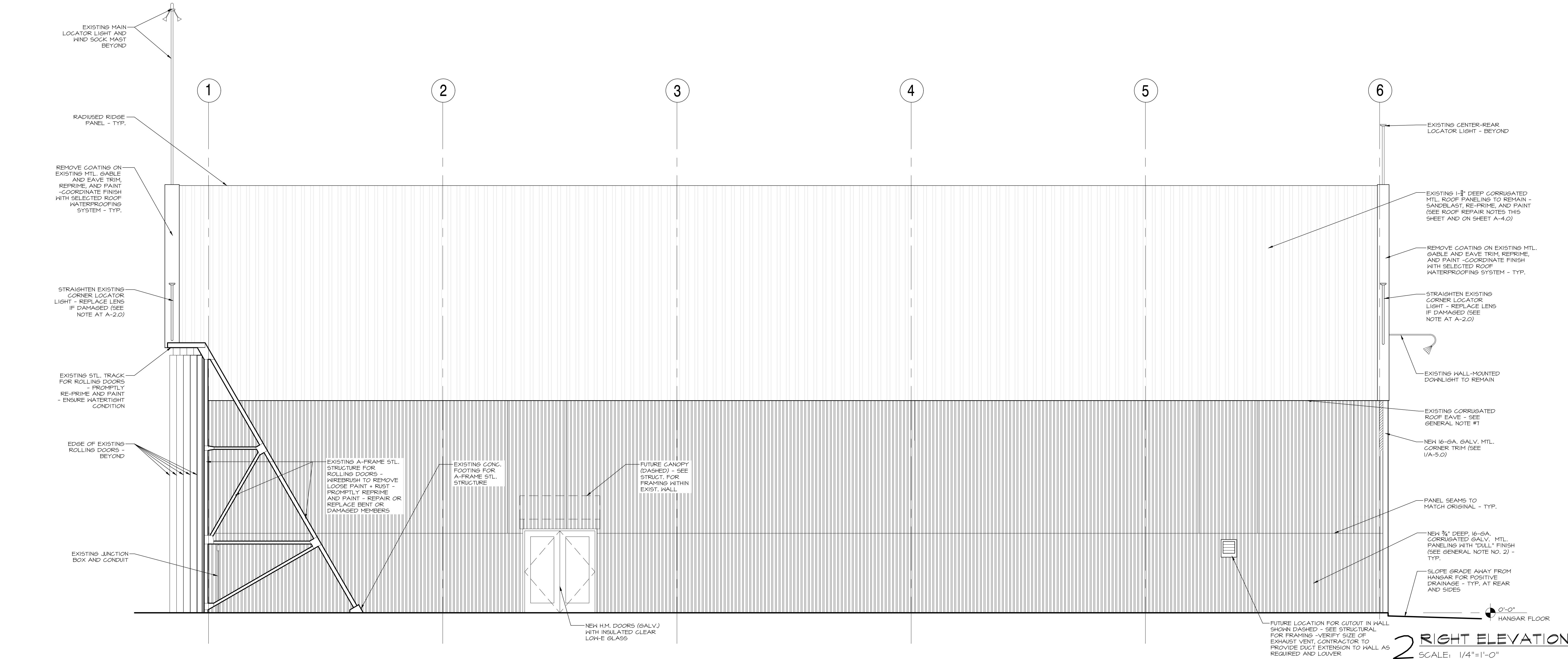
DATE: 08.25.2022

SHEET TITLE:
EXTERIOR ELEVATIONS

A-2.0

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2. INSTALL NEW PRE-FINISHED CORRUGATED MTL. PANELING IN PLACE OF ORIGINAL MTL. PANELING. PANELING SHALL BE GALVANIZED -TYP. SEE STRUCTURAL DRAWINGS FOR SPECIFICATION.
3. ALL EXPOSED STRUCTURAL STL. FRAMING AT EXTERIOR TO BE PROMPTLY RE-PRIMED AND PAINTED (SEE NOTE 1 ABOVE).
4. EXISTING MTL. DOORS TO BE PRIMED AND PAINTED -TYP.
5. AT EXISTING ROOF MTL. PANELING TO REMAIN, TIGHTEN AND/OR REPLACE ALL RIVETS AND FASTENERS PRIOR TO REPRIMING AND PAINTING.
6. ROOFING CONTRACTOR TO FIELD SURVEY EXISTING ROOF CONDITION AND ADVISE ARCHITECT PRIOR TO COMMENCING WORK.
7. G.C. / ROOFING SUBCONTRACTOR SHALL PROVIDE 20 YEAR WARRANTY (WHICH COVERS MATERIAL, LABOR, AND WORKMANSHIP) ON COATED ROOF. FURTHERMORE, ROOF SYSTEM SHALL BE COMPATIBLE WITH RE-COATINGS AND EXTENDED WARRANTY IN THE FUTURE. MTL. ROOF TO BE COATED W/ HYDROSTOP 3-COURSE METHOD (AS MANUFACTURED BY GAF) - CLEAN ENTIRE ROOF W/ UCC CLEANER, APPLY ACRYLEX 400 TRIMER (AT RUST SPOTS), APPLY HYDROSTOP SYSTEM (W/ FABRIC ON ALL HORIZ. SEAMS), AND TWO COATS OF HYDROSTOP FINISH. FINISH COLOR TO BE SELECTED.
8. TERMINATION OF WATERPROOFING PAINT AT EXPOSED EDGES OF MTL. PANELING TO MATCH MANUFACTURER'S RECOMMENDED METHOD. REPLACE RUBBER SEAL WITH NEW RUBBER SEALS TO MATCH PROFILE OF ROOF PANEL CORRUGATIONS -TYP.
9. ALL EXISTING GLASS TO BE CLEANED, REINSTALLED AND REGLAZED AS REQUIRED TO CREATE WATERTIGHT INSTALLATION.
10. G.C. SHALL RE-USE EXISTING GLASS WHERE NOT BROKEN OR DAMAGED. G.C. SHALL FIELD SURVEY EXISTING GLASS AND PROVIDE NEW TO MATCH EXISTING WHERE REQUIRED.
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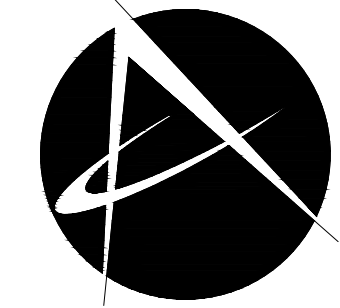
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**EXTERIOR
ELEVATIONS**

A-2.



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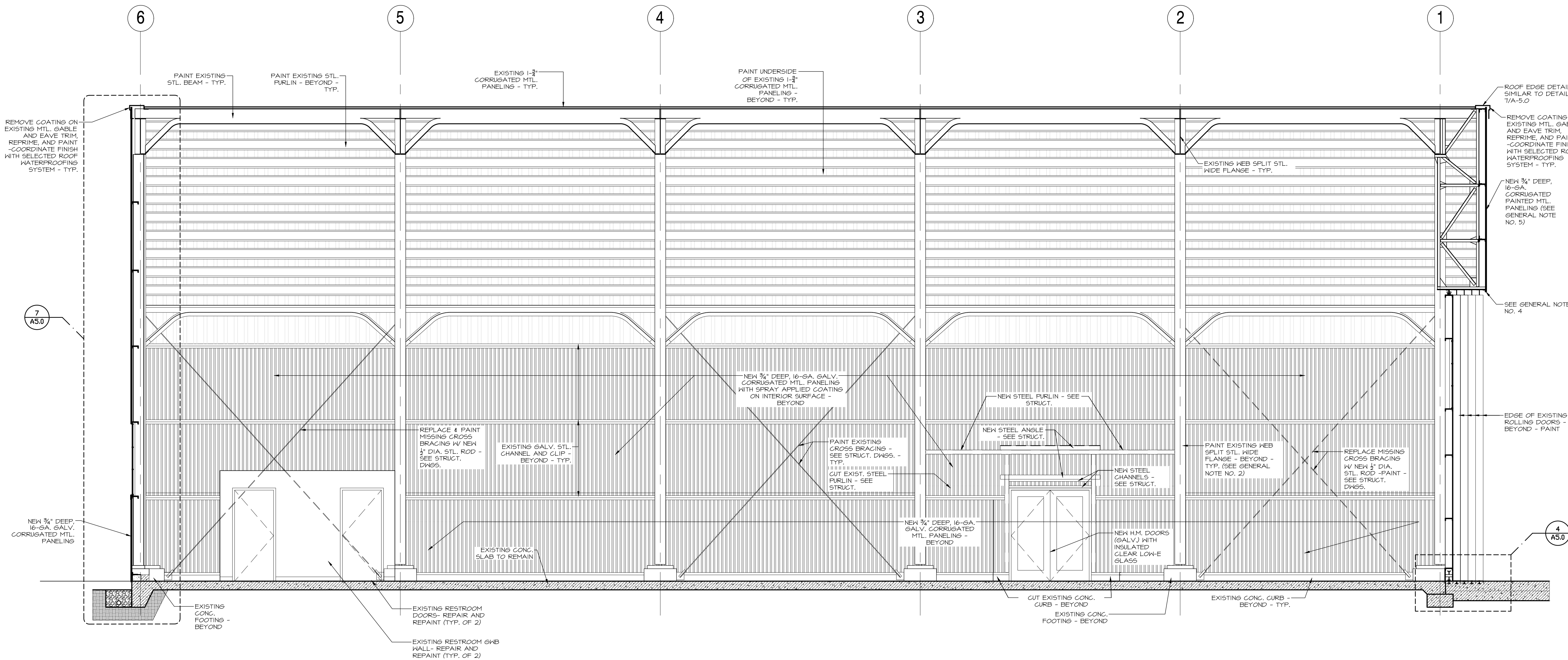
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- COORDINATE WITH ALL RECOMMENDED STRUCTURAL REPAIRS -TYP. -SEE ATTACHED REPORT AND DRAWINGS.
- THE INSIDE FACE OF ALL COLUMNS HAVE WELD BEADS AT APPROX. 4" A.F.F. - GRIND THESE SMOOTH PRIOR TO REPRIMING, AND PAINTING.
- G.C. TO TREAT ALL EXPOSED STEEL W/ "OSHPQ" TO CONTROL RUST AND PREPARE FOR PAINT - TYP.



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LONGITUDINAL
SECTIONS

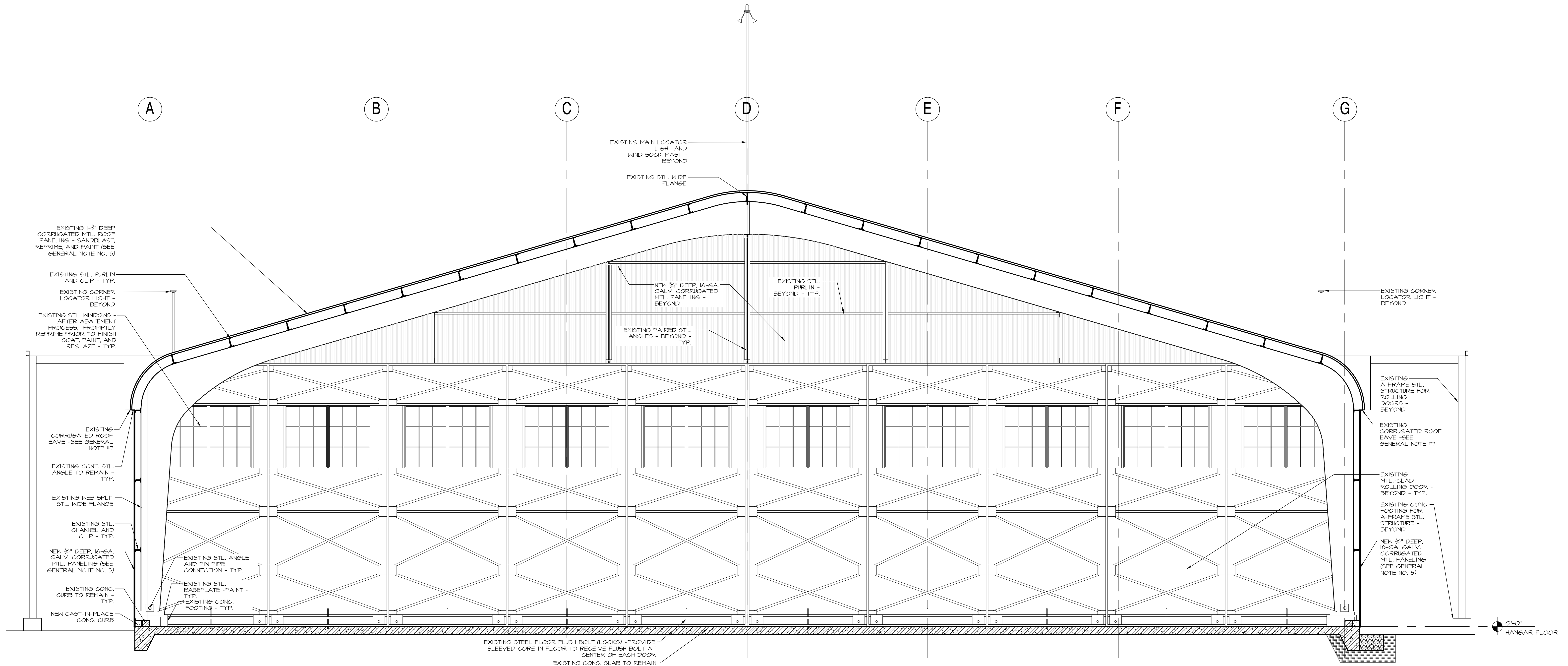
LONGITUDINAL SECTION

SCALE: 1/4"=1'-0"

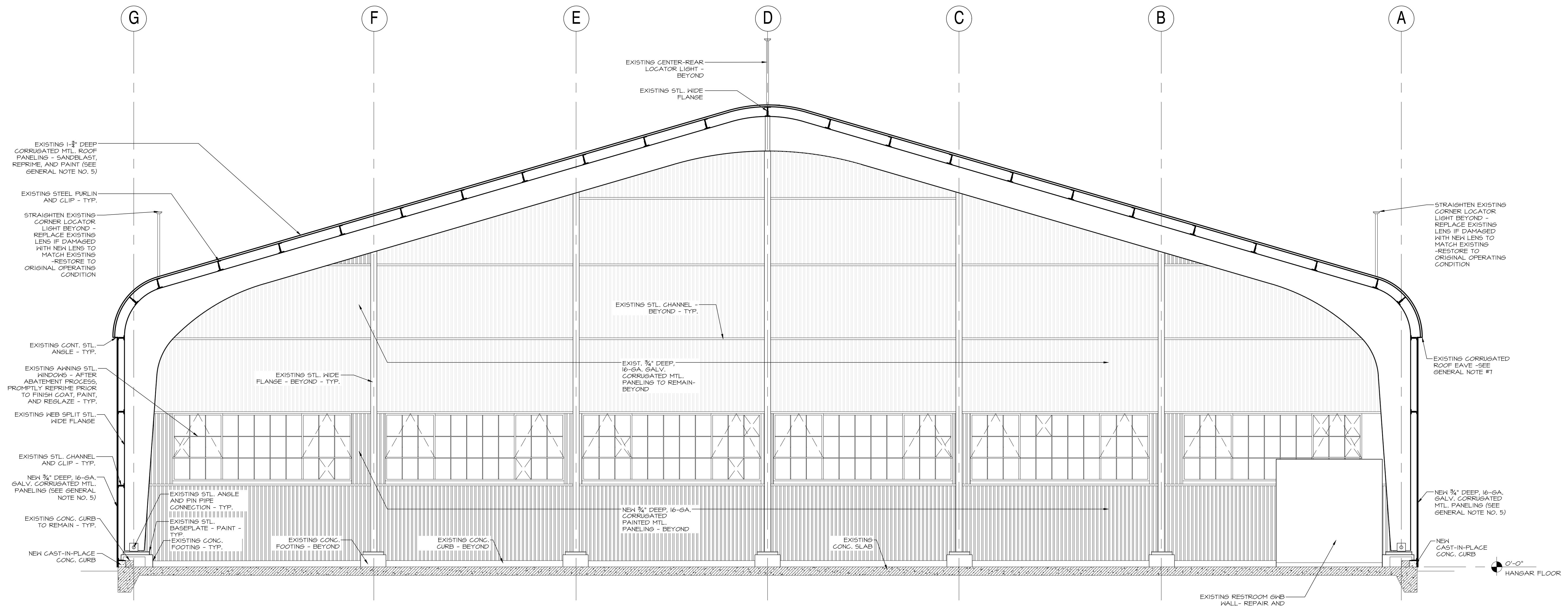
A-3.0

GENERAL NOTES:

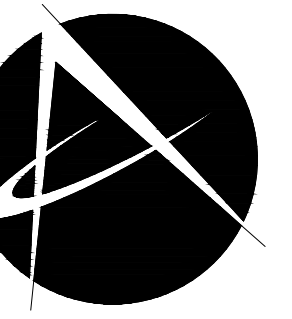
1. SEE ENVIRONMENTAL REPORT FROM WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC. DATED MAY 2, 2019, FOR RECOMMENDATIONS REGARDING TREATMENT OF HAZARDOUS MATERIALS. ABATEMENT OF HAZARDOUS MATERIALS SHALL BE ACCOMPLISHED BY OWNER'S CONSULTANT UNDER SEPARATE CONTRACT.
2. INSTALL NEW PRE-FINISHED CORRUGATED MTL. PANELING IN PLACE OF ORIGINAL MTL. PANELING. PANELING SHALL BE GALVANIZED -TYP.
3. ALL EXPOSED STRUCTURAL STL. FRAMING AT EXTERIOR TO BE PROMPTLY RE-PRIMED AND PAINTED (SEE NOTE 1 ABOVE)
4. EXISTING MTL. DOORS TO BE PRIMED AND PAINTED -TYP.
5. AT EXISTING ROOF MTL. PANELING TO REMAIN, TIGHTEN AND/OR REPLACE ALL RIVETS AND FASTENERS PRIOR TO REPRIMING AND PAINTING.
6. ROOFING CONTRACTOR TO FIELD SURVEY EXISTING ROOF CONDITION AND ADVISE ARCHITECT PRIOR TO COMMENCING WORK.
7. TERMINATION OF WATERPROOFING PAINT AT EXPOSED EDGES OF MTL. PANELING TO MATCH MANUFACTURER'S RECOMMENDED METHOD. REPLACE RUBBER SEAL WITH NEW RUBBER SEALS TO MATCH PROFILE OF ROOF PANEL CORRUGATIONS -TYP.
8. ALL EXISTING GLASS TO BE CLEANED, REINSTALLED AND REGLAZED AS REQUIRED TO CREATE WATERTIGHT INSTALLATION.
9. G.C. SHALL RE-USE EXISTING GLASS WHERE NOT BROKEN OR DAMAGED. G.C. SHALL FIELD SURVEY EXISTING GLASS AND PROVIDE NEW TO MATCH EXISTING WHERE REQUIRED.
10. COORDINATE WITH ALL RECOMMENDED STRUCTURAL REPAIRS -TYP - SEE ATTACHED REPORT AND DRAWINGS.
11. THE INSIDE FACE OF ALL COLUMNS HAVE WELD BEADS AT APPROX. 4' A.F.F. - GRIND THESE SMOOTH PRIOR TO REPRIMING, AND PAINTING.



2 TRANSVERSE SECTION
SCALE: 1/4"=1'-0"



TRANSVERSE SECTION
SCALE: 1/4"=1'-0"



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HISTORIC HANGAR**
(MFA DOUGLAS AIRPORT HANGAR)
4108 MINUTEMAN WAY
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01/20/22	Des. Dev.	
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08/25/22	UPDATED	
	HLC SUBMISSION	
	- UPDATED	

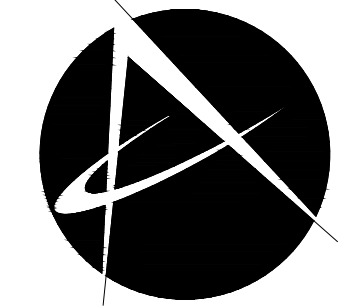
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SHEET TITLE:
**TRANSVERSE
SECTIONS**

A-3.



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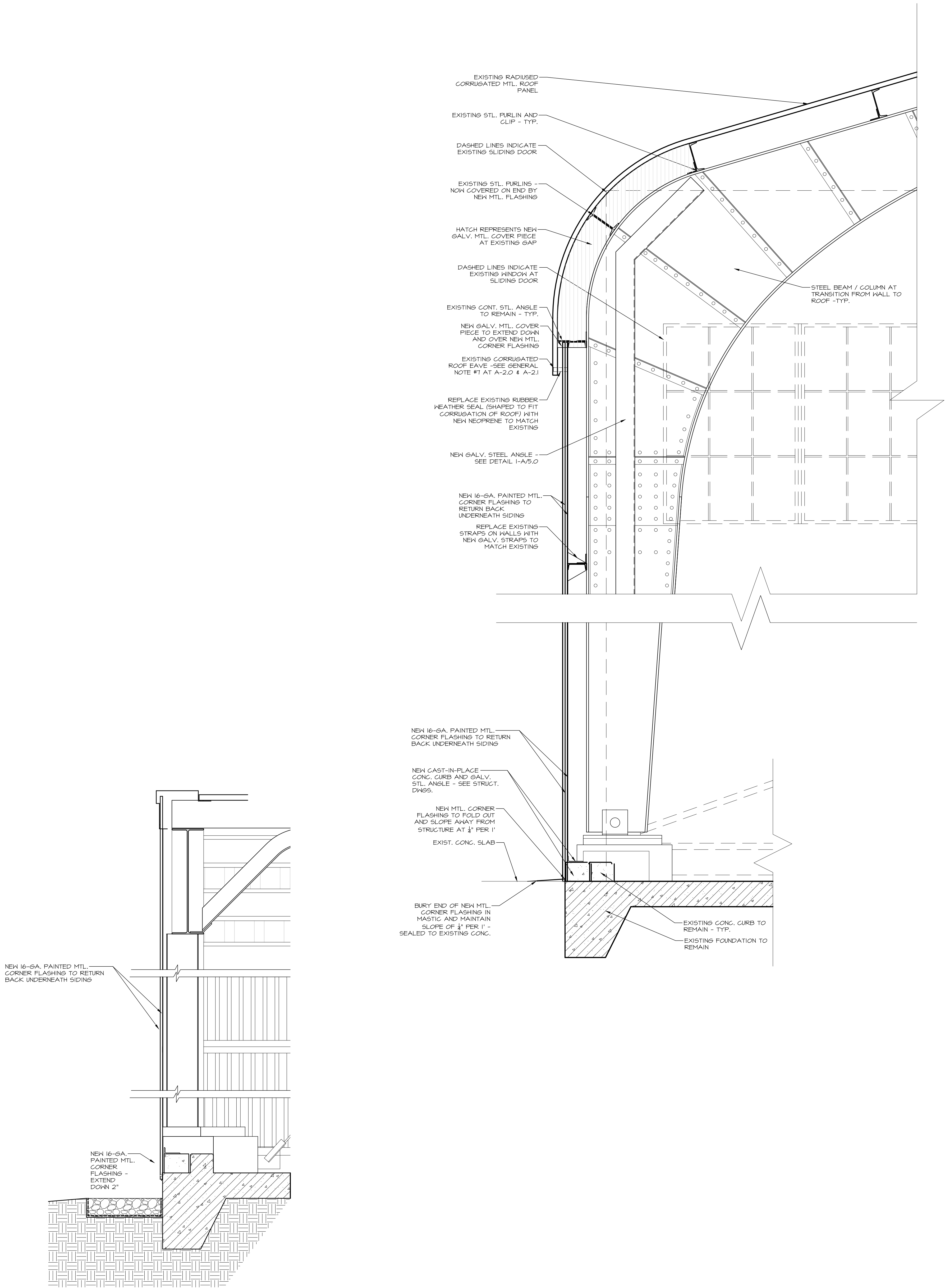
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SECTION
DETAILS

A-3.2



2 TRANSVERSE SECTION
SCALE: 1/4"=1'-0"

TRANSVERSE SECTION
SCALE: 1/4"=1'-0"

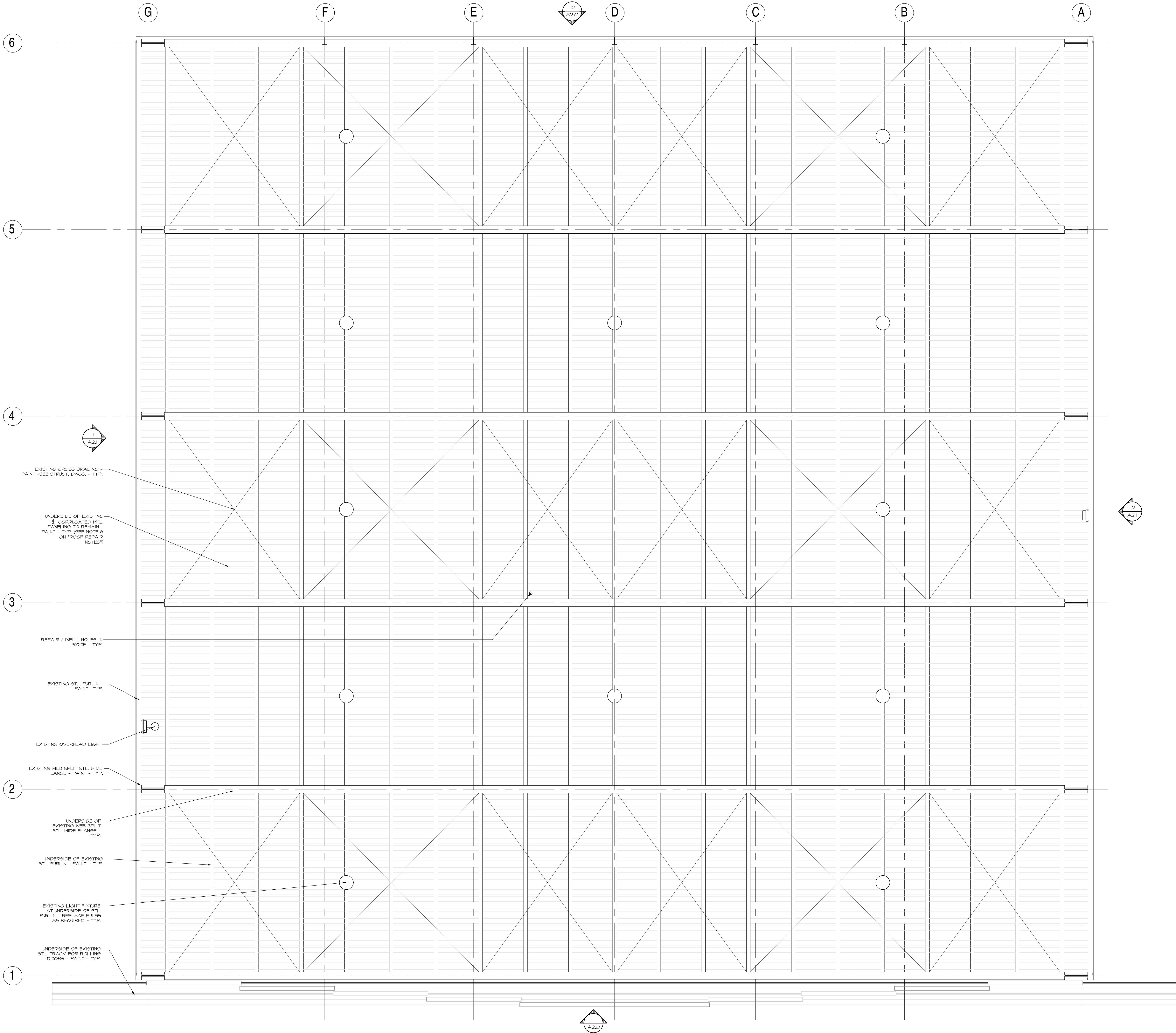
- ROOF REPAIR NOTES:
- 6.C. / ROOFING SUBCONTRACTOR SHALL REVIEW EXISTING CONDITION OF ROOF PRIOR TO COMMENCING WORK - ADVISE ARCHITECT / OWNER OF ALL CONDITIONS WHICH REQUIRE REPAIR OR REPLACEMENT
 - 6.C. / ROOFING SUBCONTRACTOR SHALL SEAL ALL HOLES, CRACKS & PENETRATIONS, SO THAT SUBSTRATE WILL PROVIDE PROPER BASE FOR PROPOSED WATERPROOF ROOF COATINGS
 - 6.C. / ROOFING SUBCONTRACTOR SHALL PROVIDE 20 YEAR WARRANTY (WHICH COVERS MATERIAL, LABOR, AND WORKMANSHIP) ON COATED ROOF. FURTHERMORE, ROOF SYSTEM SHALL BE COMPATIBLE WITH RE-GATING AND EXTENDED WARRANTY IN THE FUTURE. MTL. ROOF TO BE COATED W/ HYDROSTOP 3-COARSE METHOD (AS MANUFACTURED BY GAF) - CLEAN ENTIRE ROOF W/ UCC CLEANER, APPLY ACRYLEX 400 PRIMER (AT RUST SPOTS), APPLY HYDROSTOP SYSTEM (W/ FABRIC ON ALL HORIZ. SEAMS), AND TWO COATS OF HYDROSTOP FINISH. FINISH COLOR TO BE SELECTED.
 - FINISH OF ROOF SHALL MATCH, AS CLOSELY AS POSSIBLE, GALVANIZED FINISH OF NEW EXTERIOR GALVANIZED CORRUGATED WALL PANELS. PROVIDE SAMPLE FOR REVIEW AND APPROVAL.
 - AT EXISTING ROOF MTL. PANELING TO REMAIN, TIGHTEN ALL METAL STRAPS AT STL. CHANNELS AND FURLING.
 - UNDERSIDE OF MTL. ROOF PANELS (EXPOSED REFLECTED CEILING PANELS) TO REMAIN "AS-IS" (NOT PAINTED).

CEILING LEGEND

UNDERSIDE OF EXISTING 1- $\frac{3}{8}$ " CORRUGATED MTL. PANELING TO REMAIN - PAINT - TYP. (SEE NOTE 6 ON "ROOF REPAIR NOTES")

XXXX

NOTE: TYPICAL CEILING HEIGHT AT 9'-0" A.F.F. U.N.O.



REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"

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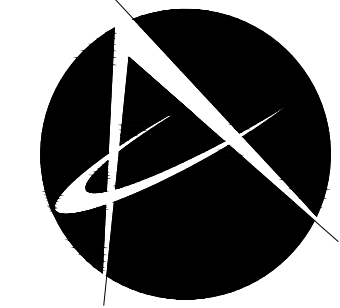
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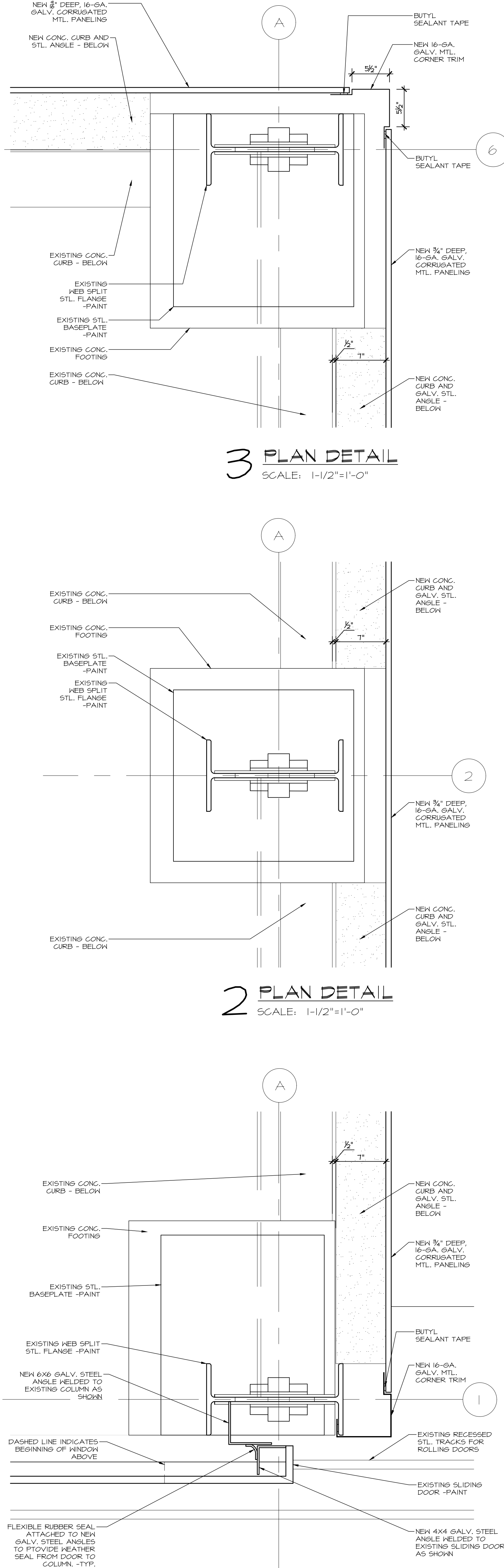
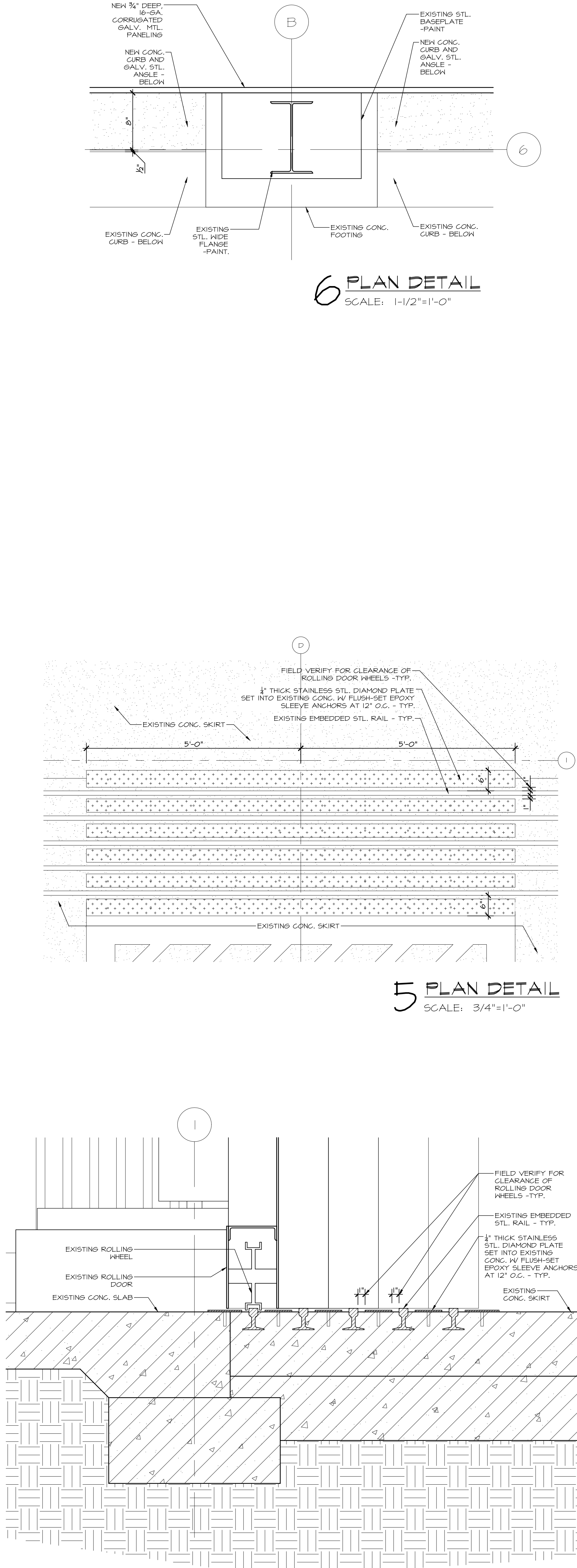
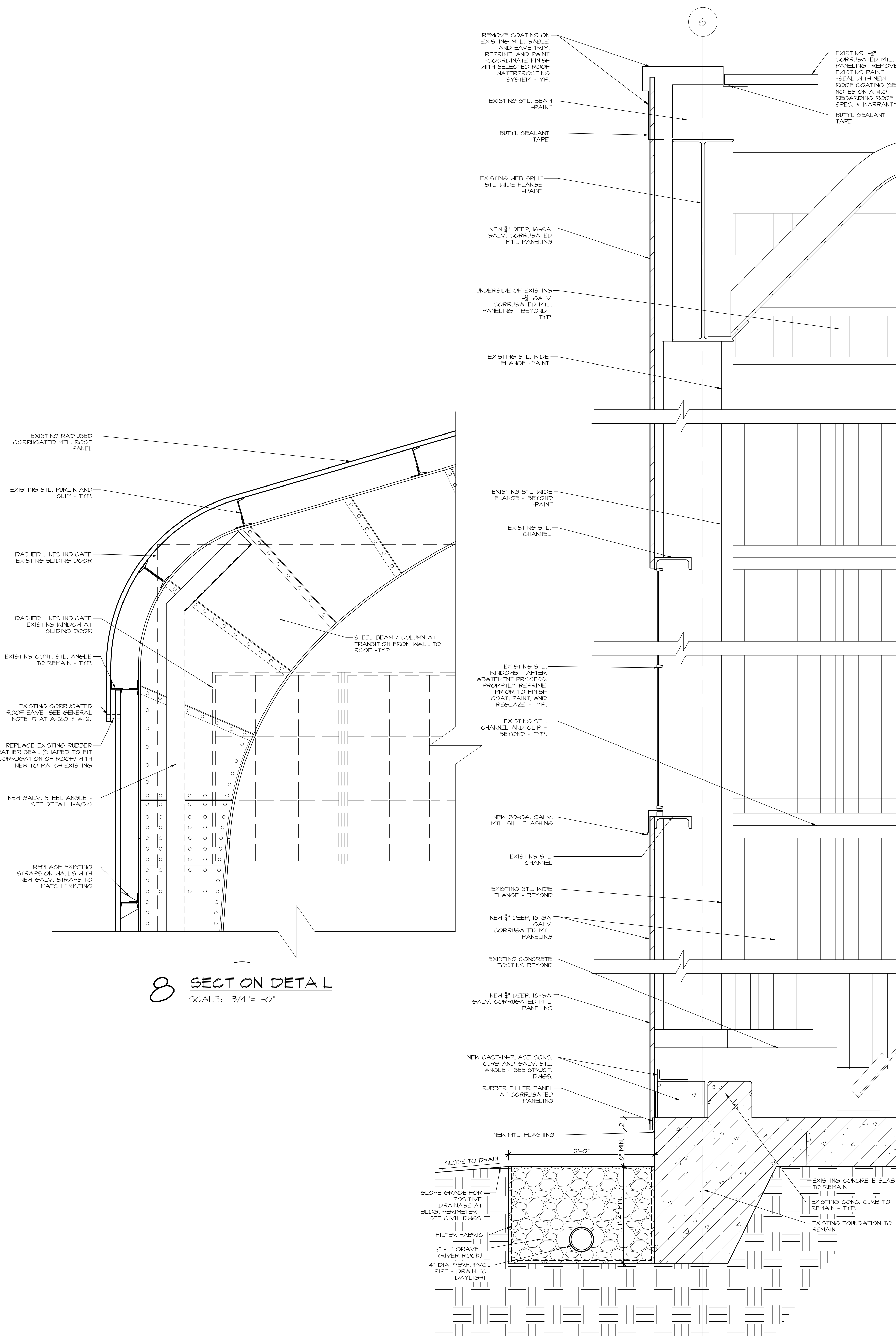
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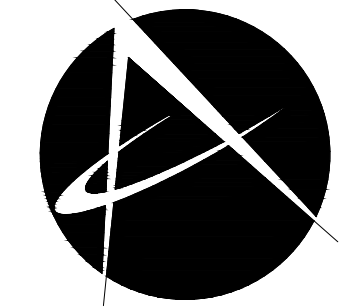
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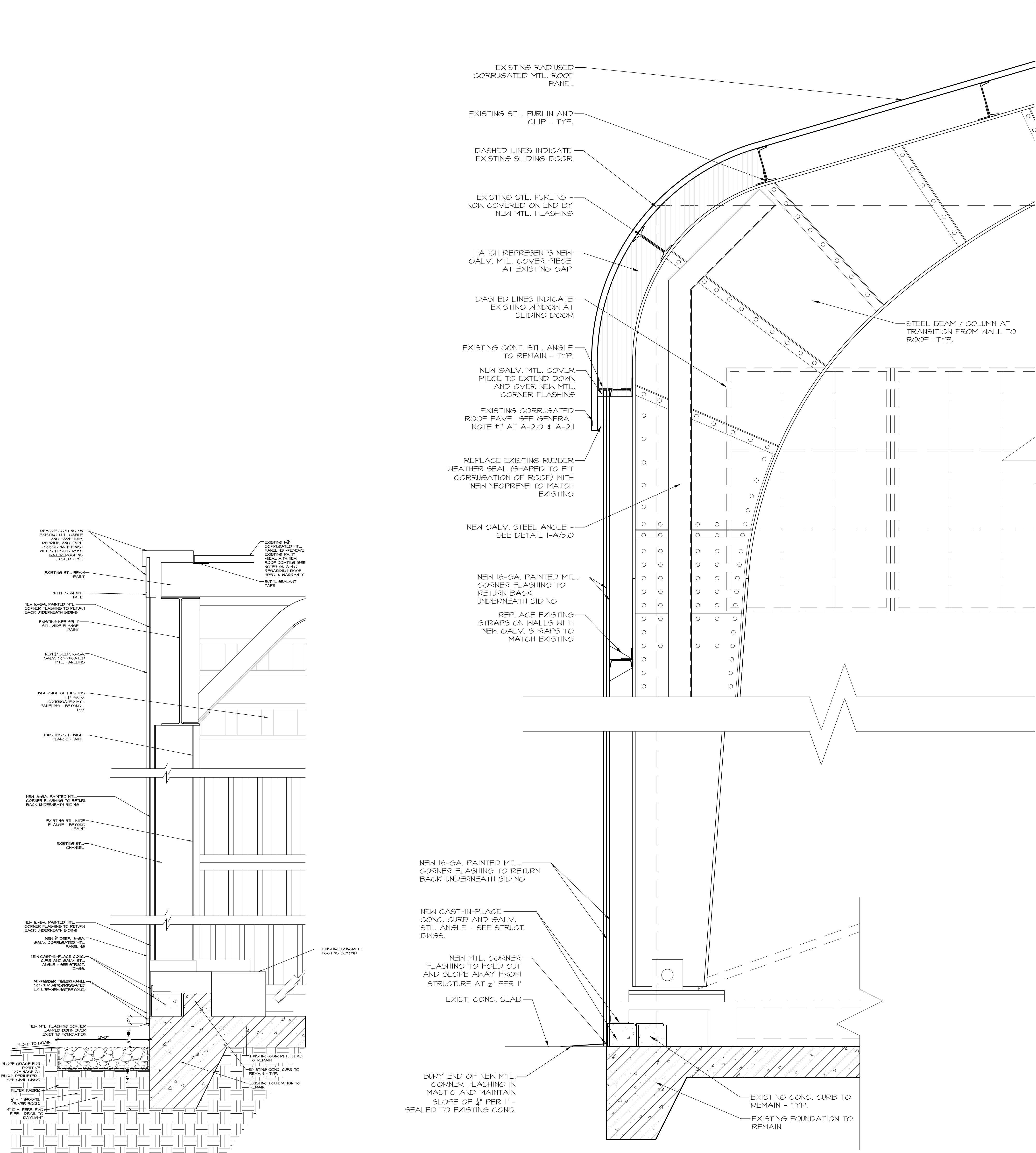
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DETAILS

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2 CORNER SECTION DETAIL
SCALE: 1"=1'-0"

CORNER SECTION DETAIL
SCALE: 1"=1'-0"

FINISH SCHEDULE										
	RM NAME	FLOOR	BASE	WALLS				CEILING		REMARKS
				N	S	E	W	MATL	HEIGHT	
	HANGAR	GPT	PTD- HD	PAINT	PAINT	PAINT	PAINT	6WB	8'-0" (VLF)	
	TOILET 1	LVT	RUBBER GOVE	PAINT	PAINT	PAINT	PAINT	ACT	8'-0" (VLF)	
	TOILET 2	LVT	RUBBER GOVE	PAINT	PAINT	PAINT	PAINT	ACT	8'-0" (VLF)	
	OFFICE	LVT	RUBBER GOVE	PAINT	PAINT	PAINT	PAINT	ACT	8'-0" (VLF)	

ACT = 2'X2' ACOUSTICAL TILE CEILING
ASFPRT = ALUMINUM STOREFRONT/PAINT
6WB = GYPSUM WALL BOARD - PAINTED
LVT = LUXURY VINYL COMPOSITE TILE
VCT = VINYL COMPOSITE TILE

NOTE-1: DROPPED SOFFIT AT 8'-6" AT RECEPTION / GIVEKOUT, AND 10'-6" AT ORTHO BAY
- CEILING HT. @ 11'-0" - SEE REFLECTED CEILING PLAN
NOTE-2: ALL NET WALLS AND WALLS WITHIN 2' OF URINAL OR WATER CLOSET IN
TOILETS TO HAVE A SMOOTH HARD NON-ABSORBENT SURFACE TO A HEIGHT OF
48" A.F.F MIN. (KERAMIC TILE, FRP PANELS, EPOXY PAINT, OR EQUAL)

GENERAL INTERIOR FINISHES NOTES: WALL AND CEILING FINISHES SHALL CONFORM TO NCBC SECTION 803 WALL & CEILING FINISHES AND TABLE 803.II.
FOR SPRINKLERED AND NONSPRINKLERED BLDGS.
INTERIOR FLOOR FINISHES SHALL CONFORM TO NCBC SECTION 804. COORD. OWNER FOR SPECIFIC FINISH MATERIAL SELECTIONS.
COMPOSITE MATERIALS IN TYPES I AND II CONSTRUCTION SHALL COMPLY WITH NCBC SECTION 805.
DECORATIVE MATERIALS AND TRIM SHALL CONFORM TO NCBC SECTION 806.
ACOUSTICAL CEILING SYSTEMS SHALL CONFORM TO NCBC SECTION 808.

DOOR SCHEDULE									
DR	ROOM NAME	DOOR			FRAME			HARDWARE #	REMARKS
		SIZE	TYPE	MAT.	RATING	MAT.	RATING		
X	HANGAR	2) 3'-0" X 7'-0"	EXIST.	HM.	-	HM.	-	1	
Y	HANGAR	2) 3'-0" X 7'-0"	A	HM.	-	HM.	-	1	
X	TOILET 1	3'-0" X 7'-0"	A	SC HD	-	HM.	-	4	
X	TOILET 2	3'-0" X 7'-0"	B	SC HD	-	HM.	-	4	

SC HD: SOLID CORE HOOD
ALUM: ALUMINUM
STURFRONT: STOREFRONT DOOR SYSTEM
GENERAL NOTE: CONTRACTOR PROVIDE SOLID HOOD BLOCKING AT ALL HALL MOUNTED DOOR STOPS.

6WB: GYPSUM WALL BOARD - PAINTED
HM: HOLLOW METAL

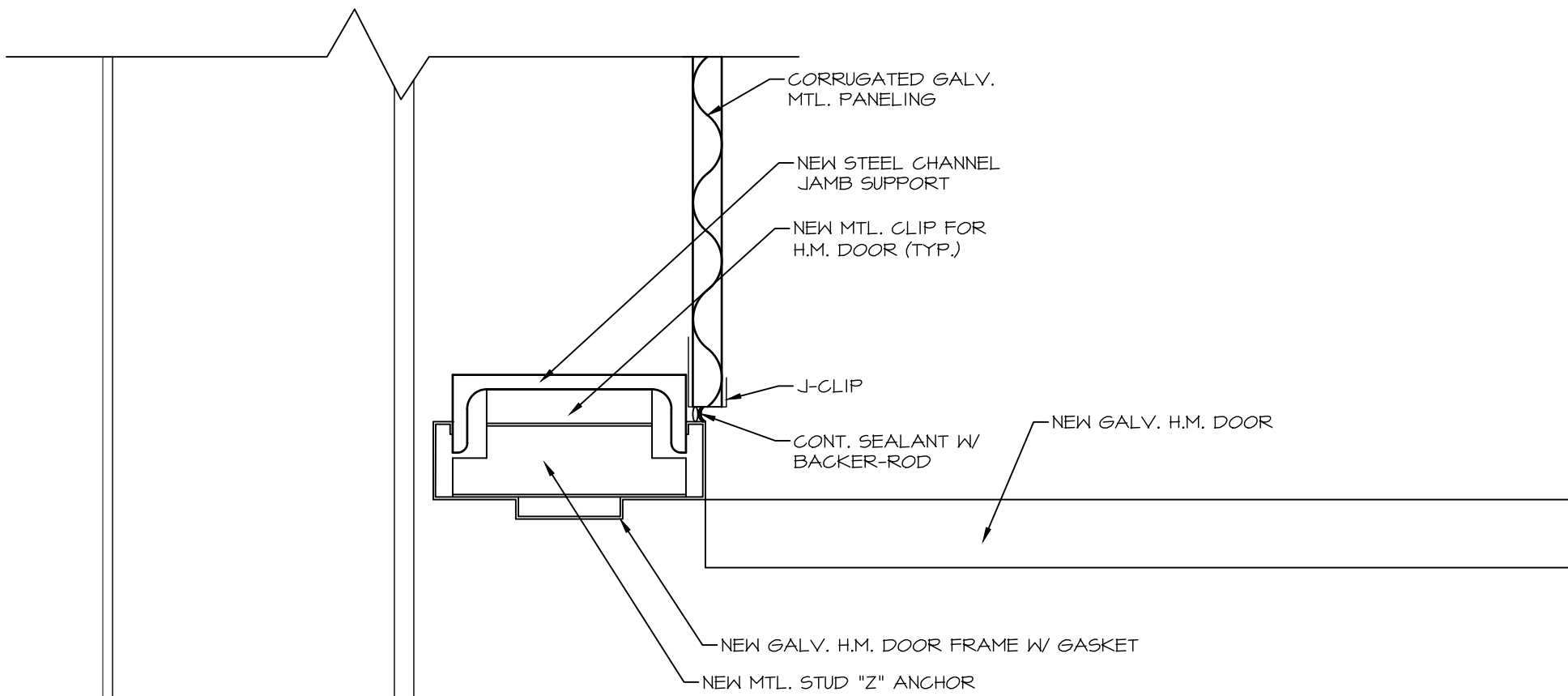
HARDWARE SCHEDULE

- 1 (1) DOOR CLOSER EA. DR. - EXISTING
(1) PULL BAR EA. DR. - EXISTING
(1) PUSH BAR EA. DR. - EXISTING
(1) SET DR. HINGES EA. DR. - EXISTING
(1) THUMBSTURN DEADBOLT - EXISTING
(1) SET HEATHER STRIPPINGS - EXISTING
(1) ALUM. THRESHOLD - EXISTING

- 2 (1) PRIVACY LOCK
(1) KICK PLATE
(1) 3/4" PK. BUTT HINGES
(1) SET OF SILENCERS
(1) DOOR STOP

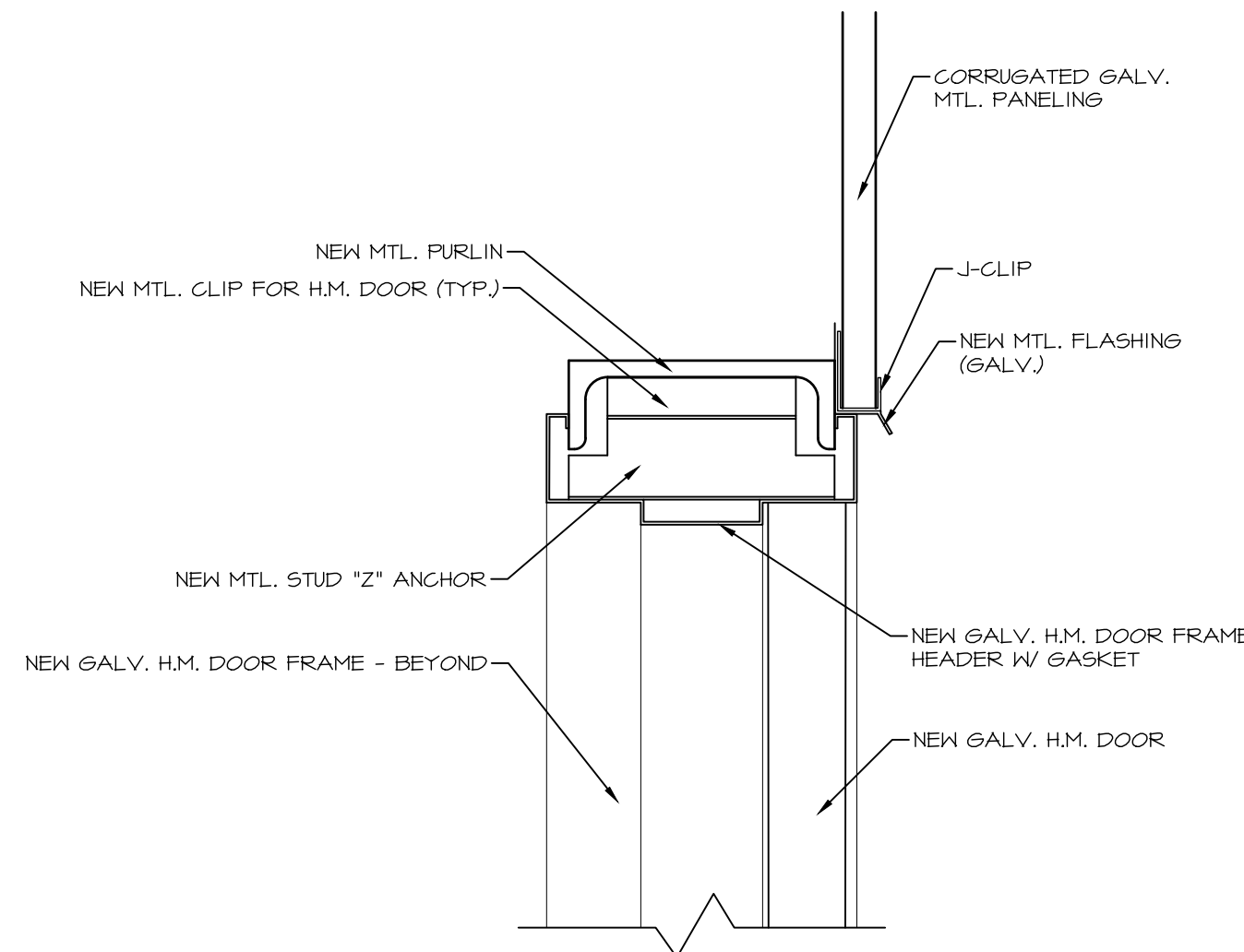
DOOR HARDWARE NOTES:

1. ALL HARDWARE INCLUDING THRESHOLDS TO COMPLY W/ ADA REQUIREMENTS
2. COORDINATE KEYING W/ OWNER
3. MAIN ENTRY EXTERIOR DOORS ARE PERMITTED TO TO BE EQUIPPED WITH A THUMB-BOLT OR KEY OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED, THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED AND PROVIDED W/ THUMB-BOLT OR A KEY THAT CANNOT BE REMOVED WHEN THE DOOR IS LOCKED FROM THE EGRESS SIDE. ALSO PROVIDE SIGNAGE POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR SYPATING. THIS DOOR TO REMAIN UNLOCKED WHEN SPACE IS OCCUPIED. (NICK 1001.4.3.2.1 & 2.2.2)
4. COORDINATE FINISH AND STYLE W/ OWNER
5. ALL GLASS IN DOORS, SIDELITES & TRANSOMS TO BE FULLY TEMPERED



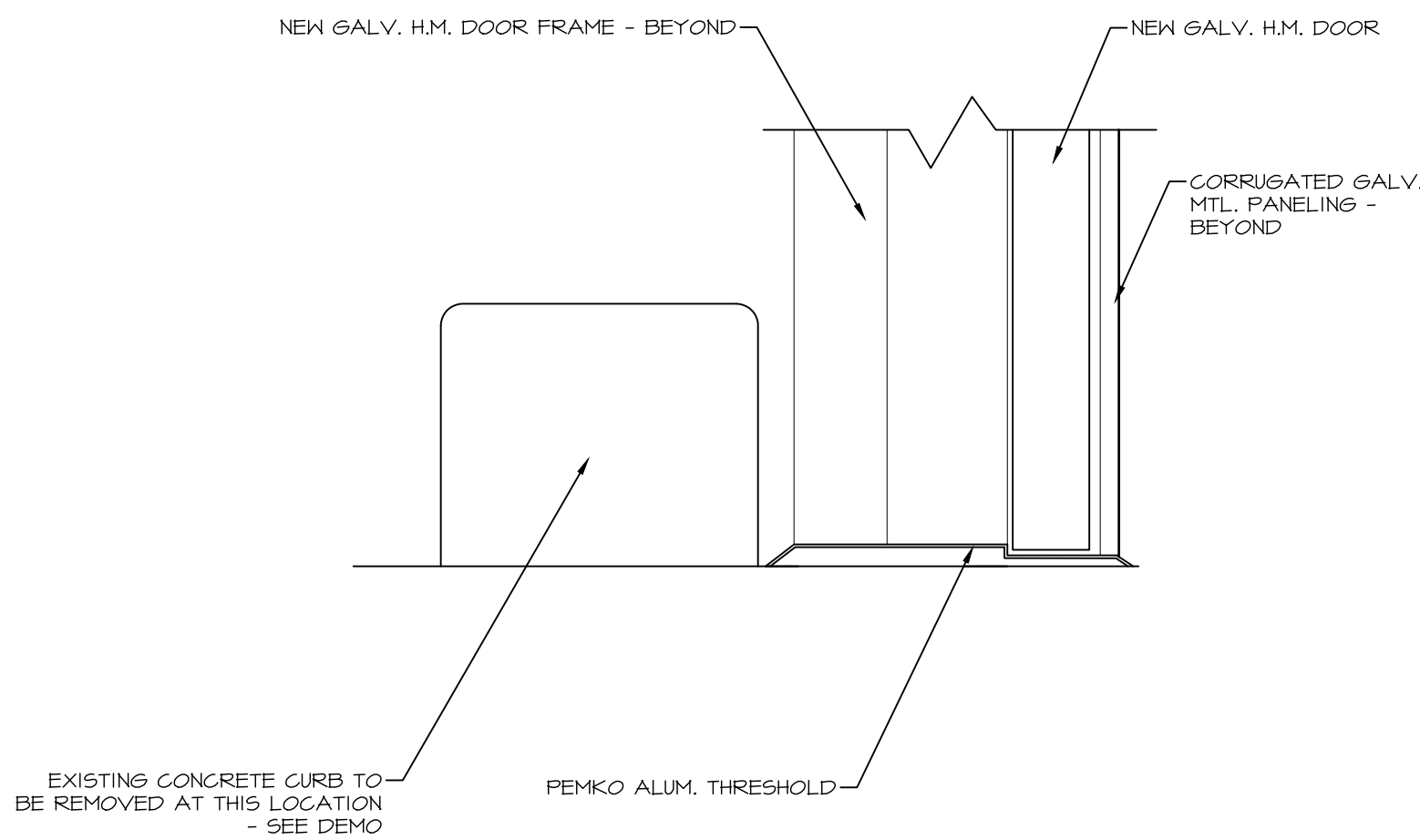
3 DOOR JAMB DETAIL

SCALE: 3/8"=1'-0"



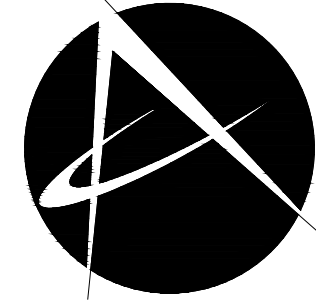
2 DOOR HEADER DETAIL

SCALE: 3/8"=1'-0"



DOOR THRESHOLD DETAIL

SCALE: 3/8"=1'-0"



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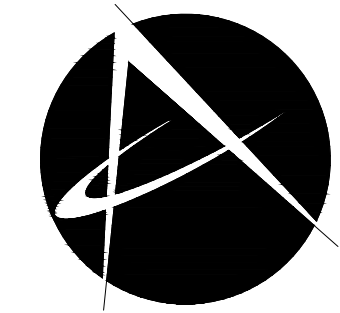
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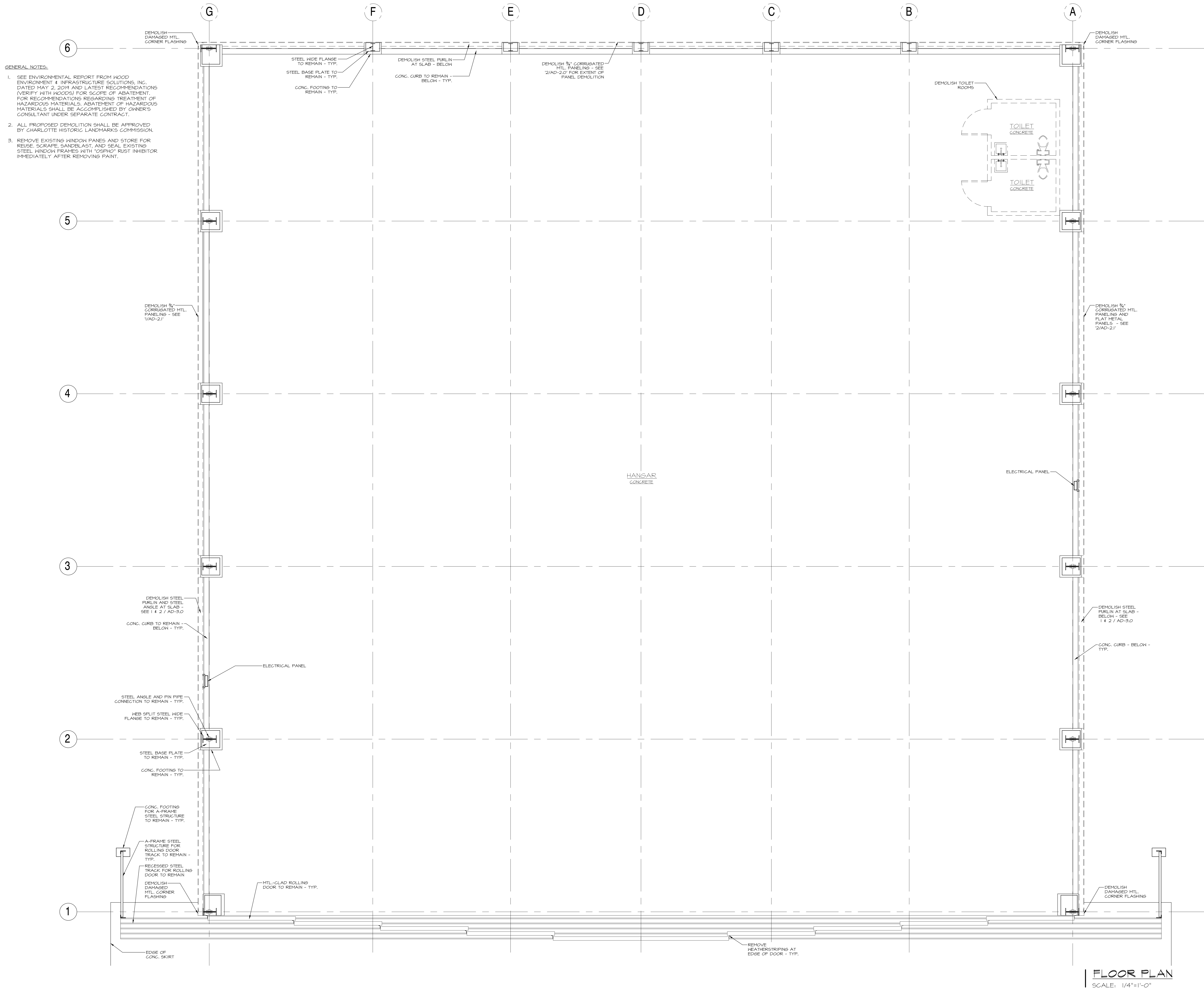
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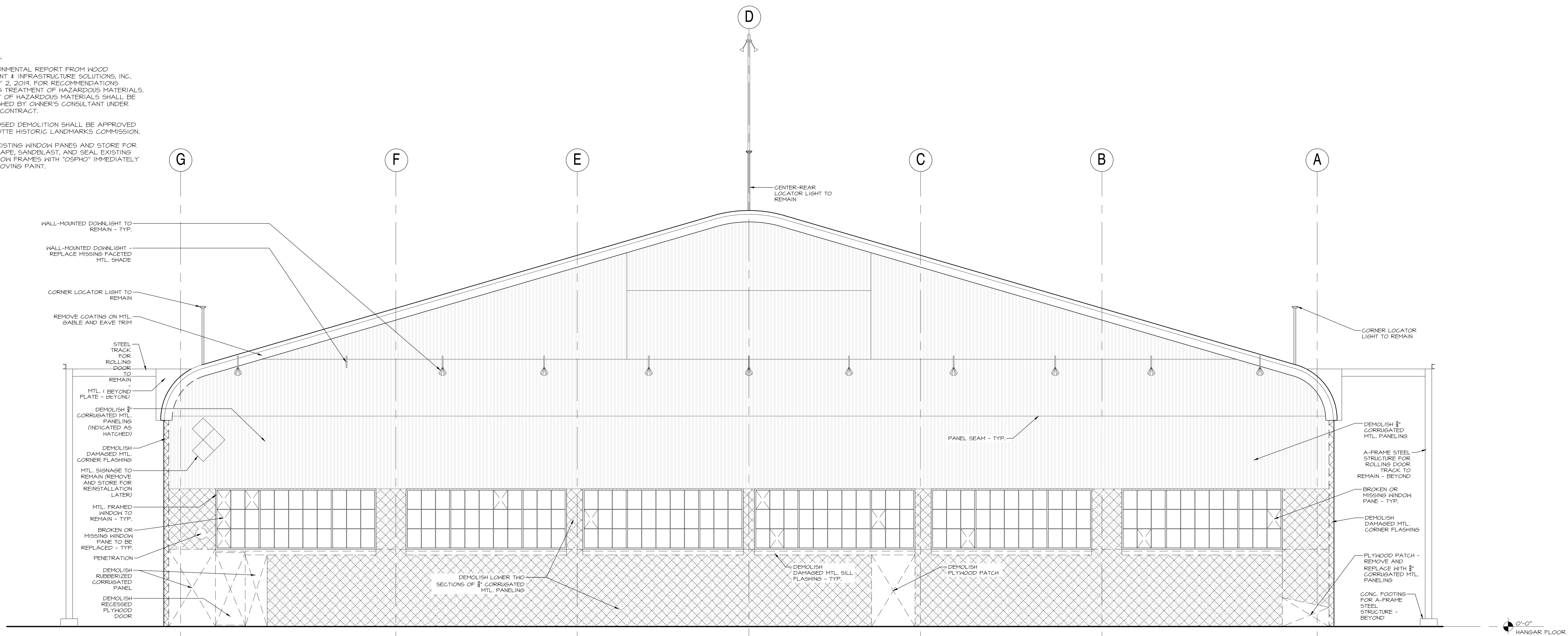
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DEMO
FLOOR PLAN

AD-1.0

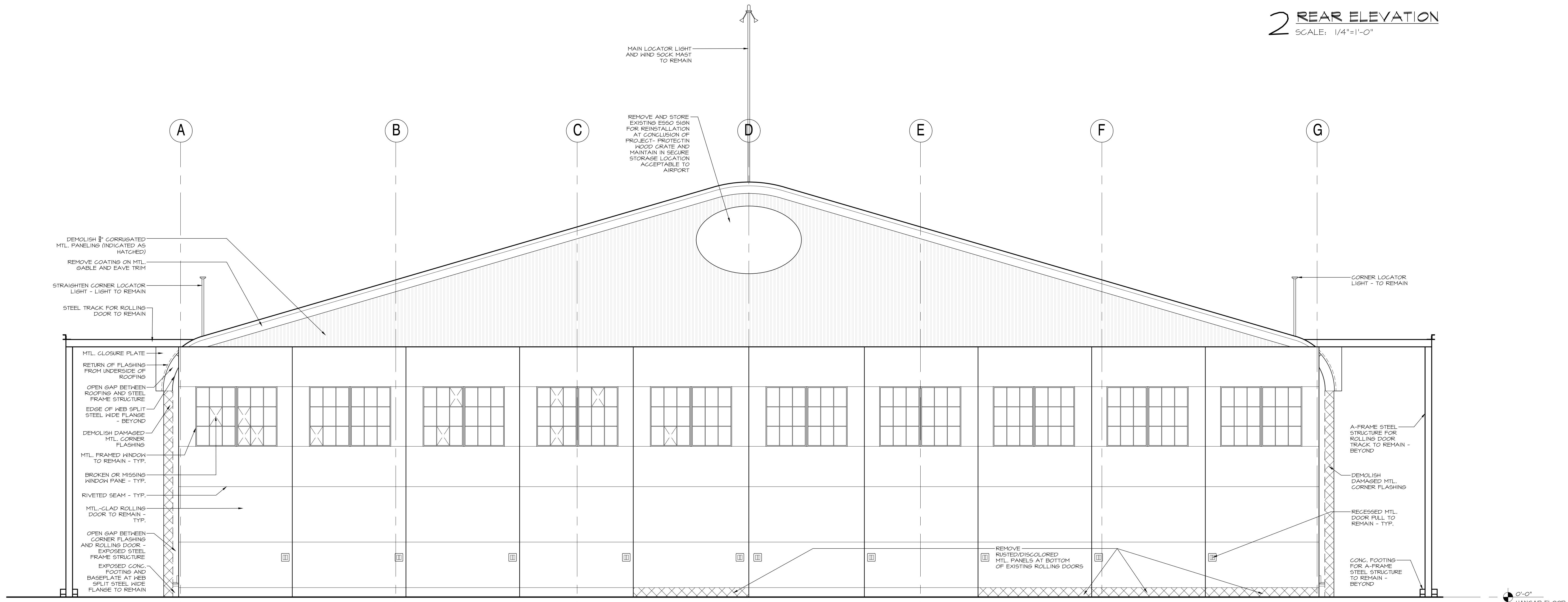


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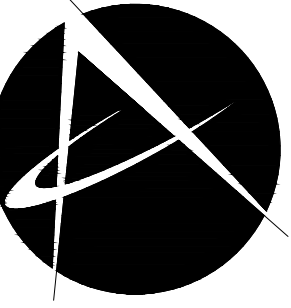
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2. ALL PROPOSED DEMOLITION SHALL BE APPROVED BY CHARLOTTE HISTORIC LANDMARKS COMMISSION.
3. REMOVE EXISTING WINDOW PANES AND STORE FOR REUSE. SCRAPE, SANDBLAST, AND SEAL EXISTING STEEL WINDOW FRAMES WITH "OSPHO" IMMEDIATELY AFTER REMOVING PAINT.



2 REAR ELEVATION
SCALE: 1/4"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0"



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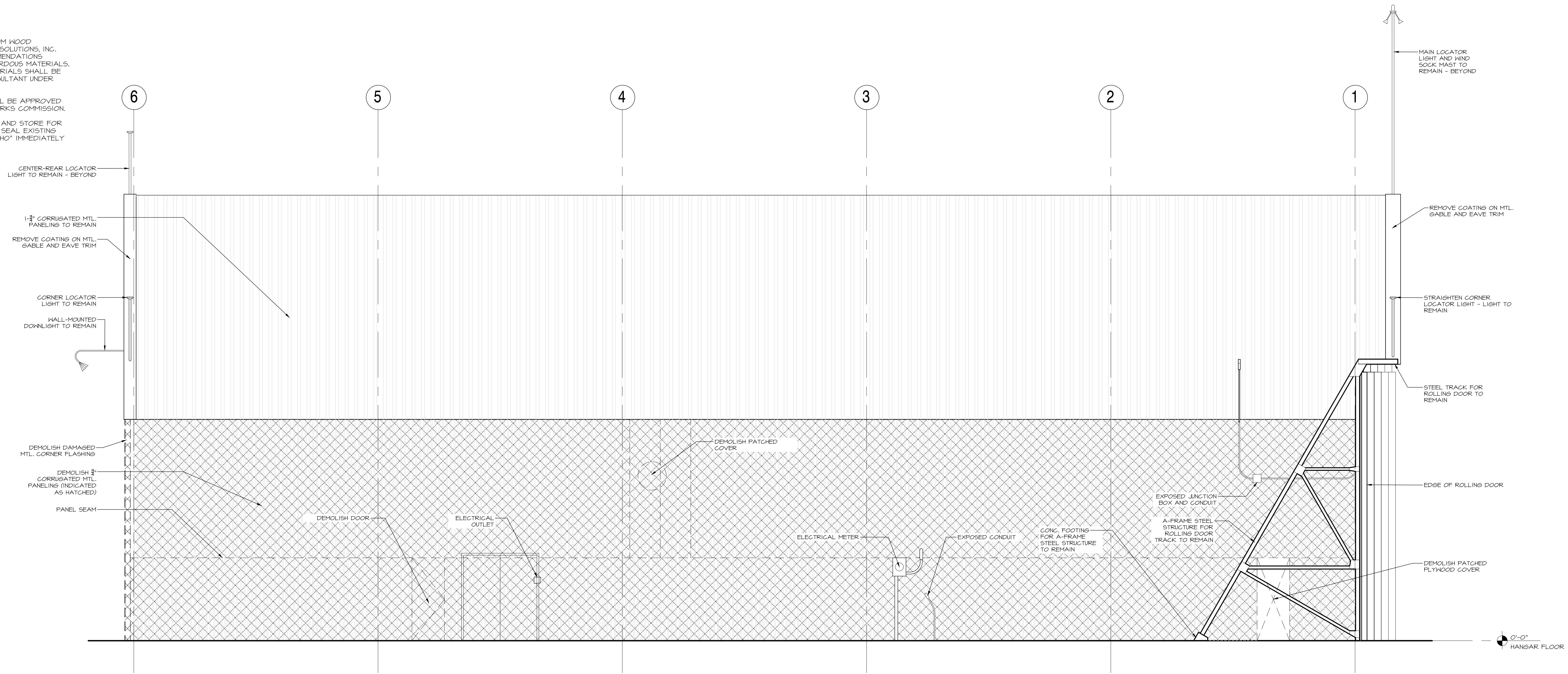
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**DEMO
EXTERIOR
ELEVATIONS**

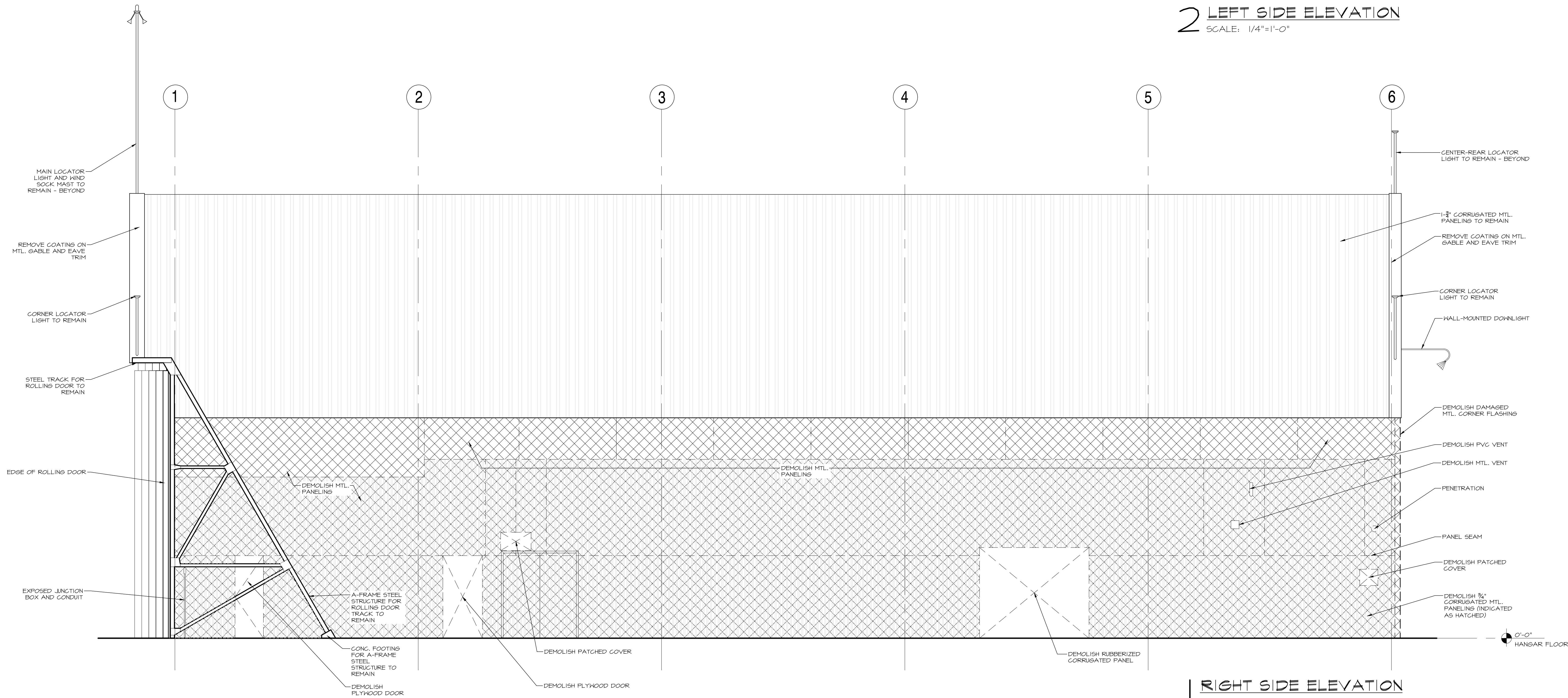
AD-2.0

GENERAL NOTES:

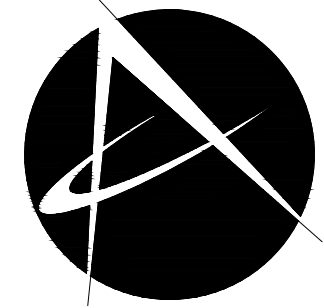
1. SEE ENVIRONMENTAL REPORT FROM HOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC. DATED MAY 2, 2019, FOR RECOMMENDATIONS REGARDING TREATMENT OF HAZARDOUS MATERIALS. ABATEMENT OF HAZARDOUS MATERIALS SHALL BE ACCOMPLISHED BY OWNER'S CONSULTANT UNDER SEPARATE CONTRACT.
2. ALL PROPOSED DEMOLITION SHALL BE APPROVED BY CHARLOTTE HISTORIC LANDMARKS COMMISSION.
3. REMOVE EXISTING WINDOW PANES AND STORE FOR REUSE. SCRAPE, SANDBLAST, AND SEAL EXISTING STEEL WINDOW FRAMES WITH "OSPHO" IMMEDIATELY AFTER REMOVING PAINT.



2 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



**McCLURE
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**CHARLOTTE AIRPORT
HISTORIC HANGAR**
(MFA DOUGLAS AIRPORT HANGAR)
4108 MINUTEMAN WAY
CHARLOTTE, NC 28208

Project Number: 714-2019

ISSUE :

02/12/19	AS-BUILTS
06/18/19	REVIEW
07/24/19	ASSESSMENT
09/01/21	SCHEMATICS
01/20/22	Des. Dev.
04/11/22	90% CONST. DOCS.
04/20/22	90% CONST. DOCS.
- UPDATED	HLC SUBMISSION
08/25/22	- UPDATED

REVISION

CHARLOTTE HLC
SUBMISSION
UPDATE
DRAWINGS
08-25-2022

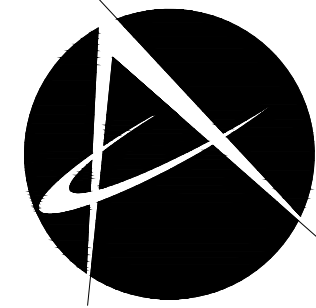
NOT FOR CONSTRUCTION

DATE: 08.25.2022

SHEET TITLE:

**DEMO
EXTERIOR
ELEVATIONS**

AD-2.1

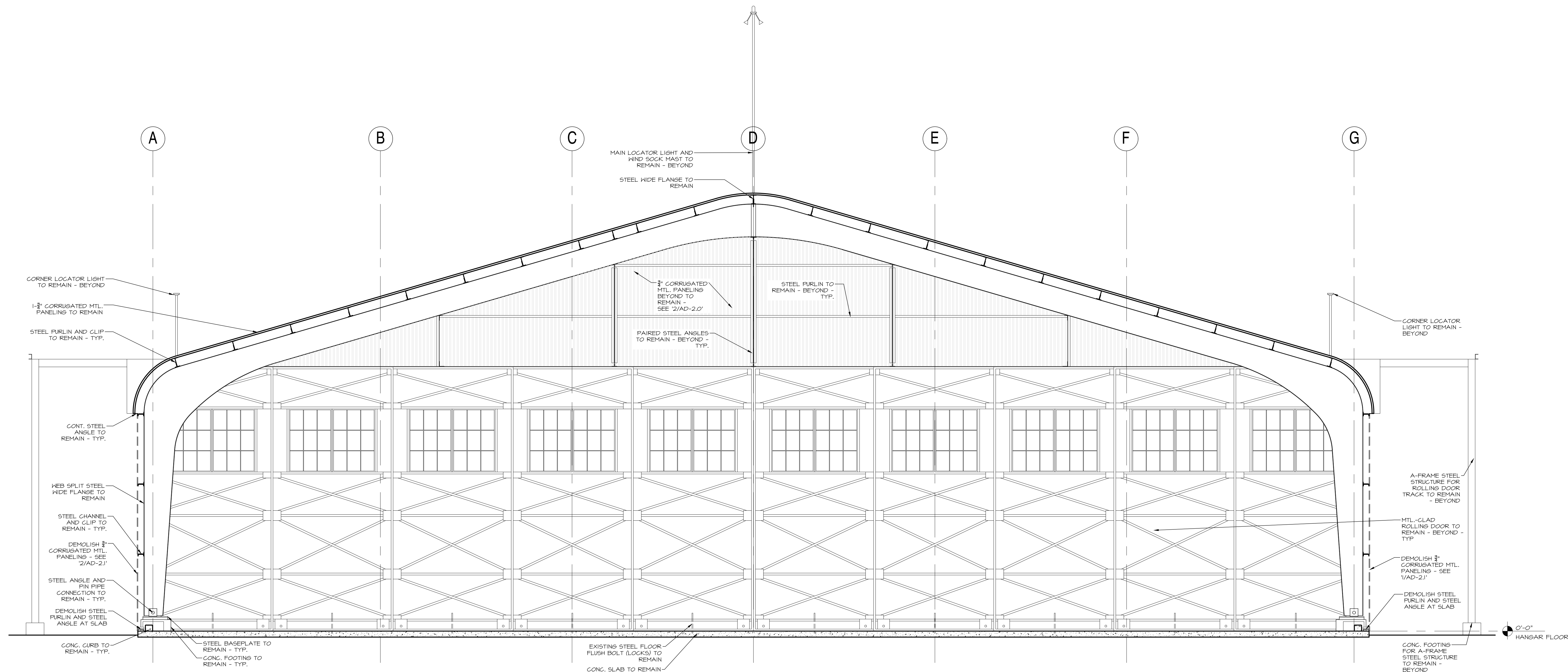


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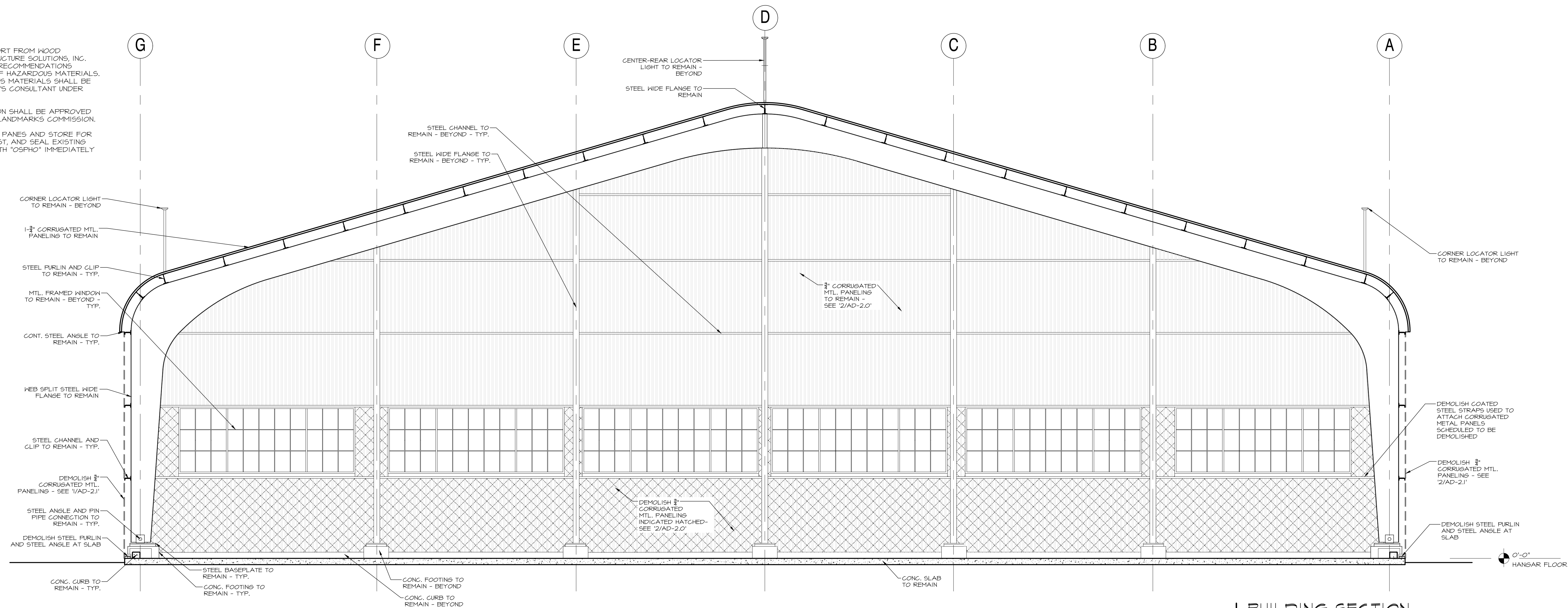
**CHARLOTTE AIRPORT
HISTORIC HANGAR**
(MFA DOUGLAS AIRPORT HANGAR)
4108 MINUTEMAN WAY
CHARLOTTE, NC 28208



2 BUILDING SECTION
SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. SEE ENVIRONMENTAL REPORT FROM WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC. DATED MAY 2, 2014, FOR RECOMMENDATIONS REGARDING TREATMENT OF HAZARDOUS MATERIALS. ABATEMENT OF HAZARDOUS MATERIALS SHALL BE ACCOMPLISHED BY OWNER'S CONSULTANT UNDER SEPARATE CONTRACT.
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3. REMOVE EXISTING WINDOW PANES AND STORE FOR REUSE. SCRAPE, SANDBLAST, AND SEAL EXISTING STEEL WINDOW FRAMES WITH "OSPHO" IMMEDIATELY AFTER REMOVING PAINT.



BUILDING SECTION
SCALE: 1/4"=1'-0"

Project Number: 714-2014

ISSUE :

02/12/19	AS-BUILTS
06/18/19	REVIEW
07/24/19	ASSESSMENT
01/07/21	SCHEMATICS
01/20/22	Des. Dev.
04/11/22	90% CONST. DOCS.
04/20/22	90% CONST. DOCS.
08/25/22	UPDATED HLC SUBMISSION
08/25/22	UPDATED

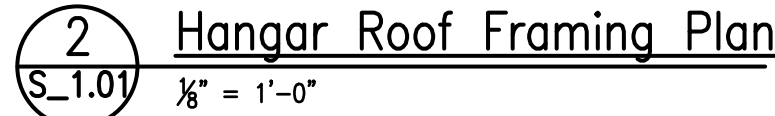
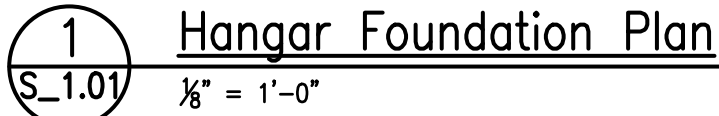
REVISION

DATE: 08.25.2022

SHEET TITLE:

**DEMO
BUILDING
ELEVATIONS
SECTIONS**

AD-3.0



- 1) THIS BUILDING HAS BEEN DESIGNED TO THE PROVISIONS OF THE NORTH CAROLINA BUILDING CODE, 2018 EDITION (IBC-2015 w/ NC AMENDMENTS) AND THE 2015 NORTH CAROLINA EXISTING BUILDING CODE (IEBC-2012 w/ NC AMENDMENTS).
- 2) NOTES BELOW ARE NOT INTENDED TO REPLACE SPECIFICATIONS. SEE SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO GENERAL NOTES.
- 3) STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH AND COORDINATED WITH ARCHITECTURAL DRAWINGS AND OTHER CONTRACT DOCUMENTS.
- 4) **DESIGN LOAD:**

SLAB ON GRADE (EXISTING ASSUMED) _____	125 PSF
_____ SEE FLOOR FRAMING PLAN(S) _____	
ROOF LIVE LOAD _____	20 PSF*
GROUND SNOW LOAD (Pg) _____	10 PSF

* _____ CAN BE REDUCED FOR LARGE TRIBUTARY AREAS
- WIND DESIGN:

WIND LOADS _____	110 MPH ULTIMATE WIND VELOCITY
EXPOSURE CATEGORY _____	"C"
WIND IMPORTANCE FACTOR (W) _____	1.0
WIND DESIGN BASE SHEAR (X) _____	EXISTING BUILDING
WIND DESIGN BASE SHEAR (Y) _____	EXISTING BUILDING

SEISMIC DESIGN: _____ EXISTING BUILDING
- 5) GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY THE SITE, LOCATION, TYPE, AND DIRECTION OF ALL PADS, DEPRESSIONS, BOLTS, SLEEVES, ANCHORS, INSERTS, ETC. TO BE SET IN CONCRETE AND/OR MASONRY BEFORE THE POUR OR ERECTION IS PERFORMED. ALL BUILT IN ITEMS AND INDENTATIONS OR ELEVATIONS ARE TO BE SET BY THE GENERAL CONTRACTOR IN STRICT ACCORDANCE WITH REVISED PROPERLY STAMPED SHOP DRAWINGS SUPPLIED BY THE VARIOUS TRADE CONTRACTORS.
- 6) **SITE OBSERVATION:**

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER FAR ENOUGH IN ADVANCE OF THE TIME THAT THE POUR IS TO BE MADE TO ALLOW AMPLE TIME TO CHECK THE LAYOUT OF THE STEEL BEFORE BEGINNING THE ACTUAL POUR, BUT NOT IN ADVANCE OF THE TIME THAT 90% OF THE STEEL HAS BEEN PLACED.
- 7) **FOUNDATIONS:** NO CHANGE IN USE AND LOADINGS

REINFORCE:

8). ALL CONCRETE WORK IS TO BE DONE IN ACCORDANCE WITH ACI "BUILDING CODE REQUIREMENTS FOR CONCRETE" (ACI 318-LATEST EDITION), AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301-LATEST EDITION).

9). ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI A 28 DAYS USING ASTM C33 AGGREGATE. MAXIMUM UNIT WEIGHT IS TO BE 150 PCF. PLACE CONCRETE ONLY AFTER APPROVING APPROVAL OF MAX DESIGN.

10). **CHLORIDE BASED ACCELERATORS ARE NOT PERMITTED!** NON-CHLORIDE CONCRETE ACCELERATORS WILL BE PERMITTED ONLY UPON SUBMITTAL OF REQUEST AND WRITTEN APPROVAL BY THE ENGINEER OF RECORD.

REINFORCING STEEL:

11). REINFORCING STEEL SHALL BE NEW BILLET STEEL DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60.

12). WELDED WIRE FABRIC (WWF) SHALL BE COLD DRAWN, CONFORMING TO ASTM SPECIFICATION A185 WITH SIZES INDICATED ON DRAWINGS.

13). BAR SUPPORTS, DESIGN, DETAILING, PLACEMENT, AND PLACING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 318, ACI 301, AND "ACI DETAILING MANUAL", SP-66 (LATEST EDITIONS).

14). ALL CONTINUOUS BARS SHALL BE LAP SPACED 30 BAR DIAMETERS UNLESS NOTED OTHERWISE. LAP WELDED WIRE FABRIC ONE WIRE SPACING.

15). CONCRETE COVER OF REINFORCING STEEL SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE CONTRACT DRAWINGS:

A. FOOTINGS (BOTT AND UNFORMED SIDES) 3 INCHES

B. FOOTINGS (TOP AND FORMED SIDES) 2 INCHES

C. SLABS-ON-GRADE 2 INCHES

D. SLABS-ON-GRADE 1 INCH

16). ALL REINFORCING STEEL MARKED "CONTINUOUS" SHALL BE LAPPED PER THE "REINFORCING SPL SCHEDULE" BELOW AT ALL SPLICES: AT CORNERS OR INTERSECTIONS ALL DISCONTINUOUS BAR MUST BE FORWARD BY SEVEN (7) BAR TOP REBAR BARS AT CENTER OF SPAN; LAP BOTTOM BEAM BARS AT SUPPORTS; LAP WELDED WIRE MESH ONE FULL MESH AT END AND END LAPS

- 17) DESIGN, DETAILING, FABRICATION, AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE AISC "MANUAL OF STEEL CONSTRUCTION, ALLOWABLE STRENGTH DESIGN", NINTH EDITION.
- 18) STEEL WF COLUMN AND BEAM SHAPES SHALL CONFORM TO ASTM 572, GRADE 50.
STEEL ANGLES, CHANNELS, AND PLATES SHALL CONFORM TO ASTM A36.
STEEL TUBE SECTIONS SHALL CONFORM TO ASTM A500, GRADE B, F_y=46 KSI.
STEEL PIPE SECTIONS TO CONFORM TO ASTM A510, OR ASTM A35, TYPES E OR S, GRADE B, WITH F_y=36 KSI.
- 19) ALL WELDING SHALL BE PERFORMED WITH E70 SERIES SHIELDED METAL ARC WELDS OR F7 SERIES SUBMERGED ARC WELDS, UNLESS NOTED OTHERWISE. ALL SHOP AND FIELD WELDING SHALL BE CERTIFIED WELDERS AND SHALL CONFORM TO AWS STANDARDS. CONTRACTOR SHALL RETAIN COPIES OF ALL WELDER CERTIFICATIONS AT JOB SITE AND SHALL PROVIDE COPIES AT THE ENGINEER'S REQUEST.
- 20) ALL STRUCTURAL STEEL SHALL RECEIVE A STANDARD SHOP PAINT. SEE SPECIFICATION FO TYPE. SUBMIT SHOP DRAWINGS FOR APPROVAL.
- 21) CORRUGATED STEEL ROOF DECK AND WALL SINDING:
TYPE AND GAGES ARE INDICATED ON THE ROOF FRAMING PLAN AND WALL ELEVATIONS. ALL STEEL ROOF AND WALL SINDING SHALL HAVE COLOES ARE TO MATCH THE EXISTOR DECKS AND SIDING. SUBMIT PROPOSED MATERIALS AND COLORS FOR APPROVAL BY ARCHITECT.

CHARLOTTE AIRPORT
HISTORIC HANGAR
MINUTEMAN WAY
CHARLOTTE, NC

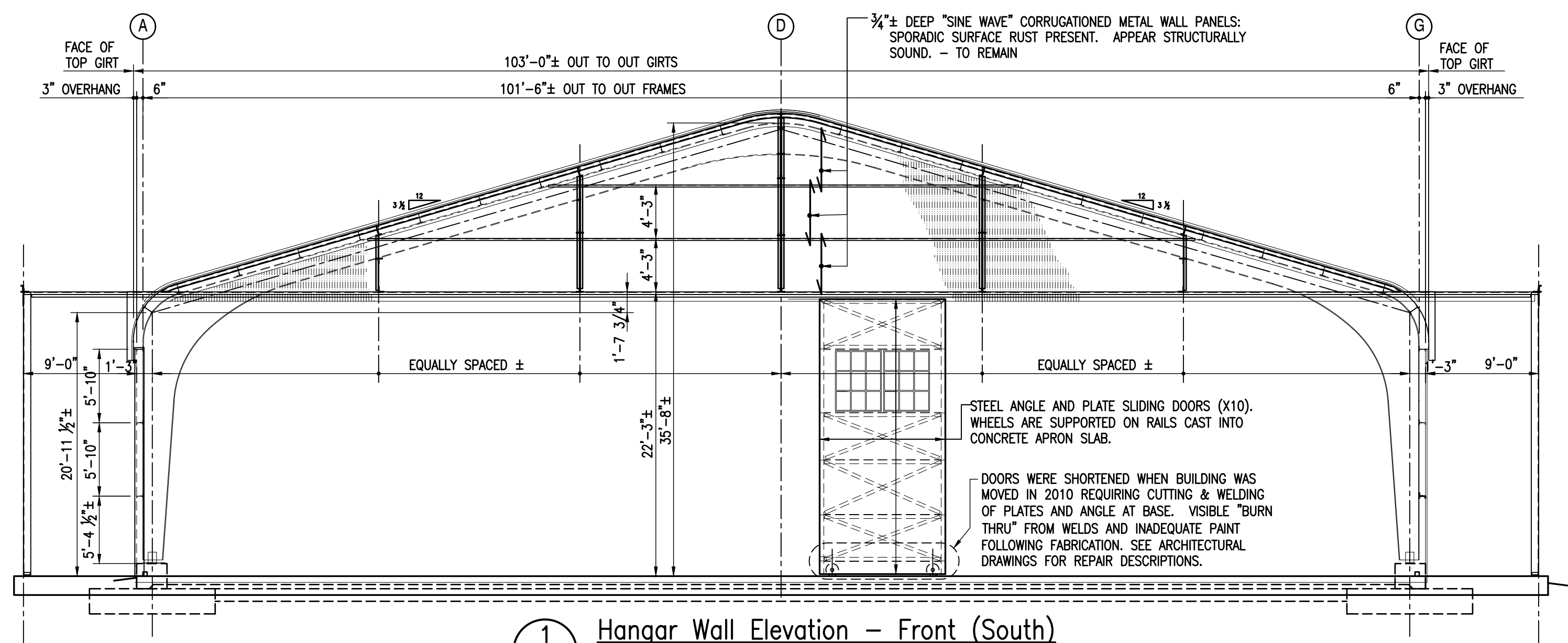
ISSUE:

- 02/12/19 _ As Builts
- 06/18/19 _ Review
- 07/24/21 _ Assessment
- 09/07/21 _ Schematics
- 01/20/22 _ Design Development
- 04/11/22 _ 90% Construction Documents

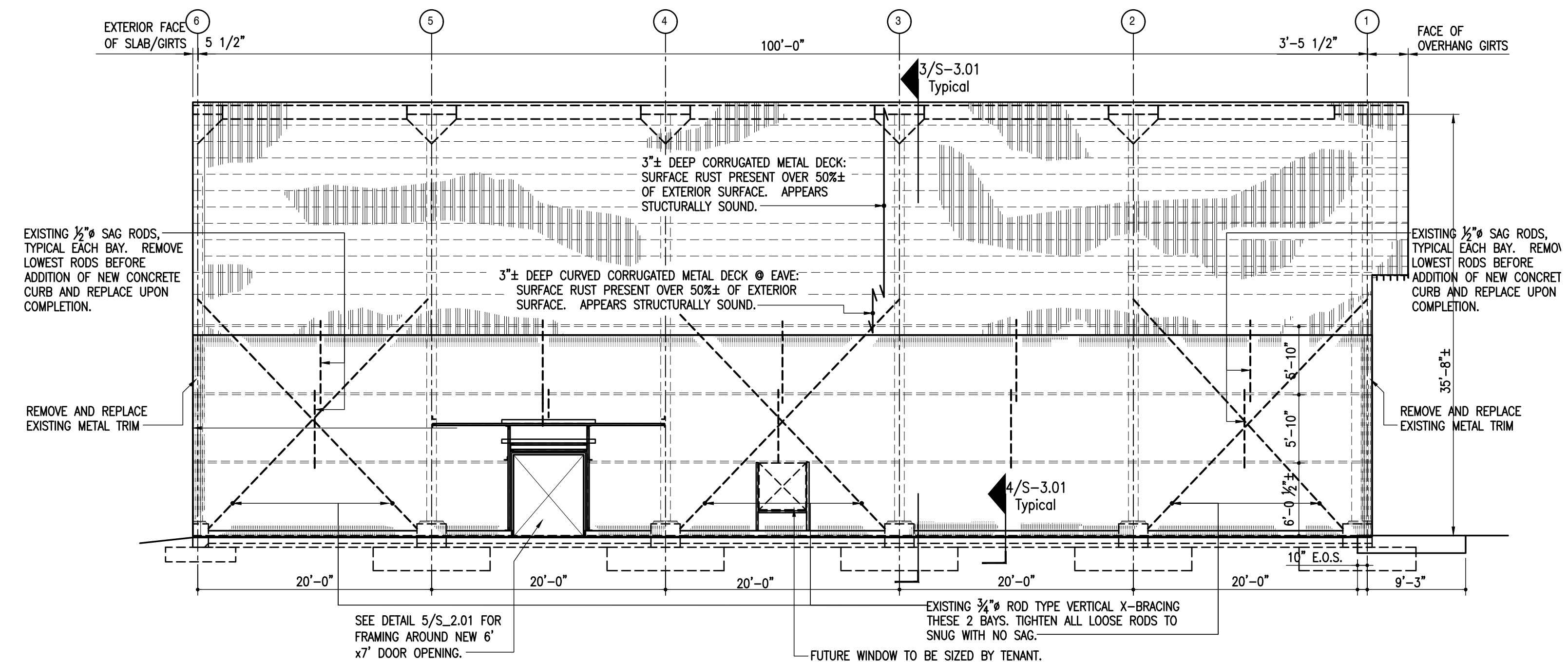
**NOT FOR
CONSTRUCTION**

Foundation & Roof Framing Plans

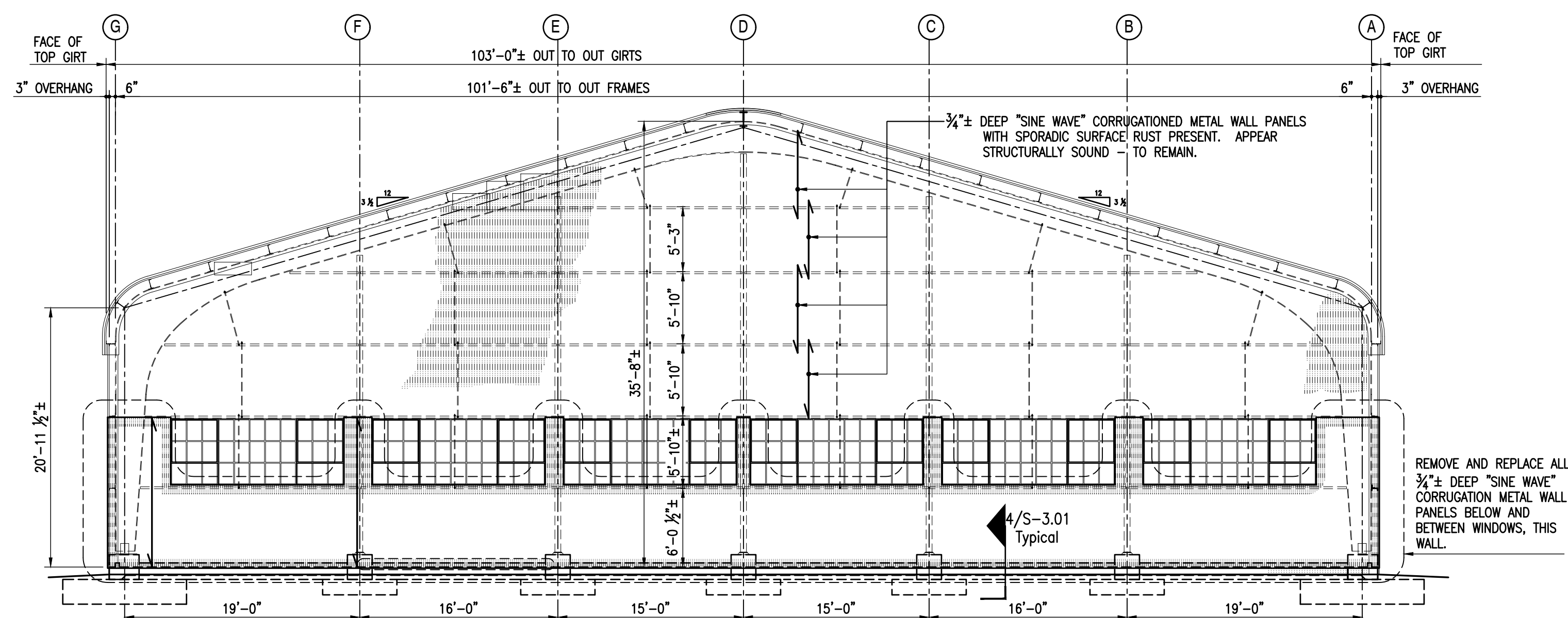
SHEET 1 of 3



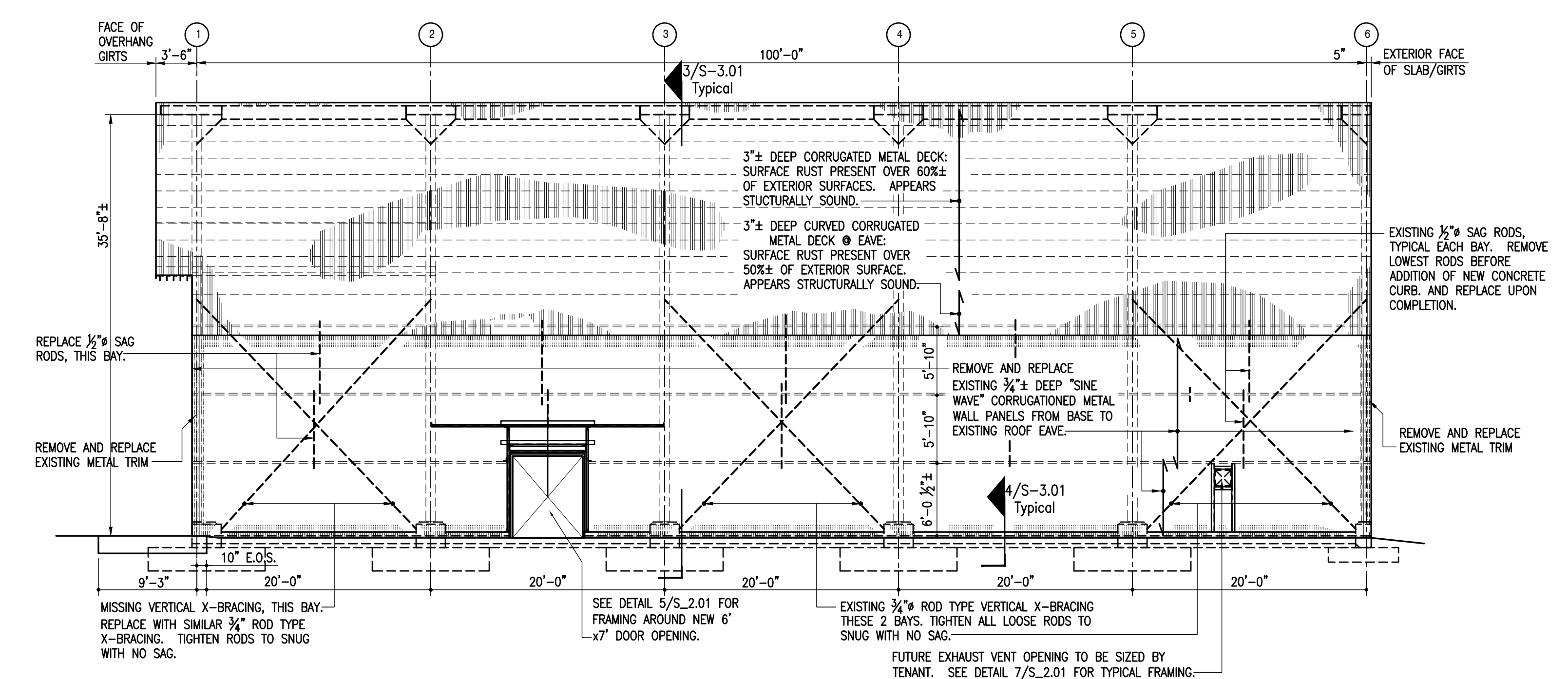
1 Hangar Wall Elevation - Front (South)



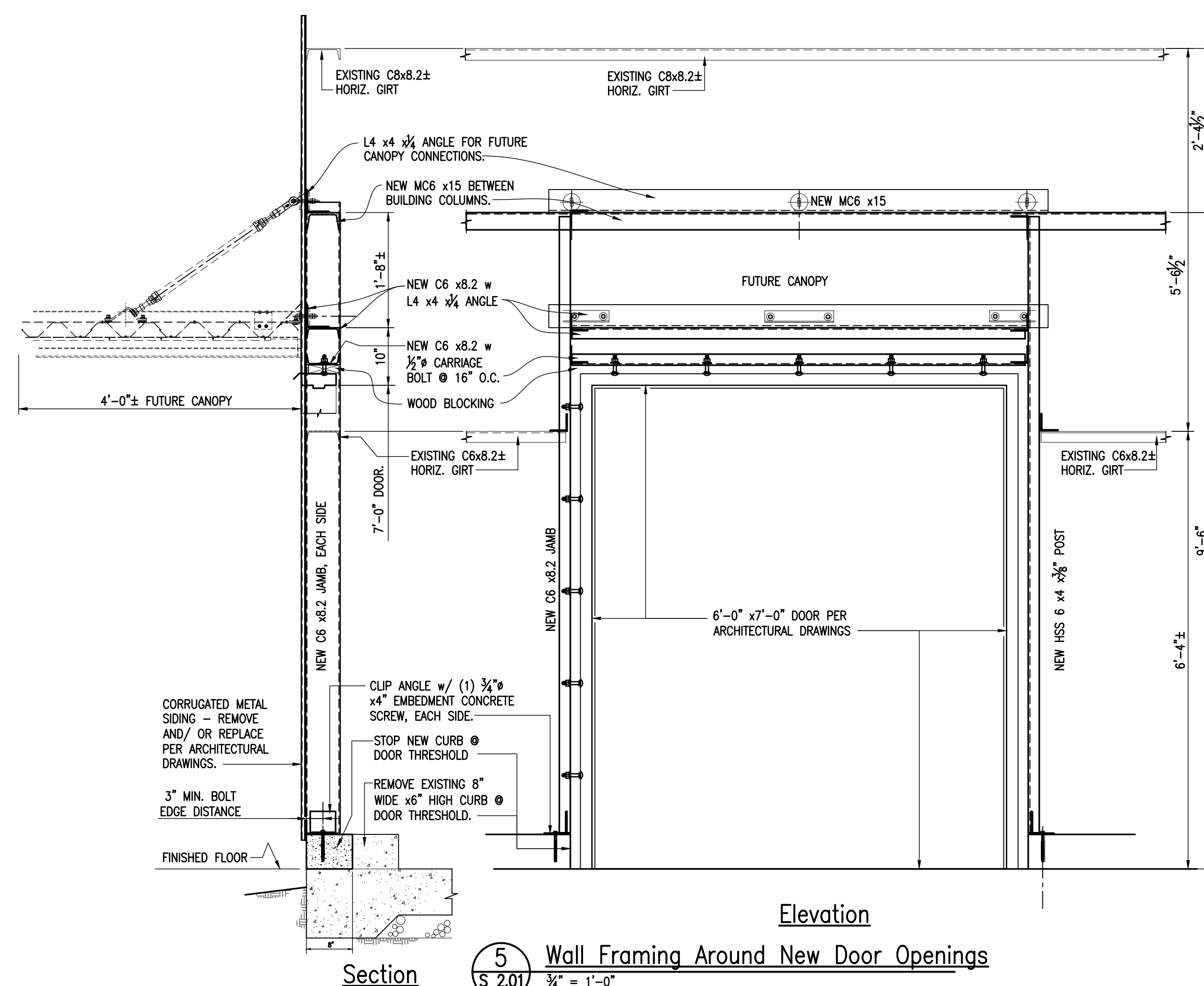
2 Hangar Wall Elevation - Left (West)



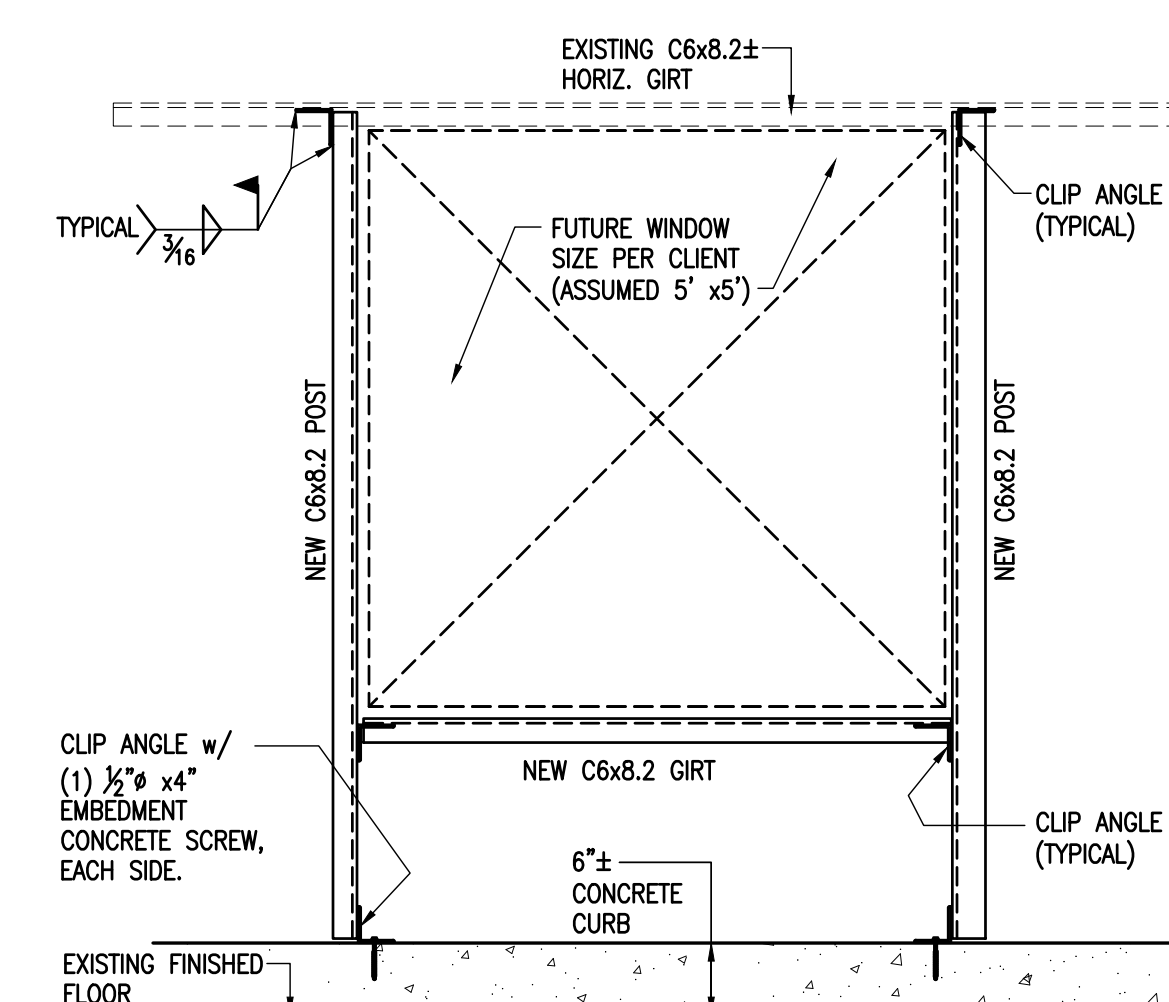
3 Hangar Wall Elevation - Rear (North)



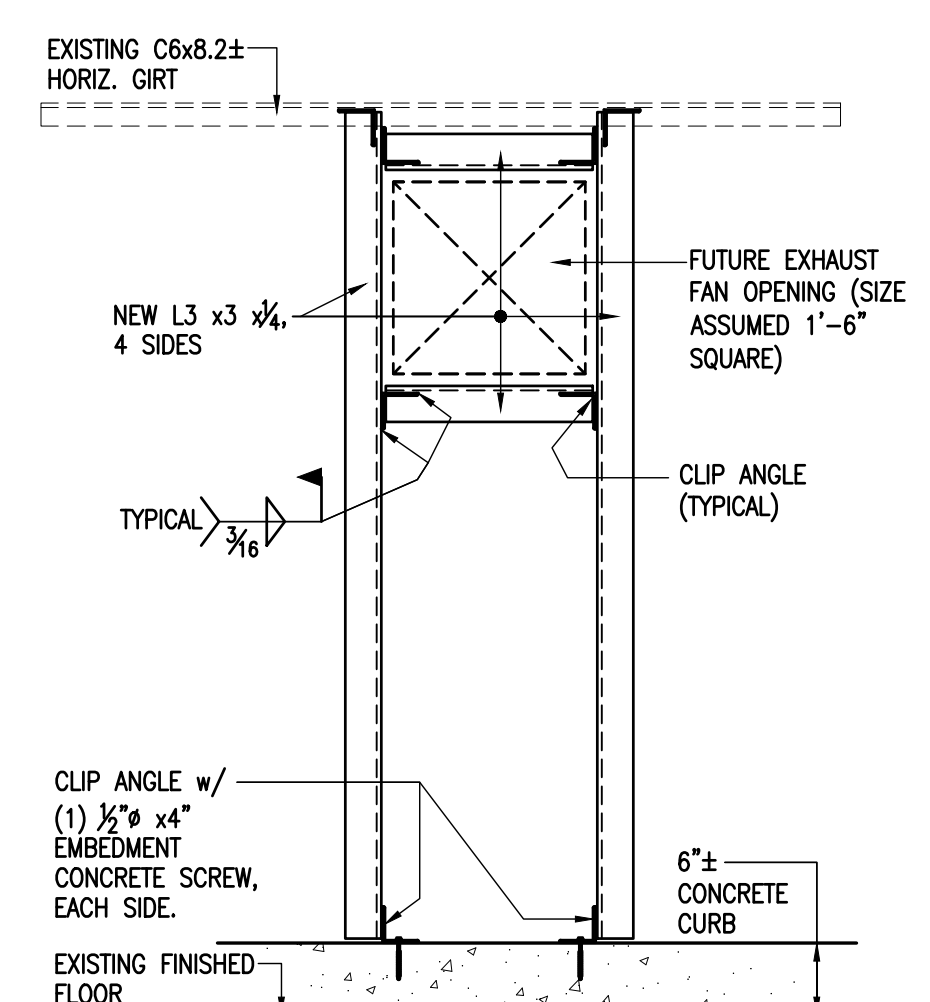
4 Hangar Wall Elevation - Right (East)



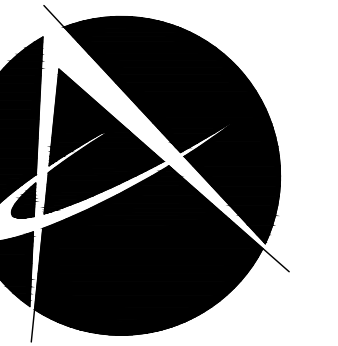
5 Wall Framing Around New Door Openings



6 Wall Framing - Future Window Openings



7 Typical Wall Framing - Future Small Openings



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Preliminary, Not for Construction

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Cell: 704.840.5400
EMAIL: Warner@WarnerEngineeringPA.com

CHARLOTTE AIRPORT
HISTORIC HANGAR
MINUTEMAN WAY
CHARLOTTE, NC

MNM Project Number: 779-2018
Warner Project Number: WAR-18.086a

ISSUE:
02/12/19 As Built
06/18/19 Review
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01/20/22 Design Development
04/11/22 90% Construction Documents

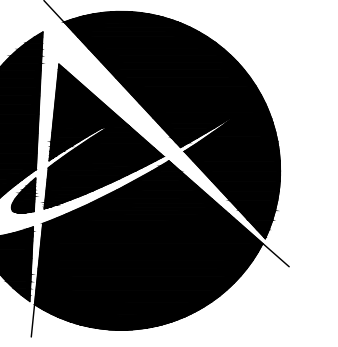
REVISION

NOT FOR CONSTRUCTION

Structural
Exterior
Elevations

S-2.01

SHEET 2 of 3



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CHARLOTTE AIRPORT
HISTORIC HANGAR
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MNM Project Number: 779-2018
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ISSUE:
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REVISION

**NOT FOR
CONSTRUCTION**

Frame Sections
and Foundation
Details

S-3.01

SHEET 3 of 3

