

# Ervin Building

*Local Landmark Designation*



Prepared by  
MacRostie Historic Advisors, LLC

In partnership with  
GVest

## **I. General Information**

1. Common and Historic Name of Property: Ervin Building

2. Physical Address:

4037 East Independence Boulevard  
Charlotte, North Carolina 282

3. Tax Parcel Identification Number: 13111110 and 13111114

4. Current Owner Name: The Ervin Building, LLC Raymond M. Gee

5. Current Owner Mailing Address:

c/o Raymond M. Gee  
8334 Pineville Matthews Rd  
Ste 103-256  
Charlotte, NC 28220



## **II. Abstract**

### **1. Summary of Property's Significance and Degree of Integrity**

The Ervin Building at 4037 East Independence Boulevard is a significant historic property for its association with Charlotte developer Charles Ervin. Ervin, a builder turned developer, founded the Ervin Company by 1951 and capitalized on the building boom following World War II. As part of his vision for the future, Ervin built a new office building along the decade old Independence Boulevard, a crosstown road meant to provide better access to the suburbs of Charlotte. The Ervin Building, completed in 1964, was constructed as the first major large-scale commercial structure along this road, and the building still retains its mid-century modern design and the important features Ervin included to create cohesive workplace.

### **2. Property and Boundaries**

The property is located at 4037 East Independence Boulevard, Charlotte, North Carolina with tax parcel identification number 13111110 and 13111114. The lot is bounded by East Independence Boulevard to the northwest, Pierson Drive to the southeast, Bamboo Street to the east and northeast, and 4001 East Independence Boulevard to the northwest. The building sits at the rear of the lot along Bamboo Street.

### III. Historic Background

1. Property History: The historic Ervin Building was designed by Ferebee, Walters & Associates for Charles Ervin of the Ervin Company in 1964 to house the offices of his rapidly growing business. The building is an example of mid-century modern design and the outward suburban growth of Charlotte post-World War II. Ervin built his name and company primarily on residential suburban developments and shopping centers, but his office building was a declarative design of

2. Date(s) of Construction: 1964

3. Date(s) of Additions and/or Alterations: 1990s

### **III. Historic Background, Cont.**

#### **Ervin Chain of Title**

The following Deed information pertains only to Charles Ervin's period of ownership of the property.

**Date:** July 9<sup>th</sup>, 1953

**Book:** 1623    **Page:** 509

**Grantor:** M. E. Pierson, et. al.

**Grantee:** Charles C. Ervin

**Notes:** Charles Ervin first purchased the undeveloped tract of land for \$100.00 in 1953. Ervin also purchased other tracts of land surrounding the future Ervin Building site for future developments.

**Date:** March 29<sup>th</sup>, 1954

**Book:** 1677    **Page:** 15

**Grantor:** Charles C. Ervin and Mary Frances Ervin

**Grantee:** Ervin Construction Company, Inc.

**Notes:** Charles Ervin and his wife sold the property to his construction company for \$1.00.

The property stays within the larger Ervin Company ownership (though under some different entity names) until 1970, when it was sold.

## IV. Assessment

### 1. Statement of Significance

#### Growth of Charlotte Suburbs

The Ervin Building marks an important movement of commercial buildings to the southeast of Charlotte in the mid-twentieth century, a time when the city was already experiencing rapid growth. The trend of expansion from the city center of Charlotte to the southeast area began well before the Ervin Building was built, as homes and suburbs began appearing around the turn of the 20<sup>th</sup> century. But once these suburban neighborhoods were established, the need for businesses to serve them became apparent. Charles Ervin planned to be at the forefront of this movement eastward and built his new office building along East Independence Boulevard.

Long before Ervin began his career, Charlotte had established itself as a place of rapid growth and prosperity. As with much of the South, Charlotte became a thriving town because of its prominence along trade routes. With the addition of the county courthouse in the 1760s, Charlotte was the center of trade for that region of North Carolina.<sup>1</sup> Through the next century, plantations and gold mining drove the economy of the small urban center, drawing people from the surrounding counties. The introduction of the railroad in the 1850s, which helped connect Charlotte to Columbia, South Carolina, and the state capital of Raleigh, pushed Charlotte to grow and expand more than any other town in the region. After the Civil War, the further expansion of the city's railroads caused an industrial boom, which in turn drew more people to the area to work. Several large, successful cotton mills sprang up in the city at this time.<sup>2</sup>

By the turn of the twentieth century, cotton mills and other industries were driving the economy of Charlotte, and in 1891 the city started operating electric trolley cars.<sup>3</sup> Suddenly, the new lifestyle of suburbs were a viable option for many of the residents of Charlotte, and the growth outside of the city was substantial. The first main suburb, Dilworth, was built south of the city center of Charlotte by Edward Dilworth Latta.<sup>4</sup> Next, the neighborhood of Elizabeth was built along the streetcar line running east of the city in 1900. Many of the wealthiest residents of Charlotte moved to these areas, enticed by the large homes, green space, and easy transportation into the city. Many more of these suburban neighborhoods would pop up along the streetcar lines extending to the south and the east of the city throughout the next few decades, mostly funded by early developers who saw this new trend in building.<sup>5</sup> As suburban living became more popular, businesses and other commercial activity followed by moving outside of the city center in the 1920s and 1930s.

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<sup>1</sup> Dr. Thomas W. Hanchett, "The Growth of Charlotte: A History," Charlotte-Mecklenburg Historic Landmarks Commission, accessed September 16, 2018, <http://www.cmhpf.org/educhargrowth.htm>.

<sup>2</sup> Ibid.

<sup>3</sup> Ibid.

<sup>4</sup> "History Timeline," Charlotte Mecklenburg Library, accessed September 16, 2018, <https://www.cmstory.org/history-timeline#222>.

<sup>5</sup> Dr. Thomas W. Hanchett, "The Elizabeth Neighborhood: Change and Continuity in Charlotte's Second Streetcar Suburb," Charlotte-Mecklenburg Historic Landmarks Commission, accessed September 15, 2018, <http://landmarkscommission.org/wp-content/uploads/2016/11/THE-ELIZABETH-NEIGHBORHOOD.pdf>.

After World War II, the large number of returning soldiers, new-found middle-class wealth, and affordable personal transportation caused another suburban building boom. Charlotte was no different in experiencing this new economic development, and developers took advantage of the growing market. The City of Charlotte recognized this drastic need for housing and willingly expanded utility services to anyone building on undeveloped land.<sup>6</sup> Charles Ervin was one such returning veteran, and it was at this time that he began his career in construction, starting as a bricklayer in the mid-1940s. He built his own house in 1947 while operating two grocery stores with his brother, and almost immediately after his house was finished, he received an offer by a veteran to buy his house. This immediate first success led Ervin to his own construction company.<sup>7</sup>

### Ervin Construction Company

Ervin began his business building custom homes on lots people already owned, but he quickly switched to developing planned communities. Within the company's first year, Ervin sold \$2.5 million<sup>8</sup> worth of houses; considering that there were a record number of housing permits pulled for that year, it is no wonder. He started with the development of Country Club Hills in 1950 and Eastway Park in 1952. Both developments sit to the east of downtown Charlotte, marking the rapid growth of the city outwards.<sup>9</sup> In Eastway Park, Ervin built 200 houses by May of 1955, with plans to expand the development due to its success. His company provided all services for the development, including building the roads and sewers. This was a model he would repeat time and again, growing his company to be a one-stop-shop for new neighborhood developments.<sup>10</sup>

In 1953, Ervin started Beechwood Acres, and the next year his company broke ground on Providence Park. They spread his reach even further throughout Charlotte, with Beechwood to the northwest of downtown and Providence Park to the south. 1955 saw the start of Markham Village, Longwood, and Oaklawn Park. At the time, housing developments were separated by race, and Oaklawn Park was Ervin's first foray into building a housing development specifically for the African American community of Charlotte. A 1955 spread in *The Charlotte Observer* advertised his most recent housing developments and the company in general, touting Ervin as an example of the American Dream. He had grown his business from 15 employees in 1947 to 400 by 1955, with the company offices and warehouse at 3400 Rozzelles Ferry Road.<sup>11</sup>

As one would expect with a housing boom, the population of Charlotte was growing from 1940 to 1970, and Charlotte was growing mainly in its suburbs and the city boundaries kept expanding as well. The new families moving to Charlotte appreciated the same qualities of suburban living that those in

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<sup>6</sup> Wyatt and Woodard, "Final Report: Post World War Two Survey."

<sup>7</sup> Charles W. Waring Jr, "Young Men Bring Experience to Home Building Project," *Charleston Evening Post*, September 15, 1964, Newsbank Database.

<sup>8</sup> All monetary values in this report are listed as they were in the original sources without current inflation rates.

<sup>9</sup> Country Club Hills was built as a new development off of the already well-established Charlotte Country Club, making it a relatively safe investment.

<sup>10</sup> For a more thorough list of Ervin Company projects, please refer to the end of this document. The list was compiled based on newspaper archives available on Newspapers.com and NewsBank.

<sup>11</sup> "Ervin Is Story Of American Enterprise," *Charlotte Observer*, May 1, 1955.



the early-twentieth century did: spacious, private living with plenty of green space.<sup>12</sup> The Ervin Construction Company realized what drew families to the suburbs and marketed their houses to attract them. Following FHA standards of the time, Ervin designed his developments in primarily Traditional and Colonial Revival styles on curvilinear roads, eschewing the riskier Modernist designs that were also prevalent at the time.<sup>13</sup> Even though his house designs were relatively modest and safe, for his office building Ervin did adopt the Modernist style.

By 1958 the company was listed as the South's largest home builder and was even named in *House and Home* magazine as "perhaps the nation's largest custom home builder." Ervin had figured out the formula for building customizable homes for a relatively low cost. His model was so successful that it was estimated his company sold 600 custom homes in 1958, and about 80 percent of their houses were sold before completion. This allowed the homeowner to personalize many different aspects of the house.<sup>14</sup> A "custom" home still generally followed a prescribed stock design set forth by the Ervin Company, a practice that rose during this time and is still widely used today. This allowed the homebuyer some choice, but kept costs relatively low.<sup>15</sup> In 1959, an article advertising a new development by Ervin claimed the company had over 100 different floor plans, but also the option of personalized floor plans should the customer be more discerning (see newspaper ads at the end of this report for a few examples of Ervin built homes). Though Ervin's houses' floor plans were customizable, he also had his own guidelines for the most profitable floor plan for 1950s and 1960s families: three bedrooms, one and a half baths, and a family room (a living room was only necessary if the couple specified).<sup>16</sup> Styles of houses ranged from "modern to colonial" and that each home plan was "the result of study and research and is advanced in livability and convenience."<sup>17</sup> Ervin Company houses cost a family between \$8,000 and \$50,000 at the time. Each development, though, kept a relatively tight range of housing prices creating a homogeneous appearance and neighborhood resident. Ervin designed more affluent neighborhoods such as Country Club Acres and Providence Park to lower-priced developments such as Beechwood Acres and Westerly Hills.<sup>18</sup> To ensure that every customer was happy, the Ervin Company provided a gift for every new homeowner, and there was a special department within the company that would help with maintenance and repairs of the home even after the owners moved in.<sup>19</sup>

Landscaping was included as a part of the Ervin Company experience, and in one development they even paid the homeowner's share in safety sidewalks, matching the 50 percent paid by the city.<sup>20</sup> Ervin built and expanded his company so that all aspects of home buying could be completed through the

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<sup>12</sup> Sherry Joines Wyatt and Sarah Woodard, "Final Report: Post World War Two Survey," Charlotte-Mecklenburg Historic Landmarks Commission, accessed September 15, 2018,

<http://www.cmhpf.org/Surveys/postww2survey.htm>

<sup>13</sup> Thomas W. Hanchett, *Sorting Out the New South City* (Chapel Hill, NC: University of North Carolina Press, 1998), 223.

<sup>14</sup> Fred Sheheen, "Ervin: Teamwork Brings Fame as Builders," *Charlotte Observer*, September 6, 1958.

<sup>15</sup> Hanchett, *Sorting Out the New South City*, 234.

<sup>16</sup> Rolfe Neill, "His Passion? More Homes, Not Money," *Charlotte Observer*, May 1, 1960.

<sup>17</sup> "Ervin Construction Purchases 115 Acres," *Gastonia Gazette* (Gastonia, North Carolina), September 3, 1959, accessed September 15, 2018,

<https://www.newspapers.com/image/19722510/?terms=%22ervin%2Bconstruction%2Bco%22>

<sup>18</sup> Hanchett, *Sorting Out the New South City*, 234-235.

<sup>19</sup> Fred Sheheen, "Ervin: Teamwork Brings Fame as Builders," *Charlotte Observer*, September 6, 1958.

<sup>20</sup> "Ervin to Build Safety Sidewalks: Subdivision will Protect Children," *Gastonia Gazette* (Gastonia, North Carolina), December 8, 1959, accessed September 15, 2018,

<https://www.newspapers.com/image/4307261/?terms=%22ervin%2Bconstruction%22>

Ervin Company. Floor plans could be adjusted in-house to suit any potential homebuyers' wishes. By 1959, the company had its own financial department to help those potential buyers wishing to access G.I. and other loans.<sup>21</sup> Ervin even opened a furniture retail store along Independence Boulevard, not far from his 1964 office building, to allow home-buyers the opportunity to purchase an interior design package along with their new home. He modeled his Hallmark Galleries after a furniture gallery opened by the Levitt and Sons on Long Island in New York.<sup>22</sup> Part of Ervin's success was based on identifying areas of Charlotte destined for future city expansion, and this technique paid off as Charlotte rapidly annexed new areas into the city during the 1960s.<sup>23</sup>

Ervin's interests reached beyond just basic home building. He was entranced by the futuristic schemes that pervaded American thought during the 1950s and 1960s. Space travel was on everyone's mind, as was the uncertainty of the ongoing Cold War. Ervin was fascinated by the promise of tomorrow and eagerly followed new innovations in technology including city planning. In fact, he greatly admired the work of Walt Disney, who opened his first theme park in Anaheim, California in 1955. Sixty years on, opponents to Disney culture claim that the world of Walt Disney is a caricature of life as we will never know it. But at the time, Disney was a proponent of progress, of bringing people together, and creating a utopian society. He would eventually add the futuristic "Tomorrowland" to his Disneyland theme park and design exhibits for the 1964 New York's World Fair that included the "Carousel of Progress" and "It's a Small World". Both exhibits were eventually added to Disney's theme parks.<sup>24</sup> Ervin was heavily influenced by Walt Disney and his desire to bring people together through his theme parks. Disney wrote a letter to Ervin in 1959 thanking him for a phone call they shared and encouraged him to continue with his plans for the future of Charlotte as Disney liked his "ambitions to showcase ingenuity and achievement there."<sup>25</sup>

Ervin's ideals of homeownership for all and his business model of providing all services in house made him a millionaire by the age of 31 in 1955. A profile on Ervin in the *Charlotte Observer* described him as follows: "If Charles C. Ervin were shipwrecked on a desert island he undoubtedly would have it subdivided, landscaped and financed by the time his rescuers arrived."<sup>26</sup> His had gained attention in the Charlotte business world because of his success, which included selling nearly \$12 million worth of homes in 1959. By 1960 he had built 5,000 homes in the Charlotte area, and in 1960 he had built one in three new homes in Charlotte; Ervin was the nation's seventh largest homebuilder. He became a director of the Charlotte Chamber of Commerce the same year. Ervin's success came not just from his own business acumen, but also from the ability to hire skilled people and allow them the space to complete their jobs. In the same profile on Ervin, an observer is quoted saying, "In listing his qualities I'd say one of his chief ones is his insight into human nature. He can distinguish between what is real and sham in people as well as property."<sup>27</sup> Ervin even created a competition amongst his 57 construction crews in 1961 to try and increase productivity and save the company money. His plan worked, and in August of 1961 he had more than \$2.5 million worth of new houses under construction in Charlotte while increasing construction crew productivity up to 10 percent. In 1961, the company

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<sup>21</sup> "Ervin Construction Purchases 115 Acres."

<sup>22</sup> Tom Crobitt, "Ervin Offers One-Stop Furnishings," *Charlotte Observer*, accessed from the Ervin Company Vertical File in the Carolina Room and the Charlotte Mecklenburg Library.

<sup>23</sup> Wyatt and Woodard, "Post World War Two Survey."

<sup>24</sup> Steve Rose, "Tomorrowland: how Walt Disney's strange utopia shaped the world of tomorrow", *The Guardian* (London, England), May 21, 2015.

<sup>25</sup> Letter to Charles Ervin, from Walt Disney, July 30, 1959.

<sup>26</sup> Rolfe Neill, "His Passion? More Homes, Not Money," *Charlotte Observer*, May 1, 1960.

<sup>27</sup> Rolfe Neill, "His Passion? More Homes, Not Money," *Charlotte Observer*, May 1, 1960.

had 1,081 people on their payroll and the company had made more than \$75 million in sales since the company was founded.<sup>28</sup>

Ervin was building an empire, and many people were intrigued by the man behind one-third of the new homes built in Charlotte. Even though he had hired people who could easily run his company for him, he continued working 14-hour days six days a week and always bet on his homebuilding model of success. At home, he was married to Mary Frances Underdown, a “pretty piano player,” he met while in the Navy. They had four children: Frances, Suzanne, Charles Jr., and Milton. His father had been a Methodist reverend, but Ervin was not particularly religious himself.<sup>29</sup> Ervin did sell land in his developments to churches and schools at a heavily discounted price, though it also made good business sense to have those amenities close to his family-friendly neighborhoods. Coworkers and friends always discuss how he was driven by providing stable jobs and quality homes to a wide range of families, rather than money. Every newspaper article about Ervin in the early 1960s mentions that he wears knit sports shirts to work and sweaters to restaurants – rather sacrilegious attire for a millionaire when coats and ties were *de rigueur*.<sup>30</sup>

Ervin’s desire to build a happier place for all extended into racial issues as well. His company was building in the South during a very turbulent time where African Americans were treated like second class citizens and denied basic rights, even when it came to housing. In 1962, President Kennedy decreed that all contractors who intended to use federal funds to build houses must sign an anti-discrimination pledge. This new objective caused quite a stir in the industry. When Ervin, who was one of the preeminent builders in the South, was interviewed about the pledge, he claimed it would have no impact on his business.<sup>31</sup> In 1964, a newspaper article announced a new “Negro housing development” to be built north of Charlotte; the developer and builder was the Ervin Company. Some residents of the city, especially those near the proposed neighborhood, reacted very negatively to this proposed plan. As described in a newspaper article about the event, ten “white housewives” planned on picketing the Ervin Construction Company offices in protest. Their argument was that the quality of homes built by the company would attract a less than desirable type of homeowner that would reduce their property values, though the newspaper article from 1964 seemed skeptical of their reasons.<sup>32</sup>

The Ervin Company would continue to be a controversial developer entangled in racial disputes until the company folded in the mid-1970s. The company faced racial discrimination lawsuits for its Tega Cay development in South Carolina. Charges alleged that potential African American homebuyers were turned away, and that the company refused to hire African Americans to work in the resort-style development. On August 26, 1971, a dedicated citizen of the Hickory Grove neighborhood in Charlotte brought some fellow residents and friends to the Ervin Building to picket against the company’s involvement with the city on a potential federally subsidized apartment building. Her

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<sup>28</sup> Harry Snook, “Workmen Compete to Help Ervin Shave Building Costs,” *Charlotte Observer*, September 24, 1961.

<sup>29</sup> Rolfe Neill, “His Passion? More Homes, Not Money,” *Charlotte Observer*, May 1, 1960.

<sup>30</sup> Harry Snook, “Workmen Compete to Help Ervin Shave Building Costs,” *Charlotte Observer*, September 24, 1961.

<sup>31</sup> “Housing Order Seen Affecting Many Builders,” *Times and Democrat* (Orangeburg, NC), November 22, 1962, accessed September 16, 2018,

<https://www.newspapers.com/image/343927034/?terms=%22ervin%2Bconstruction%22>.

<sup>32</sup> “Housewives Plan Protest,” *Statesville Record and Landmark* (Statesville, NC), December 19, 1964, accessed September 16, 2018, <https://www.newspapers.com/image/3073784/?terms=%22ervin%2Bconstruction%22>.

claims were unsubstantiated, but the Tega Cay lawsuit had significantly marred the company's reputation.<sup>33</sup>

### Development of 4037 E. Independence Boulevard

Since Ervin based his company on building the new suburbs of Charlotte and other Southern cities, when it came time to find new headquarters for his business, he eagerly chose to break ground in a developing area. In fact, it was an area he had already had a huge part in developing, but on the residential side. While the affordability of cars enticed downtown and uptown workers to move to the suburbs and commute to work every day, many businesses also started seeing the benefits of moving outside the city as well. Charlotte proved no different, and by the end of the 1950s, businesses were moving to the suburbs.<sup>34</sup>

For the Ervin Construction Company, building a large headquarters building along the decade-and-a-half old East Independence Boulevard seemed like a good bet. Independence Boulevard was a major road providing access to and from the city of Charlotte. The large, multi-lane road was built to ease traffic concerns and make accessing the city from the outlying suburbs easy. But from the very beginning, the road sparked controversy and irritated residents.<sup>35</sup> After its completion in 1949, city officials who had championed the building of the cross-town boulevard proved correct in their predictions that the road was much needed. More and more people used it every day for decades with as many as 25,000 cars using it daily by the 1960s.<sup>36</sup> One of the biggest and earliest additions to East Independence Boulevard was the construction of the Charlotte Coliseum and Ovens Auditorium in 1955.<sup>37</sup> By 1963, Ervin saw the growth and development, both residential and commercial, along this stretch of Independence Boulevard and chose to build his new headquarters, the first skyscraper east of downtown Charlotte, at 4037 East Independence Boulevard.

Beyond just expanding the commercial ventures of Charlotte further east down Independence Boulevard, Ervin wanted his new office building to consider new ways to bring employees together. Designed by the architectural firm Ferebee, Walters & Associates, the building was to contain public spaces with connecting corridors to facilitate better and more frequent interactions between employees. The interior walls between offices were temporary in nature so the spaces could be easily adapted to fit the needs of new occupants and different business functions.

The firm who designed the Modernist structure, Ferebee, Walters & Associates, was led by S. Scott Ferebee, Jr., a major general in the United States Army and later president of the American Institute of Architects (AIA). Ferebee graduated from NC State University in 1948 with a Bachelor of

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<sup>33</sup> Bradley Martin, "Pickers Say Ervin Housing Discriminatory," *Charlotte Observer*, August 26, 1971, accessed from NewsBank.

<sup>34</sup> Wyatt and Woodard, "Post World War Two Survey."

<sup>35</sup> Dr. Dan L. Morrill, "The Building of Independence Boulevard," Charlotte-Mecklenburg Historic Landmarks Commission, accessed September 16, 2018, <http://www.cmhpf.org/educationtransportationindependence.htm>.

<sup>36</sup> Michael Graff, "Our Roads, Our Story: Independence Boulevard," *Charlotte Magazine*, February 12, 2014, <http://www.charlottemagazine.com/Charlotte-Magazine/March-2014/Our-Roads-Our-Story-Independence-Boulevard/>.

<sup>37</sup> "History of Bojangles' Coliseum and Ovens Auditorium," Bojangles' Coliseum, accessed September 10, 2018, <http://www.bojanglescoliseum.com/bojangles-coliseum-history>.

Architectural Engineering degree.<sup>38</sup> Just as Ervin was one of the most prolific builders in North Carolina in the mid-twentieth century, Ferebee's firm worked throughout North and South Carolina, designing commercial projects such as shopping centers and banks, as well as multi-family residential buildings. Prior to serving as president of the AIA, Ferebee was president of the North Carolina AIA chapter from the late 1950s until he became president of the national AIA. He was also instrumental in founding the University of North Carolina Charlotte's School of Architecture. Ferebee's firm, which he formed with partner Herschel Walters, is still in business today, now renamed the FWA Group.<sup>39</sup>

The opening of the Ervin Building in 1965 led to a multi-page spread in the *Charlotte Observer* with photographs of employees in the new building and congratulations from the many suppliers Ervin used in his developments. The Ervin Company took up the first three and a half floors of the building, and the other four and a half were filled with offices for: Ferebee, Walters, and Associates; Reynolds Metals Company; Cameron-Brown Company; Anaconda Wire and Cable Company; Great American Group of Insurance Companies; Brockway Glass Company; Victory Company; Fuller Brush Company; Baptist Children's Homes of NC; Master Builder Company; Orkin Exterminating Company; Encyclopedia Britannica; and Gibson Smith Realty Company, who oversaw the leasing of the building. The Ervin Company's offices included the multiple different departments under the Ervin umbrella, including the accounting department (who received state-of-the-art computers for the new building), the engineering department (who oversaw all the roads and sewage systems cut into new developments), and the architecture department (who reportedly designed over 7,000 Ervin homes by 1965). As Ervin developed in previously untouched land on the edge of town, he also owned three public utility systems in 1965 to provide water and power to residents. At the time he also had in applications for three more utility systems.<sup>40</sup>

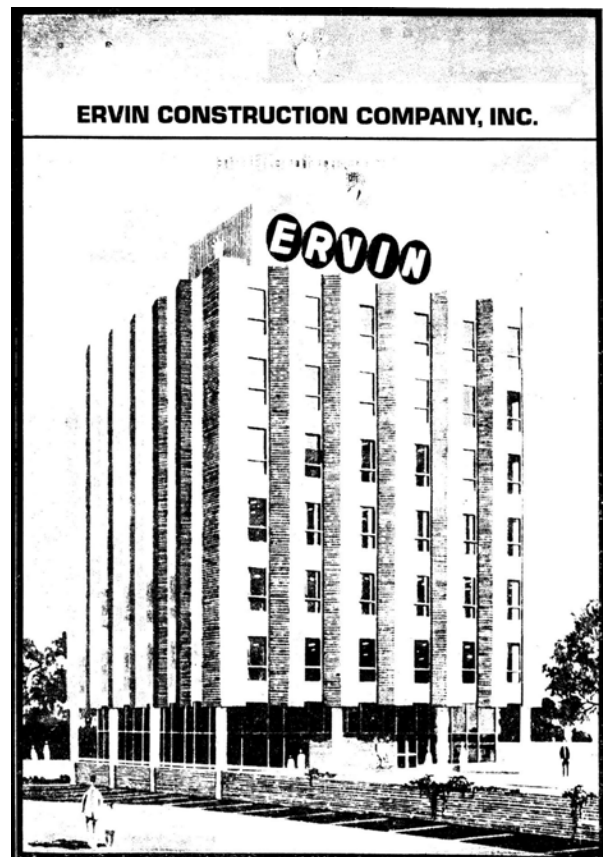


Figure 1. Photo of the Ervin Building from a 1965 *Charlotte Observer* article about the opening of the building.

Ervin continued to see success after the construction of his new office building. It did not take long for Ervin to plan and build another office building not far from the one on Independence Boulevard. By 1968 Ervin had commissioned Ferebee, Walters & Associates to design a building for 4822 Albemarle Road, a mere mile away. Within the four short years the Ervin company had expanded so much to the point where they were already running out of office space at their Independence Boulevard location. The first plan for the new building was to be a copy of the 1964 structure, but

<sup>38</sup> "S. Scott Ferebee Jr. (1921 – 2016)," *Charlotte Observer*, November 24, 2016, accessed September 18, 2018, <https://www.legacy.com/obituaries/charlotte/obituary.aspx?n=s-scott-ferebee&pid=182702918>.

<sup>39</sup> "S. Scott Ferebee, Jr. (1921 – 2016)."

<sup>40</sup> "Ervin Construction Company, Inc.," *Charlotte Observer*, January 25, 1965.



plans were changed in order to provide more space. Ervin moved some of their operations into the new office building, specifically the company computer that was a unique feature at the time (and required significant space). Other offices were rented out. The architects designed the new structure to be a three-story building “contemporary in design capped with a bronze mansard roofline.”<sup>41</sup> Ervin still had hopes of eastern expansion of the main business corridor of Charlotte. The second Ervin office building still stands today.

### The Ervin Legacy

After 20 years in the business, Ervin had created a housing empire in the Charlotte area and other parts of the Carolinas, and he continued to plan for even greater expansion. In 1968, it was estimated that the Ervin Company had built 10,000 single family dwellings, 2,000 apartment units, and about 2 million square feet of retail and warehouse space in the greater Charlotte area. This totaled about \$300 million. He also owned six utility companies serving around 10,000 Charlotte residents, 3,000 acres of raw land in Charlotte, and 5,000 acres of raw land in the surrounding areas. Between his other offices – Gastonia, Winston-Salem, High Point, Spartanburg, and Charleston – Ervin estimates they had built about 2,000 homes, 1,000 apartments, and 200,000 square feet of retail commercial space, all totaling about \$75 million. Because of the large expansion of his company, Ervin rebranded his company at this time as Ervin Industries, Inc., bringing an estimated “25 or so corporations” under a new “corporate umbrella.”<sup>42</sup>

Ervin continued to see measurable success of his company up to 1969. That year his company was considered one of the top community planners in a contest run by the General Electric Company (GE). The three winning projects – Providence Square, Idlewood Farms, and Olde Providence – were featured in Disneyland in Anaheim at the Carousel of Progress.<sup>43</sup> Ervin had planned the Ervin Building around many of the ideas Walt Disney had for the future, so this tied his success and passions together. Disney had designed the Carousel of Progress and the Progress City display for GE in 1964 as a way of representing Disney’s vision for the future.

By 1970, the Ervin Company was struggling to maintain the growth they had seen in previous years. The company was sold to the American Cyanamid Corporation in 1970. In the original announcement for the purchase on August 4 1970, it was announced that the Ervin Company would become a wholly owned subsidiary of Cyanamid with Charles Ervin continuing to sit on their board of directors. He was also named as president of the newly formed Cyanamid Realty Corporation, adding his years of expertise in the Southeast housing market to the already successful Cyanamid.<sup>44</sup> This marked a clear stepping-away by Ervin from the company he had built. Cyanamid invested \$6 million in cash into the Ervin Company for them to expand within the first few months of ownership into Florida, Washington-Baltimore, Virginia, and Stone Mountain, Georgia. The Ervin Company predicted over

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<sup>41</sup> Emery Wister, “\$1.25 Million Office Building is Planned,” *Charlotte News*, December 4, 1968, accessed from the Ervin Company vertical file in the Carolina Room at the Charlotte Mecklenburg Library.

<sup>42</sup> Roy Covington, “After 20 Years, A New ‘Umbrella,’ Ervin Industries Grows,” *Charlotte Observer*, March 10, 1968.

<sup>43</sup> “GE Awards Go To Ervin,” *The Charlotte Observer*, February 19, 1969, accessed from the Ervin Company vertical file in the Carolina Room at the Charlotte Mecklenburg Library.

<sup>44</sup> Emery Wister, “Cyanamid Buys Ervin Company,” *Charlotte News*, August 4, 1970, accessed from the Ervin Company vertical file in the Carolina Room at the Charlotte Mecklenburg Library.

triple in sale numbers in their first year under Cyanamid compared to the year before.<sup>45</sup> The company did see some success during those years, most specifically through their Raintree and Tega Cay developments. Tega Cay, now a town in South Carolina, started as joint ventures between Crescent Land & Timber, a wholly owned subsidiary of the Duke Power Co., and the Ervin Company. Duke Power had acquired a considerable amount of land in the Carolinas while expanding their operation. The land was profitable, and Duke Power jumped on the opportunity to develop it. Crescent Land & Timber undertook many joint ventures with Ervin Co. in 1970, including the transfer of two Ervin Company-owned apartment complexes to a company owned by both parties.

Tega Cay was one of the Ervin Company's last big development pushes before the company folded. Located on Lake Wylie (where Ervin's family had had a vacation house for many years), the developers chose a Polynesian theme for the amenities at resort community. Like Raintree, Tega Cay included a golf course and other amenities including swimming pools and a clubhouse.<sup>46</sup> This was a clearly different approach to the family-centered neighborhoods Ervin had planned around Charlotte. The Ervin Company sold their stake in Tega Cay when the company folded for \$14 million.<sup>47</sup>

Unfortunately, the Ervin Company could not fulfill their promises to Cyanamid. Cyanamid dissolved the company in 1974 and all assets were quickly liquidated. The Ervin Company's quick demise after being sold is only one more testament to Charles Ervin's strong leadership and business acumen. After Ervin sold his company in 1970, the Ervin Building changed hands and was occupied by many different tenants who regularly changed the interior floor plan to suit their needs as was Ervin's hope. The building was most recently known as the Vernadore Building, after the real estate company who owned the structure and had offices on the fourth and fifth floor. The large number of LGBTQ businesses who occupied the other floors led the building to be referred to as "Queer Tower."<sup>48</sup>

While Ervin had great visions for the eastern portion of Charlotte, the growth did not follow Ervin as much as he had hoped. The area never became an alternate city center and to this day, there is only one other tall building like the Ervin Building. Yet the Ervin Building still stands as a testament to the hopes and dreams not only of a man who built one of the largest construction companies in the Southeast, but also of a city that was growing and expanding. Ervin's neighborhoods still dot the outer edges of Charlotte, creating a ring of small 1950s and 1960s developments that have stood the test of time (see maps at end of document for locations of some of Ervin's developments). Ervin's vision for a building that could adapt and change with its tenants and bring together people still holds true today, even as our suburbs, cities, and commercial centers change and adapt further. Though he passed away in 2006, Ervin's legacy is evident in the many different neighborhoods he built in the Charlotte area and beyond.<sup>49</sup> A large majority of the houses he constructed still stand today and have become home to the new generations of Charlotteans searching for the same ideals Ervin was providing in the 1950s

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<sup>45</sup> Allan Sloan, "Ervin Grew When Swallowed," *Charlotte Observer*, August 1, 1971, accessed from the Ervin Company vertical file in the Carolina Room at the Charlotte Mecklenburg Library.

<sup>46</sup> Allan Sloan, "Tega Cay: Its Success is Beginning to Show," *Charlotte Observer*, November 22, 1970.

<sup>47</sup> Roy Covington and Earl Heffner, "Ervin Sells Tega Cay," *Charlotte Observer*, December 24, 1975.

<sup>48</sup> Jeff Taylor, "Can a Building Once Meant to Launch East Charlotte into the Future be Revitalized?" *quotes*, December 10, 2017, accessed September 18, 2018, <https://goqnotes.com/50489/can-a-building-once-meant-to-launch-east-charlotte-into-the-future-be-revitalized/>.

<sup>49</sup> Doug Smith, "2 Men with Quite a Legacy: Marks of Development Pioneers Ervin, Little all Over Community," *Charlotte Observer*, June 20, 2006, accessed September 16, 2018, <https://infoweb-newsbank-com.ezproxy.ccpl.org/resources/doc/nb/news/11269057DF5FCCA0?p=AMNEWS>.

and 1960s: homeownership of a quality house at a reasonable price. The Ervin Building provides a visible, permanent monument to the sprawling Charlotte neighborhoods built by Charles Ervin.

## 2. Architectural Description

The Ervin Building is a seven-story office building southeast of downtown Charlotte. Designed by Ferebee, Walters, and Associates, and completed in 1964, the building served as the headquarters of the Ervin Company, a real estate and construction company founded by Charles Ervin.

### *Site*

The Ervin Building consists of the seven-story structure on a basement surrounded by a large paved parking lot. A one story, Mid-Century Modern retail building sits to the west of the lot. The complex is bounded by E. Independence Boulevard to the south, Pierson Drive to the east, Bamboo Street to the north, and Wilshire Place to the west.

### *Exterior*

All elevations of the Ervin Building are nearly identical with the only deviations occurring on the first level of the building. The square structure rises seven stories high, with a basement level below grade at the south and east elevation. Each elevation contains six bays which are divided by sections of light-colored brick veneer that form raised, triangular pilasters. The corners of the building are also clad in light colored brick that form a flat, continuous surface. These pilasters extend slightly above the seventh level creating a non-continuous parapet and extend down form an overhang between the first and second levels. Each bay consists of a large, metal-framed, one-over-one window, with the top pane covering two-thirds of the opening. The larger top windowpane is a pivot window. A faux marble panel divides each window in between levels.

The first level is recessed, and features metal framed glazed walls. At each elevation, four columns sit below alternating triangular pilasters. The columns are square with either a simple stepped capital or no capital and are now covered in stucco. Photographs appear to show that the columns were originally a white marble and covered in stucco during a 1990s rehabilitation of the structure. A red marble or granite is visible at the base of some of the columns. A simple drop-ceiling covers the second level overhang and a concrete tile floor is placed around the ground level. The ground level is currently covered in plywood to prevent vandalism to the building. On the roof, a one-story mechanical space is set stepped back from the exterior edge and is enclosed with corrugated metal panel walls. Earlier photos seem to show that this mechanical enclosure originally had smooth panel walls painted a light color with large lettering spelling out "ERVIN" along the west elevation. The lettering was removed in 1977 according to a newspaper article and the wall material may have been replaced at that time. The corrugated metal is currently painted black and has cellular antennas mounted to its side in place around the roof level.

### *South Elevation*

The south elevation contains the main entrance to the building. Currently covered in plywood, two metal-framed glass doors open into the main lobby. Some of the glass of the first level windows remain, but the majority have been broken by vandals and are covered with plywood. The metal window frames remain intact.

### *East Elevation*

The columns at the first level have been covered with stucco but do not have the decorative capital detail added to as they did on the south elevation. The second level windows have also been covered in plywood due to damage from vandals. Most of the glass at this elevation has been broken or removed. As on the south elevation, the metal frames still remain. The east elevation opens onto a raised parking lot, as Bamboo Street and Pierson Drive slope down to accommodate the underpass at the intersection of Bamboo Street and E. Independence Boulevard.

At the north end of the east elevation, four concrete steps framed by a low retaining wall lead to the parking lot. The retaining wall extends around to the north elevation.

### *North Elevation*

The north elevation copies the south and east elevations, with the same six bays of windows per level and raised, triangular, brick vertical pilasters. The first level is recessed as well, however the basement level is now at ground level; below the fifth bay, a concrete staircase leads to an entrance to the basement. The same low, light-colored brick retaining wall from the east elevation wraps around to the north. As with the other elevations, the first level is covered in plywood. The glass in the windows in the northeast offices no longer remain. The other offices along the first level of the north elevation retain their glass.

### *West Elevation*

The ground level is also visible at this elevation. The same retaining wall wraps around from the north elevation. A centrally located staircase leads to the basement and is covered by a concrete awning that extends from the ground level. Another exterior staircase at the southwest corner provides access from the first level from the parking lot. The majority of the first level offices have been covered in sheet rock two-thirds of the way up the wall. Some panes of glass above the paneling have been removed. The southwest corner office has plywood on both the interior and exterior, with a few panes of glass remaining.

The upper levels of the west elevation are the same as the east and north elevations, with the same simple columns.

### ***Interior***

No historic floor plans have been located but the Ervin Building retains what appear to be historic partitions to suggest the original layout. Later tenants of the building changed some office layouts and the size and width of corridors on the upper floors by removing partitions to combine offices and rooms and installing additional partitions to sub-divide spaces as needed. While numerous changes are evident the original concept of the building design is still conveyed.

### *Basement Level*



Accessed through an exterior door on the west and north elevations or through the west interior staircase, the basement level follows a relatively similar plan as the ground level and upper levels of the building. A central mechanical and circulation core sits in the middle of the floor plan housing staircases, elevators, and bathrooms and mechanical chases. A circular hallway rings around the core with rooms and office suites at the perimeter of the floor plan. Unlike the upper levels the basement hallway is interrupted on the north side of the plan by a pump room and telephone room. The ceilings are exposed in the pump room, and different mechanical and plumbing system updates are evident. The telephone room remains largely intact.

Extensive water damage has destroyed much of the lay-in ceiling and some of the gypsum board walls. Office and storage space occupy the majority of the perimeter space in the basement plan. To the west of the central block, the hallway runs all the way to the north exterior wall, ending in an exterior entrance below grade with a staircase up to street level. The office space sitting along the west wall has with ribbon windows at the top of the exterior wall as it is exposed outside at this portion.

### *First Level*

The main entrance to the Ervin Building is located at the south elevation facing Independence Boulevard. The lobby is situated on the south side of the floor plan and provides direct access to the elevators with terrazzo flooring, acoustic tile lay-in ceilings and gypsum board walls. To the west side of the lobby a series of full-height glass partitions creates the receptionist's office, documented in early photographs of the building. Based on the square shape of the structure, the building contains a central, rectangular block with two elevators to the south, a staircase to the east and west, and a bathroom block on the north. At this level, a corridor runs along the east, north, and west of the central block, with office spaces along the exterior of the corridors.

The main exterior walls of the first level are composed of metal framed glass. These walls wrap around the lobby and corridors. A portion of the exterior walls at the south, east, and west elevations are framed walls faced in plaster or gypsum board with short, square windows at the top to provide privacy within office spaces. A photo taken shortly after the building was completed appears to show these wall panels covered in white marble similar to that found on the columns. The ceilings throughout the first level are lay-in ceilings with panel lighting.

Two offices sit off the east corridor, and a larger office space that has been further divided opens off the northeast corner of the north corridor. The large office space is currently divided by non-load-bearing walls. An exterior door along the east elevation is found within this office space.

The west corridor extends from the south lobby to an exterior door on the north elevation. Paneled walls divide the office space on the west portion of the ground level. Metal doors open into the office spaces on the ground floor, with a metal panel extending to the ceiling above most of the ground level doorways.

### *Levels Two through Seven*

The upper levels of the Ervin Building are organized with a circular corridor around the central circulation and mechanical core. Over the life of the building tenants have rearranged office layout and even removed corridor walls so that no two floors have a matching floor plan. Despite these alterations each floor the corridor and office arrangement is apparent on each floor and many of the

original door frames appear to be intact. The original corridor doorways consist of metal frames with styles extending from the floor uninterrupted to the ceiling with a slightly recessed metal panel extending the door head all the way to the ceiling (Photo 65). Particularly good examples of this arrangement are still in place on the second level (Photo 102, 111). A few areas (Photo 54, for example) have both an original historic and 1990s era replacement doors side by side. A corridor runs around the entire block, providing access to the office spaces that line the exterior of the hallway. According to some scholars, the interior walls of the office space were designed to be easily moved depending on the needs of those occupying the spaces, which accounts for the later changes that happened to the building. The interior finishes at the upper level are fairly uniform with painted plaster board or gypsum board walls, an acoustic tile grid ceiling, and carpeted floors. Due to water infiltration, there is substantial damage to walls and ceilings.

The second level remains relatively unchanged in floor plan. Smaller offices are found on the west, south, and east walls, with a larger office space along the north wall. A previous tenant has removed the interior walls at the third and fourth levels to create an open space. The fifth and sixth levels retain most of the original office layout, except the southern corridor has been widened. On the seventh floor, the offices have been widened to create larger spaces.

### **3. Archaeological Significance**

There is no archaeological significance identified at this site.

**4. Evaluation of Integrity:** The Charlotte-Mecklenburg Historic Landmark Commission judges that the physical description included in this report demonstrates that the Ervin Building meets this criterion. Integrity is defined on a high, good, fair, and poor scale in the following areas.

a. *Design:* HIGH. The Ervin Building was designed as a mid-century office tower with an open floor plan to allow for easily divided spaces that could adapt with new tenants. The exterior has not seen significant changes since it was constructed. The interior has seen some changes to interior wall placements and finishes in offices, but the public spaces are still the same design as when they were completed in 1964.

b. *Setting:* GOOD. Charles Ervin chose the location on East Independence Boulevard due to his belief that the city would continue to expand to the east along the new major roadway. East Independence Boulevard never reached the level of commercial buildings envisioned by Ervin, but the building still retains its high level of prominence along the road. It also helped keep the surrounding neighborhoods residential. The surrounding roads received an upgrade in the past few decades, creating an underpass for Pierson Drive. To build the underpass, a significant change in elevation was necessary for the east parking lot.

c. *Workmanship:* GOOD. The Ervin Building developer was the owner of a large local development and construction company, and as such the building had to reflect their highest level of work. The quality mid-century workmanship is still evident in the building on the exterior and interior public spaces. The terrazzo paving that creates an apron extending from the base of the building lacks a good moisture barrier and has created some water infiltration at the building base, which will need to be addressed in the upcoming rehabilitation.

d. *Materials*: GOOD to FAIR. The materials used in the building are representative of its mid-twentieth century construction. The building has been abandoned for a few years, leading to some vandalism and deterioration of materials. The original exterior light tan brick veneer is in good condition. Some windows have been damaged. Many of the interior finishes have seen considerable damage, but the underlying structural materials are in good condition.

e. *Feeling*: HIGH. The Ervin Building has maintained its sense of feeling over the last few decades in part because it remained an office building. Few exterior changes and few changes in the surrounding setting have kept the same feeling of the building.

f. *Association*: GOOD. The building's association with the development of Charlotte's eastern commercial corridor remains strong. The area never reached the level of commercial success that some had hoped for, but that also allowed for the building's surroundings to remain similar to its 1964 settings. The Ervin Company, who developed and first occupied the building, also built many of the suburban neighborhoods that still define many parts of Charlotte today.

## **5. Boundary Justification**

The local landmark designation boundary covers the current tax parcel for the Ervin Building as well as the tax parcel that covers the east portion of the parking lot. The designation boundary includes the Ervin Building and the space between the building and East Independence Boulevard, which is the primary elevation and will ensure that nothing blocks the view from the road of the building.

## **V. Supporting Documentation**

1. Photographs: This report contains representative photographs of the property.
2. Floor Plan: This report contains the floor plans for the building.
3. Site Plan: This report contains a site plan of the property.
4. Plat or Tax Map: This report contains a tax map.

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FOR SALE  
Gallant Properties, LLC  
704.333.0660













FOR SALE  
Gallant Properties, LLC  
333



























## Ervin Building

Proposed Landmark Designation Boundary

Tax parcels: 13111110 and 13111114



MECKLENBURG COUNTY ~ PROPERTY RECORD CARD PROPERTY SEARCH

PARCEL ID: 13111110  
4037 E INDEPENDENCE BV  
CHARLOTTE NC

THE ERVIN BUILDING LLC  
8334 PINEVILLE MATTHEWS RD STE 103-256  
CHARLOTTE NC 28220

Total Appraised Value  
\$830,200

KEY INFORMATION

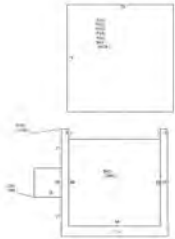
Land Use Code	C700	Neighborhood	OF08
Land Use Desc	COMMERCIAL	Land	46566 SQUARE FEET
Exemption/Deferment	-	Municipality	CHARLOTTE
Last Sale Date	-	Fire District	CITY OF CHARLOTTE
Last Sale Price	-	Special District	NA
Legal Description	NA		

ASSESSMENT DETAILS

2020 Real Estate Assessed Value	
Land Value	\$451,400
Building Value	\$325,100
Features	\$53,700
Total	\$830,200

BUILDING (1)

Finished Area	36,696	Year Built	1962	Built Use / Style	OFFICE HI-RISE A > 4 STORIES
Story	2.5 STORY	Heat	FORCED AIR - DUCTED	Fuel	GAS
Foundation	SLAB-COMMERCIAL	External Wall	FACE BRICK	Fireplace(s)	-
Full Bath(s)	-	Half Bath(s)	-	Bedroom(s)	-
Total (SqFt)	38,264				



LAND

Use	Units	Type	Neighborhood	Assessment
C700	46566	SQUARE FEET	OF08	\$451,400

FEATURES

Year Built	Type	Quantity	Units	Value
1962	PSSNGER ELEV	1	4	\$35,700
1962	PSSNGER ELEV	1	7	\$8,900
1962	PENTHOUSE	1	3136	\$7,800
1962	ASPH PAVING	1	42600	\$52,200
1962	ASPH PAVING	1	43800	\$53,700

## VALUE CHANGES

The value change history shows only changes in appraised value; it does not show exemptions, exclusions or deferrals that could reduce a property's taxable value. If any of these are in effect for a particular tax year, it will be shown on the property tax bill for that year. It is also possible that some previous value changes might be missing from this list or listed in the wrong order. If you have any questions, please call the County Assessor's Office at 704-336-7600.

Date of Value Change	Effective for Tax Year	Reason for Change	New Value
03/30/2020	2020	DIVISION OF REAL ESTATE/OR NEW PARCEL	\$830,200
02/27/2019	2019	CLERICAL CORRECTION IN VALUE	\$1,572,900
01/15/2019	2019	COUNTYWIDE REVALUATION	\$891,600
12/13/2014	2011	REVALUATION REVIEW - PEARSON	\$1,195,200
03/17/2011	2011	COUNTYWIDE REVALUATION	\$1,756,600
05/19/2008	2008	EQUALIZATION OF VALUE	\$707,100
03/15/2003	2003	COUNTYWIDE REVALUATION	\$1,404,300



### Disclaimer

Mecklenburg County makes every effort to produce the most accurate information possible. **No warranties, expressed or implied, are provided for the data herein, its use or interpretation.**

Mecklenburg County ~ Property Record Card Property Search

PARCEL ID: 13111114

E INDEPENDENCE BV CHARLOTTE NC

THE ERVIN BUILDING LLC

8334 PINEVILLE MATTHEWS RD STE 103-256

CHARLOTTE NC 28220

Total Appraised Value

\$50,700

KEY INFORMATION

Land Use Code	C700	Neighborhood	OF08
Land Use Desc	COMMERCIAL	Land	7949 SQUARE FEET
Exemption/Deferment	-	Municipality	CHARLOTTE
Last Sale Date	11/30/2018	Fire District	CITY OF CHARLOTTE
Last Sale Price	-	Special District	NA
Legal Description	NA		

ASSESSMENT DETAILS

2020 Real Estate Assessed Value	
Land Value	\$50,700
Building Value	\$0
Features	\$0
Total	\$50,700

LAND

USE	UNITS	TYPE	NEIGHBORHOOD	ASSESSMENT
C700	7949	SQUARE FEET	OF08	\$50,700

BUILDING

No data to display

FEATURES

No data to display

VALUE CHANGES

The value change history shows only changes in appraised value; it does not show exemptions, exclusions or deferrals that could reduce a property’s taxable value. If any of these are in effect for a particular tax year, it will be shown on the property tax bill for that year. It is also possible that some previous value changes might be missing from this list or listed in the wrong order. If you have any questions, please call the County Assessor’s Office at 704-336-7600.

DATE OF VALUE CHANGE	EFFECTIVE FOR TAX YEAR	REASON FOR CHANGE	NEW VALUE
03/30/2020	2020	DIVISION OF REAL ESTATE/OR NEW PARCEL	\$50,700



# Tax Parcel 13111114

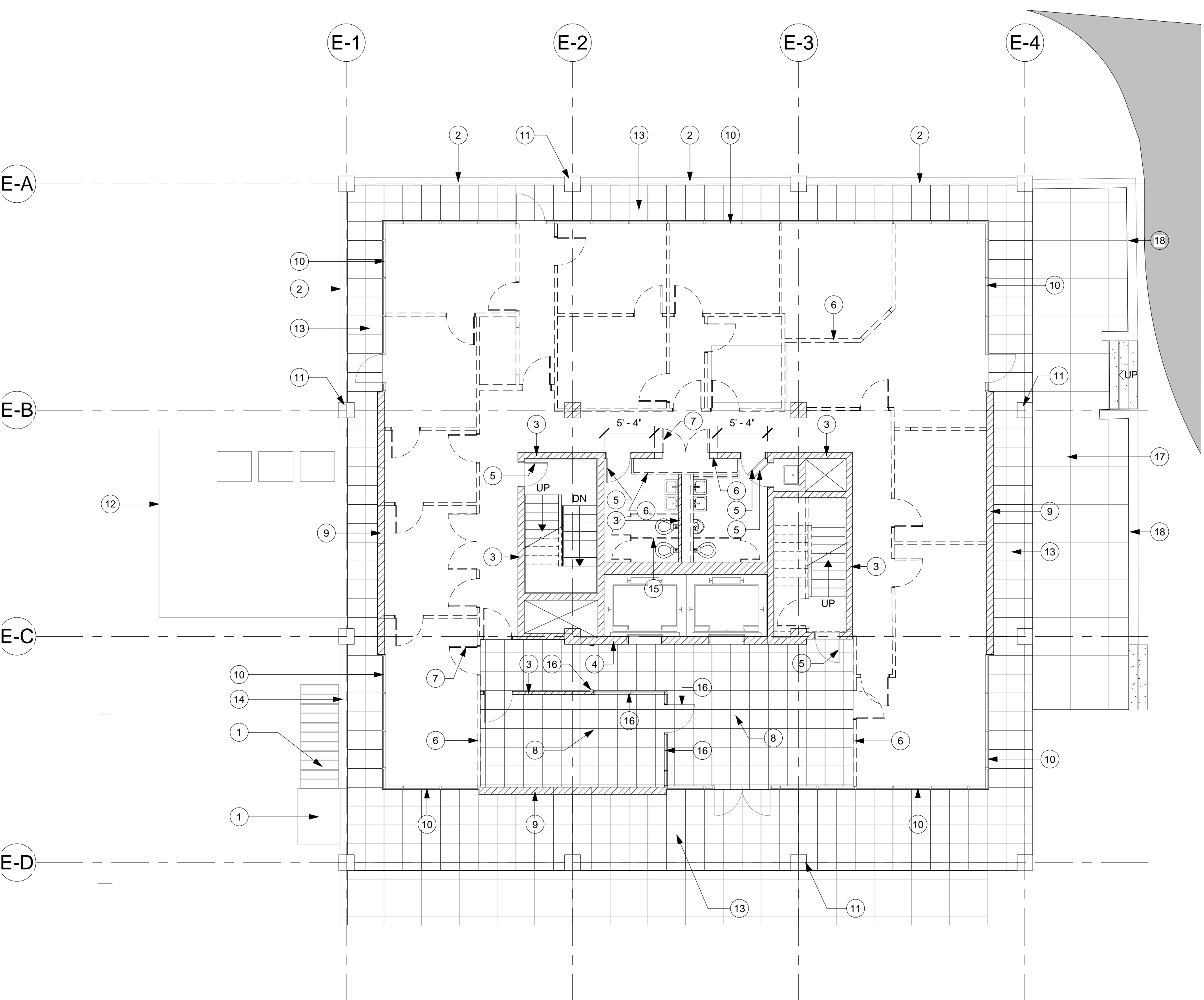






## 1ST FLOOR KEYED NOTES

- |    |  |
|----|--|
| 1  | G.C. TO EVALUATE EXISTING PRECAST TREADS. REMOVE DAMAGED / FAILING TREADS AND REPLACE WITH NEW TO MATCH EXISTING.  |
| 2  | 26" H. BRICK WALL TO REMAIN.   |
| 3  | HATCHED AREAS INDICATE EXISTING WALL TO REMAIN, TYPICAL.   |
| 4  | CMU ELEVATOR SHAFT, DOOR OPENINGS, AND ELEVATOR FRONT WALLS AND LANDING TO REMAIN.   |
| 5  | DOOR AND HOLLOW METAL FRAME TO REMAIN.   |
| 6  | DASHED LINES INDICATE EXISTING WALL TO BE DEMOLISHED, TYPICAL.   |
| 7  | DASHED LINES INDICATE EXISTING DOOR AND FRAME TO BE DEMOLISHED, TYPICAL.   |
| 8  | EXISTING TERRAZZO FLOOR TO REMAIN. PROTECT AS DIRECTED IN DEMOLITION NOTES.  |
| 9  | MARBLE-CLAD EXTERIOR WALL TO REMAIN. PANELS TO BE PROTECTED BY (1) LAYER OF 5/8" PLYWOOD OVER 2X4 STUDS AT 24" O.C. (SEE FACADE DEMO NOTE #6.)   |
| 10 | EXISTING ALUMINUM STOREFRONT FRAMES ON FLOOR 1 TO REMAIN. REMOVE STOREFRONT GLASS, DOORS AND HARDWARE TO REMAIN. REMOVE GLASS IN DOORS.  |
| 11 | REMOVE STUCCO / EIFS FINISHES ON EXISTING COLUMN. RESTORE AND PROTECT EXISTING / ORIGINAL FINISHES, TYPICAL. COORD. W/ ARCHITECT AFTER STUCCO / EIFS HAS BEEN REMOVED. G.C. SHALL CONDUCT SELECTIVE DEMOLITION TO DETERMINE MATERIAL / CONFIGURATION OF ORIGINAL COLUMN WRAP AND ADVISE ARCHITECT AND OWNER. G.C. PROVIDE SAMPLE OF PLYWOOD PROTECTION WRAP TO BE EMPLOYED ON TYPICAL EXTERIOR COLUMN. |
| 12 | SELECTIVE DEMOLITION OF EXISTING CANOPY. (SEE FACADE DEMO NOTE #7.)  |
| 13 | REMOVE EXISTING "TERRAZZO-LIKE" EXTERIOR FLOOR TILES AND REPLACE WITH NEW TO MATCH EXISTING.   |
| 14 | REMOVE FAILING BRICK AND RETAINING WALL. SALVAGE REMOVED BRICK FOR REUSE IN RECONSTRUCTED WALL.  |
| 15 | EXISTING TOILET PARTITIONS TO BE REMOVED. G.C. SHALL DOCUMENT SIZE AND CONFIGURATION OF EXISTING PARTITIONS SO THAT FUTURE PARTITIONS CAN BE FABRICATED AND INSTALLED TO MATCH ORIGINAL.   |
| 16 | EXISTING INTERIOR ALUMINUM STOREFRONT WALLS AND DOORS LOCATED IN MAIN LOBBY TO REMAIN.   |
| 17 | REMOVE EXISTING CAST-IN-PLACE CONCRETE PATIO FINISH. G.C. SHALL DOCUMENT EXISTING FINISH SO THAT PROPOSED FUTURE PATIO RESTORATION CAN BE ACCOMPLISHED TO MATCH ORIGINAL.  |
| 18 | REMOVE DAMAGED / FAILING LOW BRICK RETAINING WALL. SALVAGE BRICK FOR REUSE ON FUTURE REBUILT LOW WALL TO MATCH EXISTING.   |



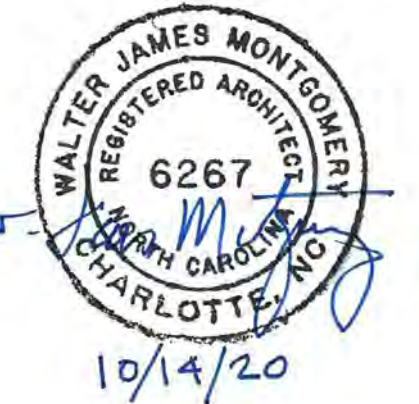
NOTE: SEE DEMOLITION NOTES ON AD1.00

1 1st Floor Demolition Plan  
1/8" = 1'-0"



2108 SOUTH BOULEVARD, SUITE 110,  
CHARLOTTE NC 28203

BEAVER CREEK  
CRE, LLC

[illegible]

# HISTORIC ERVIN BLDG. ADAPTIVE REUSE - DEMO PACKAGE

# 1st Floor Demolition Plan

Project Number	-
Date	10.14.2020
Drawn By	Author
Checked By	Checker

# AD1.01

Scale  $1/8" = 1'-0"$



BEAVER CREEK  
CRE, LLC

[illegible]

# HISTORIC ERVIN BLDG. ADAPTIVE REUSE - DEMO PACKAGE

## 2nd Floor Demolition Plan

Project Number	
Date	10.14.2020
Drawn By	Author
Checked By	Checker

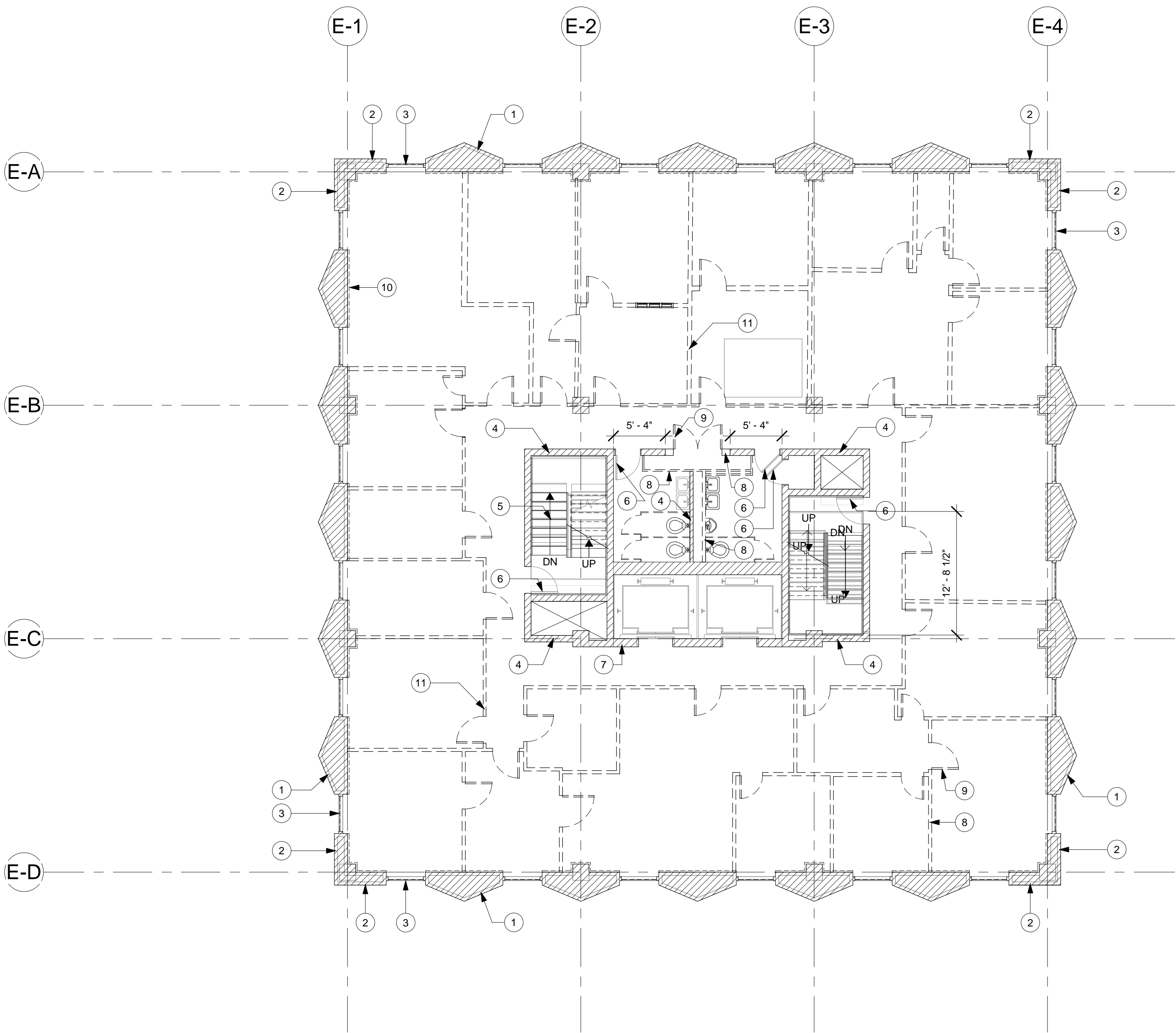
# AD1.02

Scale  $1/8" = 1'-0"$

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## 2ND FLOOR KEYED NOTES

- |    |  |
|----|--|
| 1  | VERTICAL BRICK VENEER CHEVRON ELEMENT TO REMAIN, TYPICAL (SEE DEMOLITION NOTE NO. 19).   |
| 2  | BRICK VENEER AT CORNER TO REMAIN (SEE DEMOLITION NOTE NO. 19).   |
| 3  | EXTERIOR ALUMINUM STOREFRONT FRAMES ON FLOORS 2-7 TO REMAIN, TYPICAL FOR ALL UPPER FLOORS. REMOVE STOREFRONT GLASS, TYPICAL.   |
| 4  | HATCHED AREAS INDICATE EXISTING WALL TO REMAIN, TYPICAL.   |
| 5  | CONCRETE-FILLED STEEL PAN STAIR TO REMAIN (SEE DEMOLITION NOTE NO. 17).  |
| 6  | DOOR AND HOLLOW METAL FRAME TO REMAIN.   |
| 7  | CMU ELEVATOR SHAFT, DOOR OPENINGS, AND ELEVATOR FRONT WALLS AND LANDING TO REMAIN.   |
| 8  | DASHED LINES INDICATE EXISTING WALL TO BE DEMOLISHED, TYPICAL.   |
| 9  | DASHED LINES INDICATE EXISTING DOOR AND FRAME TO BE DEMOLISHED, TYPICAL.   |
| 10 | REMOVE PLASTER FINISH AT EXTERIOR WALL, TYPICAL.   |
| 11 | STEEL STUD OFFICE PARTITION LAYOUT NOT INDICATED HERE. G.C. TO INCLUDE ALL PARTITIONS, WHETHER INDICATED HERE OR NOT, TO BE WITHIN HIS SCOPE FOR DEMOLITION. MTL PARTITIONS INDICATION 'TO REMAIN' LOCATED AT THE EXISTING MALE RESTROOM, FEMALE RESTROOM AND ELECTRICAL CLOSET SHALL BE RETAINED AND PROTECTED DURING THE DEMOLITION PROCESS. |



NOTE: SEE DEMOLITION NOTES ON AD1.00

1 2nd Floor Demolition Plan  
1/8" = 1'-0"



[illegible]

# HISTORIC ERVIN BLDG. ADAPTIVE REUSE - DEMO PACKAGE

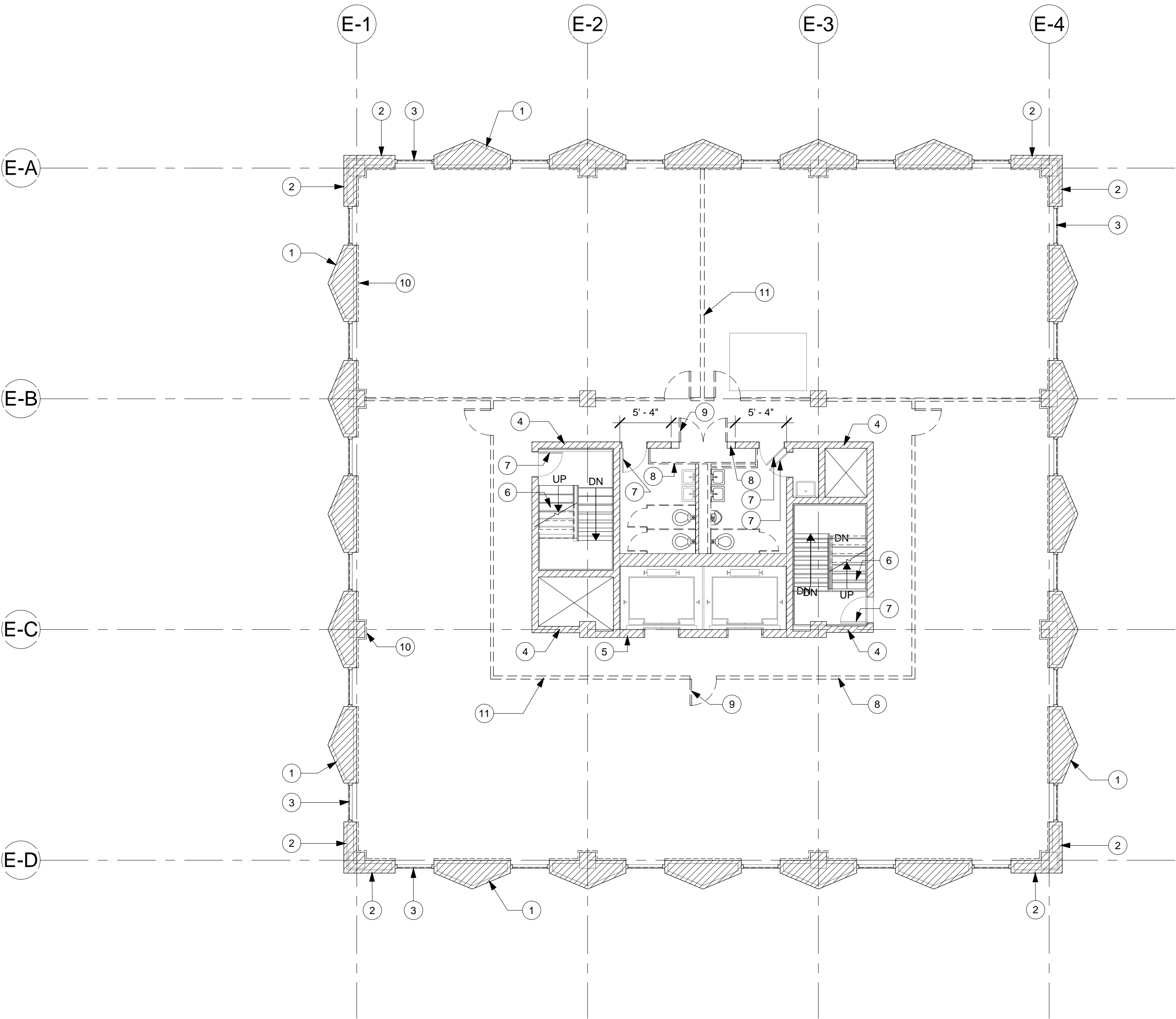
### 3rd Floor Demolition Plan

Project Number	-
Date	10.14.2020
Drawn By	Author
Checked By	Checker

# AD1.03

Scale  $1/8" = 1'-0"$

KEYED NOTES	
1	VERTICAL BRICK VENEER CHEVRON ELEMENT TO REMAIN, TYPICAL (SEE DEMOLITION NOTE NO. 19).
2	BRICK VENEER AT CORNER TO REMAIN (SEE DEMOLITION NOTE NO. 19).
3	EXTERIOR ALUMINUM STOREFRONT FRAMES ON FLOORS 2-7 TO REMAIN, TYPICAL FOR ALL UPPER FLOORS. REMOVE STOREFRONT GLASS, TYPICAL.
4	HATCHED AREAS INDICATE EXISTING WALL TO REMAIN, TYPICAL.
5	CMU ELEVATOR SHAFT, DOOR OPENINGS, AND ELEVATOR FRONT WALLS AND LANDING TO REMAIN.
6	CONCRETE-FILLED STEEL PAN STAIR TO REMAIN (SEE DEMOLITION NOTE NO. 17).
7	DOOR AND HOLLOW METAL FRAME TO REMAIN.
8	DASHED LINES INDICATE EXISTING WALL TO BE DEMOLISHED, TYPICAL.
9	DASHED LINES INDICATE EXISTING DOOR AND FRAME TO BE DEMOLISHED, TYPICAL.
10	REMOVE PLASTER FINISH AT EXTERIOR WALL, TYPICAL.
11	STEEL STUD OFFICE PARTITION LAYOUT NOT INDICATED HERE. G.C. TO INCLUDE ALL PARTITIONS, WHETHER INDICATED HERE OR NOT, TO BE WITHIN HIS SCOPE FOR DEMOLITION. MTL PARTITIONS INDICATION "TO REMAIN" LOCATED AT THE EXISTING MALE RESTROOM, FEMALE RESTROOM AND ELECTRICAL CLOSET SHALL BE RETAINED AND PROTECTED DURING THE DEMOLITION PROCESS.



NOTE: SEE DEMOLITION NOTES ON AD1.00

① 3rd Floor Demolition Plan  
1/8" = 1'-0"

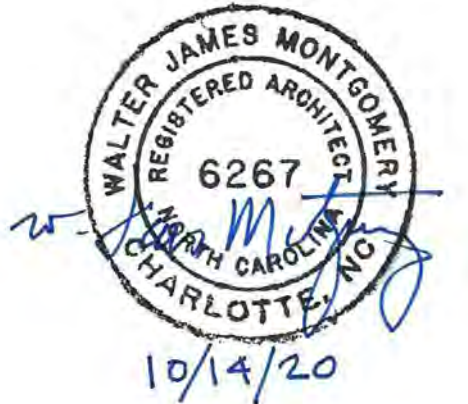
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BEAVER CREEK  
CRE, LLC

[illegible]

# HISTORIC ERVIN BLDG. ADAPTIVE REUSE - DEMO PACKAGE

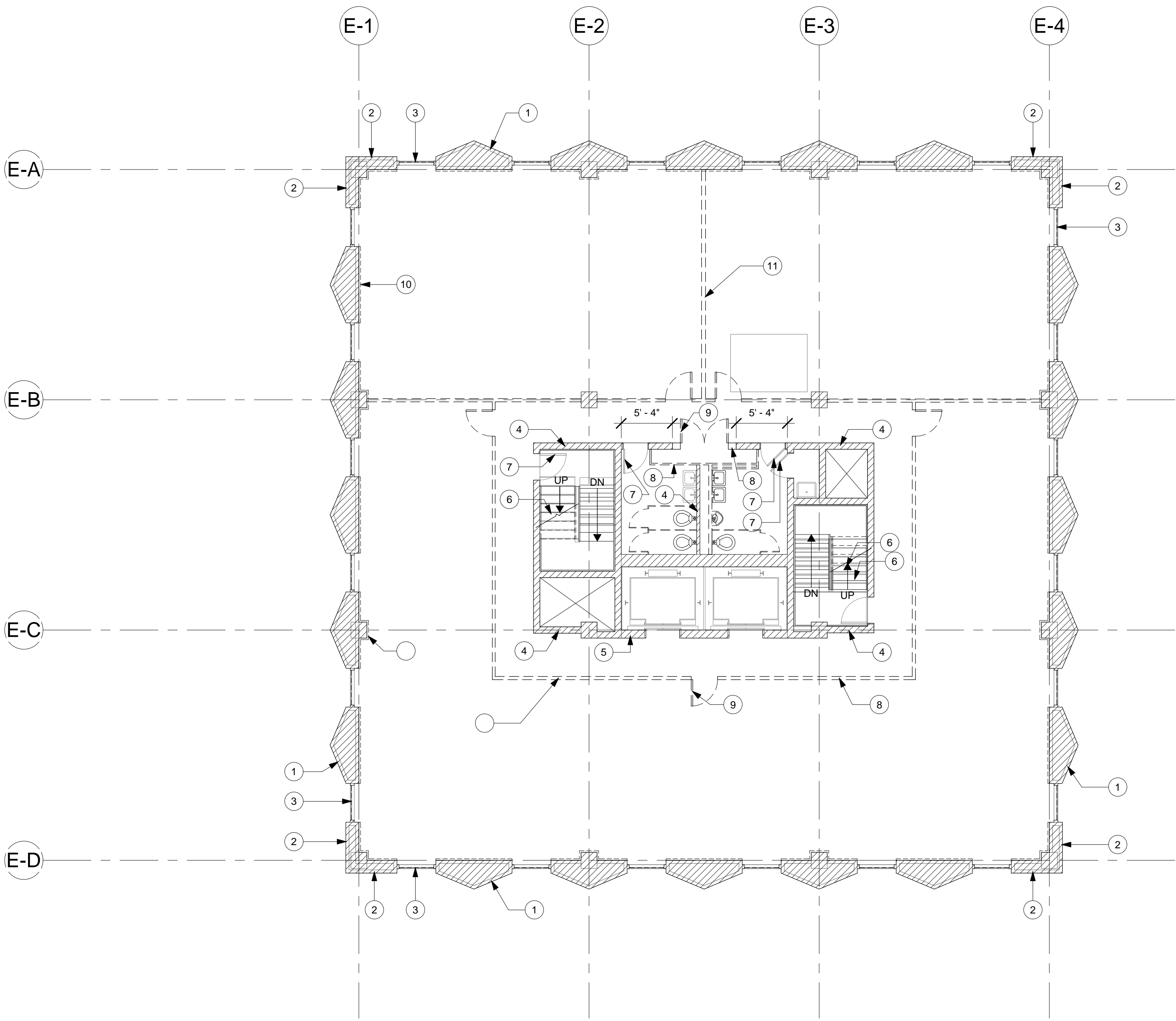
## 5th Floor Demolition Plan

Project Number	
Date	10.14.2020
Drawn By	Author
Checked By	Checker

# AD1.05

Scale  $1/8" = 1'-0"$

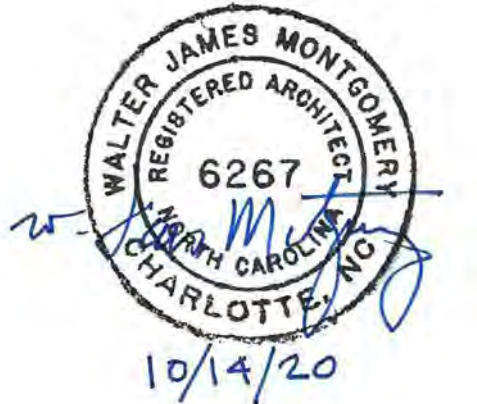
KEYED NOTES	
1	VERTICAL BRICK VENEER CHEVRON ELEMENT TO REMAIN, TYPICAL (SEE DEMOLITION NOTE NO. 19).
2	BRICK VENEER AT CORNER TO REMAIN (SEE DEMOLITION NOTE NO. 19).
3	EXTERIOR ALUMINUM STOREFRONT FRAMES ON FLOORS 2-7 TO REMAIN, TYPICAL FOR ALL UPPER FLOORS. REMOVE STOREFRONT GLASS, TYPICAL.
4	HATCHED AREAS INDICATE EXISTING WALL TO REMAIN, TYPICAL.
5	OMU ELEVATOR SHAFT, DOOR OPENINGS, AND ELEVATOR FRONT WALLS AND LANDING TO REMAIN.
6	CONCRETE-FILLED STEEL PAN STAIR TO REMAIN (SEE DEMOLITION NOTE NO. 17).
7	DOOR AND HOLLOW METAL FRAME TO REMAIN.
8	DASHED LINES INDICATE EXISTING WALL TO BE DEMOLISHED, TYPICAL.
9	DASHED LINES INDICATE EXISTING DOOR AND FRAME TO BE DEMOLISHED, TYPICAL.
10	REMOVE PLASTER FINISH AT EXTERIOR WALL, TYPICAL.
11	STEEL STUD OFFICE PARTITION LAYOUT NOT INDICATED HERE. G.C. TO INCLUDE ALL PARTITIONS, WHETHER INDICATED HERE OR NOT. TO BE WITHIN HIS SCOPE FOR DEMOLITION. MTL PARTITIONS INDICATION "TO REMAIN" LOCATED AT THE EXISTING MALE RESTROOM, FEMALE RESTROOM AND ELECTRICAL CLOSET SHALL BE RETAINED AND PROTECTED DURING THE DEMOLITION PROCESS.



NOTE: SEE DEMOLITION NOTES ON AD1.00

1 5th Floor Demolition Plan  
1/8" = 1'-0"

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# HISTORIC ERVIN BLDG. ADAPTIVE REUSE - DEMO PACKAGE

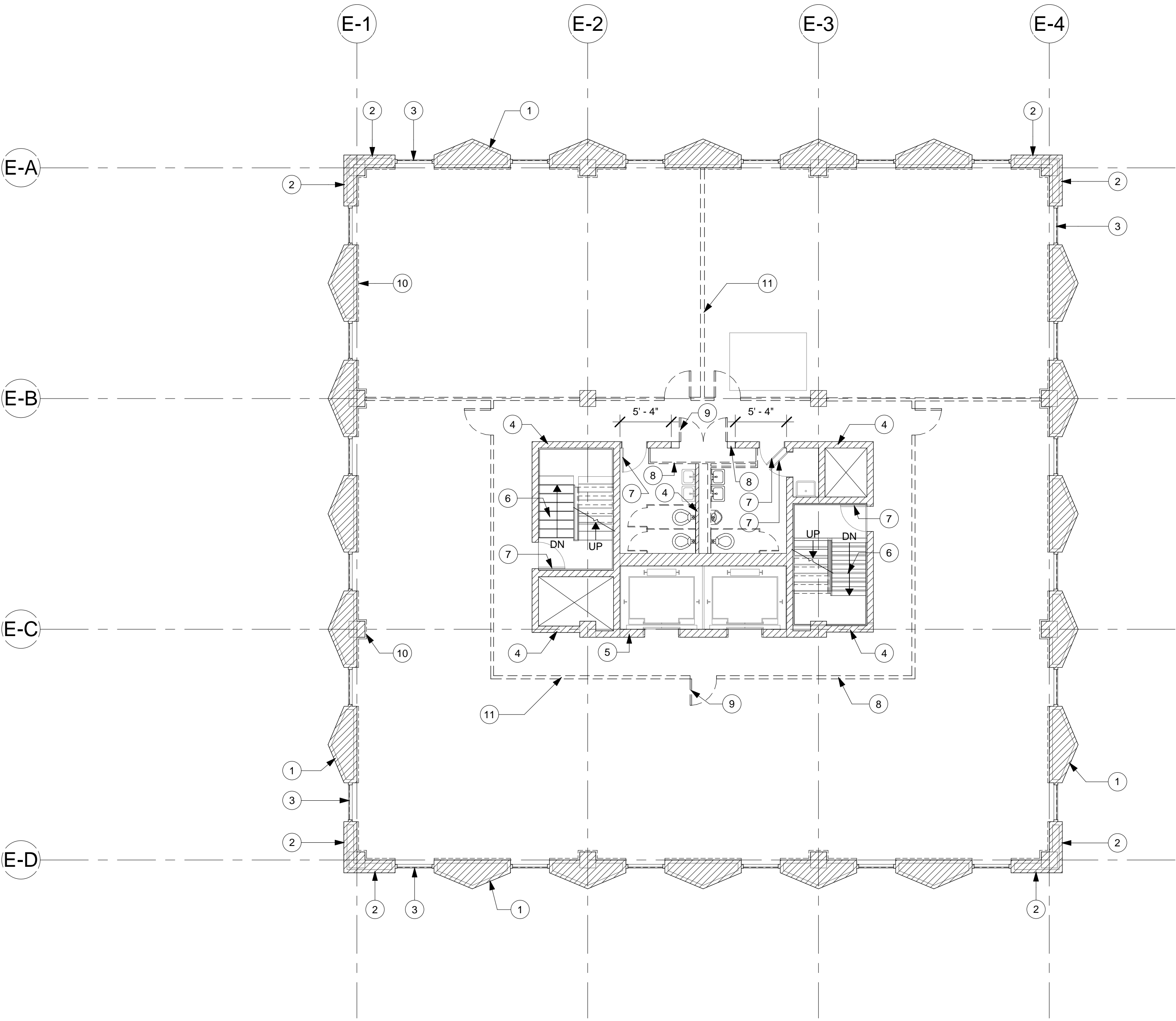
## 6th Floor Demolition Plan

Project Number	-
Date	10.14.2020
Drawn By	Author
Checked By	Checker

# AD1.06

Scale  $1/8" = 1'-0"$

KEYED NOTES	
1	VERTICAL BRICK VENEER CHEVRON ELEMENT TO REMAIN, TYPICAL (SEE DEMOLITION NOTE NO. 19).
2	BRICK VENEER AT CORNER TO REMAIN (SEE DEMOLITION NOTE NO. 19).
3	EXTERIOR ALUMINUM STOREFRONT FRAMES ON FLOORS 2-7 TO REMAIN, TYPICAL FOR ALL UPPER FLOORS. REMOVE STOREFRONT GLASS, TYPICAL.
4	HATCHED AREAS INDICATE EXISTING WALL TO REMAIN, TYPICAL.
5	OMU ELEVATOR SHAFT, DOOR OPENINGS, AND ELEVATOR FRONT WALLS AND LANDING TO REMAIN.
6	CONCRETE-FILLED STEEL PAN STAIR TO REMAIN (SEE DEMOLITION NOTE NO. 17).
7	DOOR AND HOLLOW METAL FRAME TO REMAIN.
8	DASHED LINES INDICATE EXISTING WALL TO BE DEMOLISHED, TYPICAL.
9	DASHED LINES INDICATE EXISTING DOOR AND FRAME TO BE DEMOLISHED, TYPICAL.
10	REMOVE PLASTER FINISH AT EXTERIOR WALL, TYPICAL.
11	STEEL STUD OFFICE PARTITION LAYOUT NOT INDICATED HERE. G.C. TO INCLUDE ALL PARTITIONS, WHETHER INDICATED HERE OR NOT. TO BE WITHIN HIS SCOPE FOR DEMOLITION. MTL PARTITIONS INDICATION "TO REMAIN" LOCATED AT THE EXISTING MALE RESTROOM, FEMALE RESTROOM AND ELECTRICAL CLOSET SHALL BE RETAINED AND PROTECTED DURING THE DEMOLITION PROCESS.



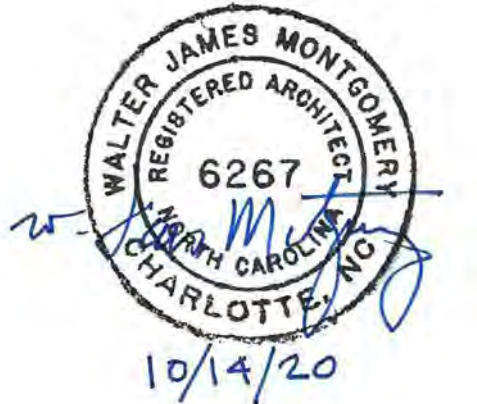
NOTE: SEE DEMOLITION NOTES ON AD1.00

① 6th Floor Demolition Plan  
1/8" = 1'-0"

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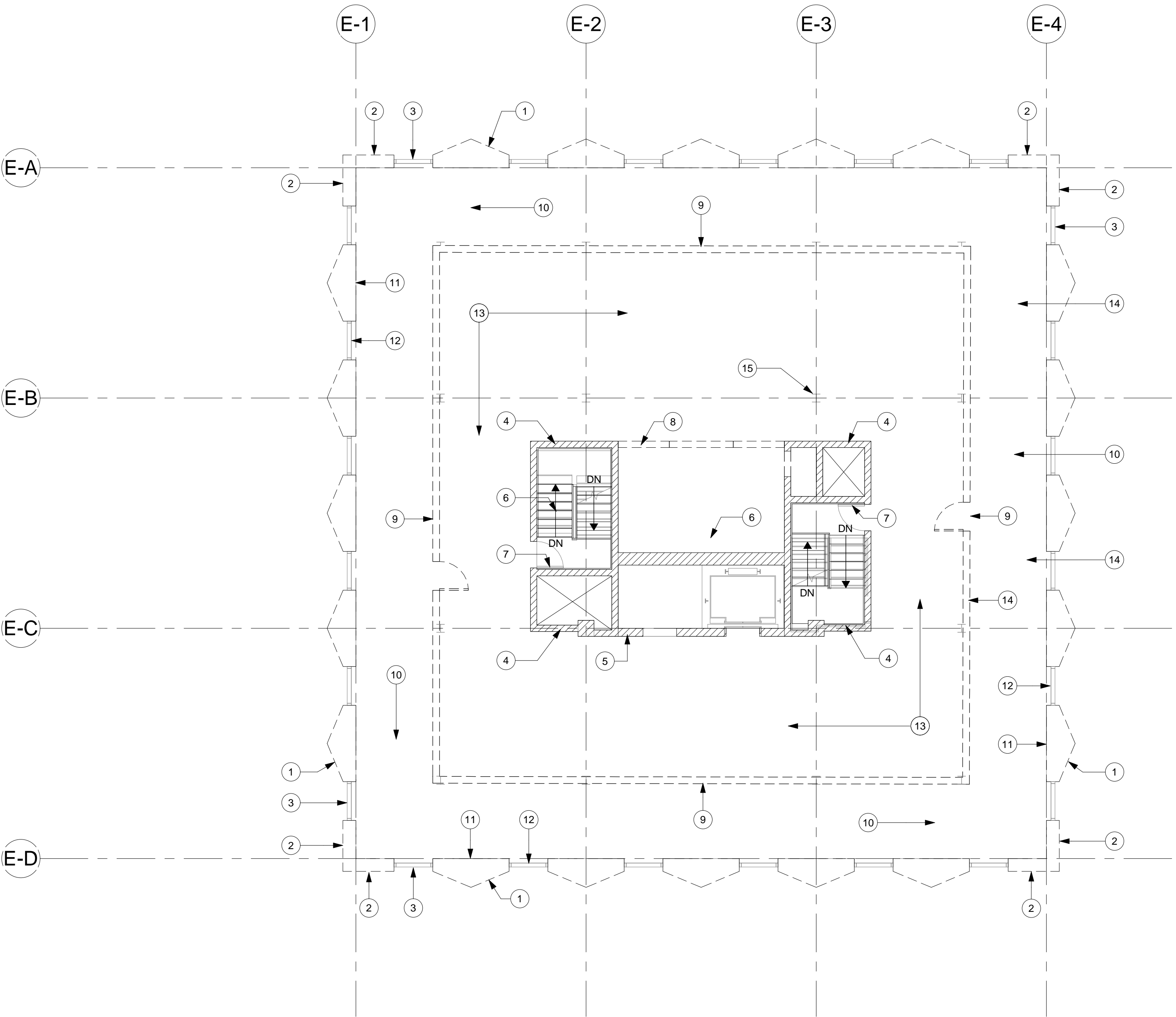
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## 8th Floor Demolition Plan

Project Number	-
Date	10.14.2020
Drawn By	Author
Checked By	Checker

Scale  $1/8" = 1'-0"$

KEYED NOTES	
1	VERTICAL BRICK VENEER CHEVRON ELEMENT TO REMAIN, TYPICAL (SEE DEMOLITION NOTE NO. 19).
2	BRICK VENEER AT CORNER TO REMAIN (SEE DEMOLITION NOTE NO. 19).
3	EXTERIOR ALUMINUM STOREFRONT FRAMES ON FLOORS 2-7 TO REMAIN, TYPICAL FOR ALL UPPER FLOORS. REMOVE STOREFRONT GLASS, TYPICAL.
4	HATCHED AREAS INDICATE EXISTING WALL TO REMAIN, TYPICAL.
5	CMU ELEVATOR SHAFT, DOOR OPENINGS, AND ELEVATOR FRONT WALLS AND LANDING TO REMAIN.
6	CONCRETE-FILLED STEEL PAN STAIR TO REMAIN (SEE DEMOLITION NOTE NO. 17).
7	DOOR AND HOLLOW METAL FRAME TO REMAIN.
8	DASHED LINES INDICATE EXISTING WALL TO BE DEMOLISHED, TYPICAL.
9	CORRUGATED METAL SIDING TO BE REMOVED FROM FIRST COLUMN.
10	DEMOLISH ROOF, MISC. WOOD WALKWAYS AND STEEL GUARDRAILS.
11	REMOVE METAL FLASHING AND TURNED UP ROOF MEMBRANE AT BACK OF PARAPET, TYPICAL. CAPS OVER CHEVRON ELEMENTS SHALL BE REPAIRED TO MAKE WATERTIGHT - TEMPORARILY. (SEE "DEMOLITION NOTES" ROOFING NO. 2 FOR DIRECTION REGARDING CAPS AT CHEVRON ELEMENTS.)
12	REMOVE METAL COPING AND TURNED UP ROOF MEMBRANE AT TOP OF ALUMINUM STOREFRONT PARAPET TO REMAIN, TYPICAL. FLASH TIMTHUMB ROOF OVER EDGE TO INSURE WATERPROOF CONDITION DURING CONSTRUCTION. (TYP.)
13	REMOVE MECHANICAL EQUIPMENT. (TYP.)
14	REMOVE EXISTING MECHANICAL EQUIPMENT. (TYP.)
15	STEEL FLANGE COLUMN TO REMAIN, TYPICAL.



NOTE: SEE DEMOLITION NOTES ON AD1.00

1 8th Floor Demolition Plan  
1/8" = 1'-0"

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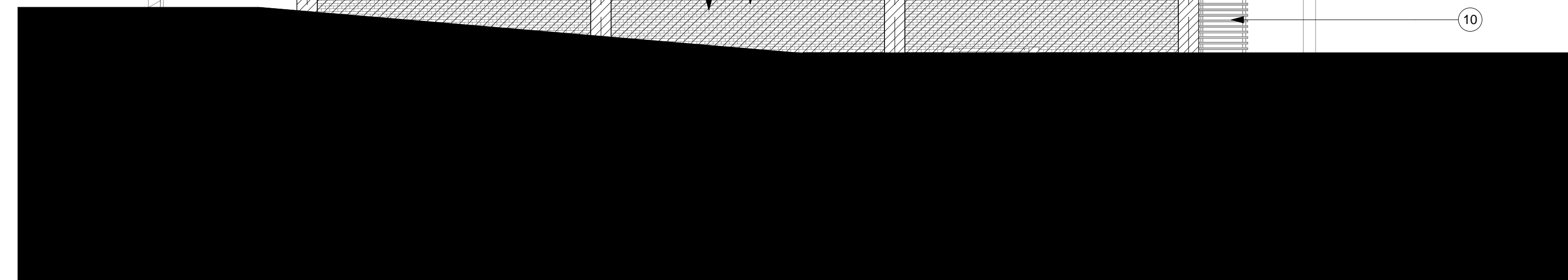




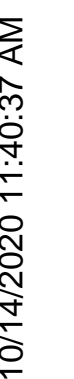
KEYED NOTES

Structural section drawing showing the existing 1st floor (0' - 0'') and existing 2nd floor (15' - 6''). The drawing includes structural elements like columns (E-1, E-2, E-3, E-4), beams, and trusses. Callouts 1 through 18 indicate specific structural details and components.

2 North Demolition Elevation at Arcade

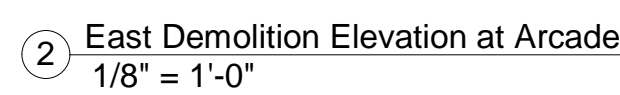


1 North Demolition Elevation





1. GENERAL CONTRACTOR SHALL WASH BRICK FACADE WITH NON-IONIC CLEANER AND POWERWASH WITH MAXIMUM PRESSURE OF 100 PSI. (TYP.)
2. GENERAL CONTRACTOR SHALL INSPECT BRICK FACADE FROM 2ND FLOOR TO 8TH FLOOR TERRACE. DAMAGED OR CRACKED MORTAR SHALL BE REMOVED AND REPOINTED WITH MORTAR TO MATCH EXISTING. BROKEN OR DAMAGED BRICK SHALL BE REPLACED WITH NEW TO MATCH EXISTING.
3. GENERAL CONTRACTOR SHALL TEST EXISTING MORTAR FOR COMPOSITION. G.C. SHALL SUBMIT FOR APPROVAL SAMPLES WHICH MATCH EXISTING COMPOSITION AND MATCH EXISTING COLOR AND APPEARANCE.
4. EXISTING MARBLE SPANDREL PANELS SHALL BE CLEANED AND RESTORED TO "LIKE ORIGINAL" CONDITION. G.C. SHALL EMPLOY A STONE RESTORATION COMPANY TO PROVIDE RESTORATION SERVICES. PROPOSED RESTORATION PROCESS SHALL BE PROPOSED FOR APPROVAL WITH ACTUAL SAMPLE FROM THE BUILDING. DAMAGED OR CRACKED MARBLE PANELS SHALL BE REPAIRED OR REPLACED WITH NEW TO MATCH EXISTING.
5. STUCCO CEILING LOCATED ABOVE 1ST FLOOR COVERED ARCADE SHALL BE CLEANED (LIGHTLY PRESSURE WASHED) AND INSPECTED BY G.C. FOR DAMAGE. DAMAGED AREAS SHALL BE PATCHED AND REPAIRED TO MATCH EXISTING.
6. MARBLE PANELS ARE TO BE PROTECTED DURING ABATEMENT / DEMOLITION / CONSTRUCTION WITH (1) LAYER 5/8" PLYWOOD ON 2X4 STUDS AT 24" O.C. (TYP.)
7. SELECTIVE DEMOLITION OF EXISTING CANOPY. (SEE FACADE DEMO NOTE #7.)



1	VERTICAL BRICK VENEER CHEVRON ELEMENT TO REMAIN, TYPICAL (SEE DEMOLITION NOTE NO. 19).
2	BRICK VENEER AT CORNER TO REMAIN (SEE DEMOLITION NOTE NO. 19).
3	EXTERIOR ALUMINUM STOREFRONT FRAMES ON FLOORS 2-7 TO REMAIN, TYPICAL FOR ALL UPPER FLOORS. REMOVE STOREFRONT GLASS, TYPICAL.
4	MARBLE SPANDREL PANEL TO REMAIN, TYPICAL. (SEE FACADE DEMO NOTE #4.) (TYP.)
5	REMOVE STUCCO / EIFS FINISHES ON EXISTING COLUMN. RESTORE AND PROTECT EXISTING / ORIGINAL FINISHES, TYPICAL. COORD. W/ ARCHITECT AFTER STUCCO / EIFS HAS BEEN REMOVED. G.C. SHOULD SELECT A DEMOLITION MATERIAL / CONFIGURATION OF ORIGINAL COLUMN WRAP AND ADVISE ARCHITECT AND OWNER. G.C. PROVIDE SAMPLE OF PLYWOOD PROTECTION WRAP TO BE EMPLOYED ON TYPICAL EXTERIOR COLUMN.
6	CORRUGATED METAL SIDING TO BE REMOVED FROM FIRST COLUMN.
7	EXTERIOR ALUMINUM STOREFRONT FRAMES ON FLOOR 1 TO REMAIN. REMOVE STOREFRONT GLASS. DOORS AND HARDWARE TO REMAIN. REMOVE GLASS IN DOORS.
8	MARBLE-CLAD EXTERIOR WALL TO REMAIN. PANELS TO BE PROTECTED BY (1) LAYER OF 5/8" PLYWOOD OVER 2X4 STUDS AT 24" O.C. (SEE FACADE DEMO NOTE #6.)
9	REMOVE METAL FLASHING AND TURNED UP ROOF MEMBRANE AT BACK OF PARAPET, TYPICAL. CAPS OVER CHEVRON ELEMENTS SHALL BE REPAIRED TO MAKE WATER TIGHT - TEMPORARILY. (SEE "DEMOLITION NOTES" ROOFING NO. 2 FOR DIRECTION REGARDING CAPS AT CHEVRON ELEMENTS.)
10	REMOVE METAL COPING AND TURNED UP ROOF MEMBRANE AT TOP OF ALUMINUM STOREFRONT PARAPET TO REMAIN, TYPICAL. FLASH TIMTHUMB ROOF OVER EDGE TO INSURE WATERPROOF CONDITION DURING CONSTRUCTION. (TYP.)
11	STUCCO CEILING WITH 2X2 METAL REVEALS TO REMAIN.
12	STEEL LINTEL SUPPORT AT UNDERSIDE OF BRICK FACADE. WIREBRUSH TO REMOVE LOOSE PAINT AND RUST. PROMPTLY APPLY RUST INHIBITOR, REPRIME, AND PAINT, TYPICAL.
13	STEEL LINTEL SUPPORT AT UNDERSIDE OF ALUMINUM STOREFRONT. WIREBRUSH TO REMOVE LOOSE PAINT AND RUST. PROMPTLY APPLY RUST INHIBITOR, REPRIME, AND PAINT, TYPICAL.

