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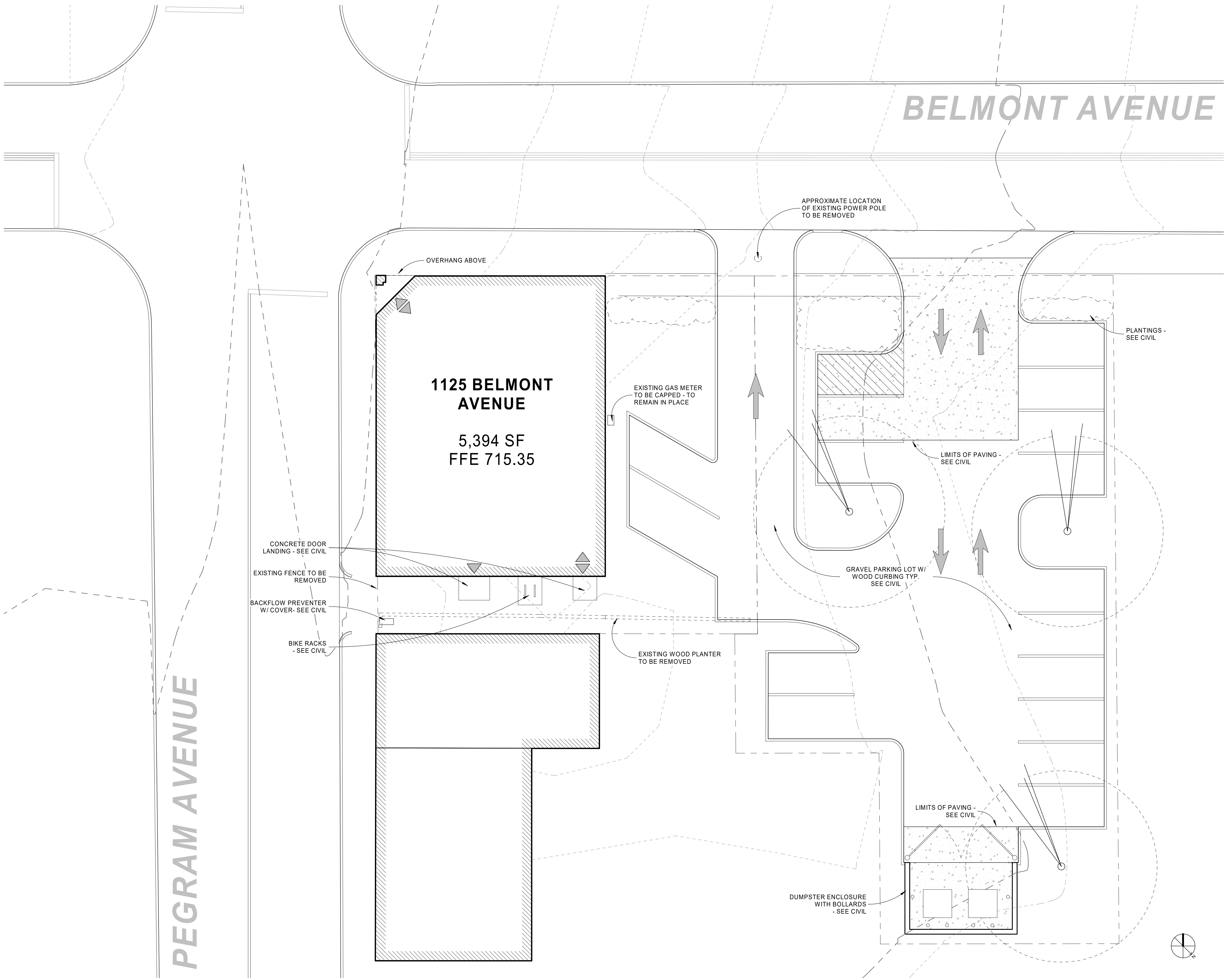
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1 SITE PLAN
A110 1" = 10'-0"

LITTLE

DIVERSIFIED ARCHITECTURAL CONSULTING

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Charlotte, NC 28202
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www.littleonline.com

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CERT. NO.
50033

LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING, INC.
NORTH CAROLINA
CHARLOTTE, N.C.

EDWARD LOUIS PORTIS
REGISTERED ARCHITECT
10/28/18
NORTH CAROLINA
CHARLOTTE, N.C.

7.14.21

ISSUE FOR
CONSTRUCTION DOCUMENTS

ISSUE DATE
07/08/2021

REVISIONS NO.	REASON	DATE

PROJECT TEAM

PRINCIPAL IN CHARGE
EDDIE PORTIS

PROJECT MANAGER
NICHOLAS AULT

DESIGN TEAM
Designer

PROJECT NAME
RED FRONT SHELL RENOVATION

1125 BELMONT AVENUE
CHARLOTTE, NC 28205

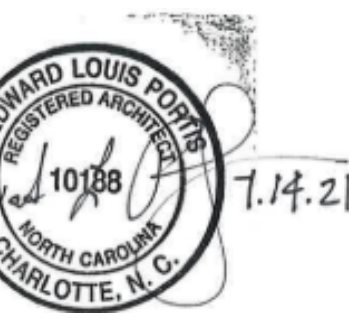
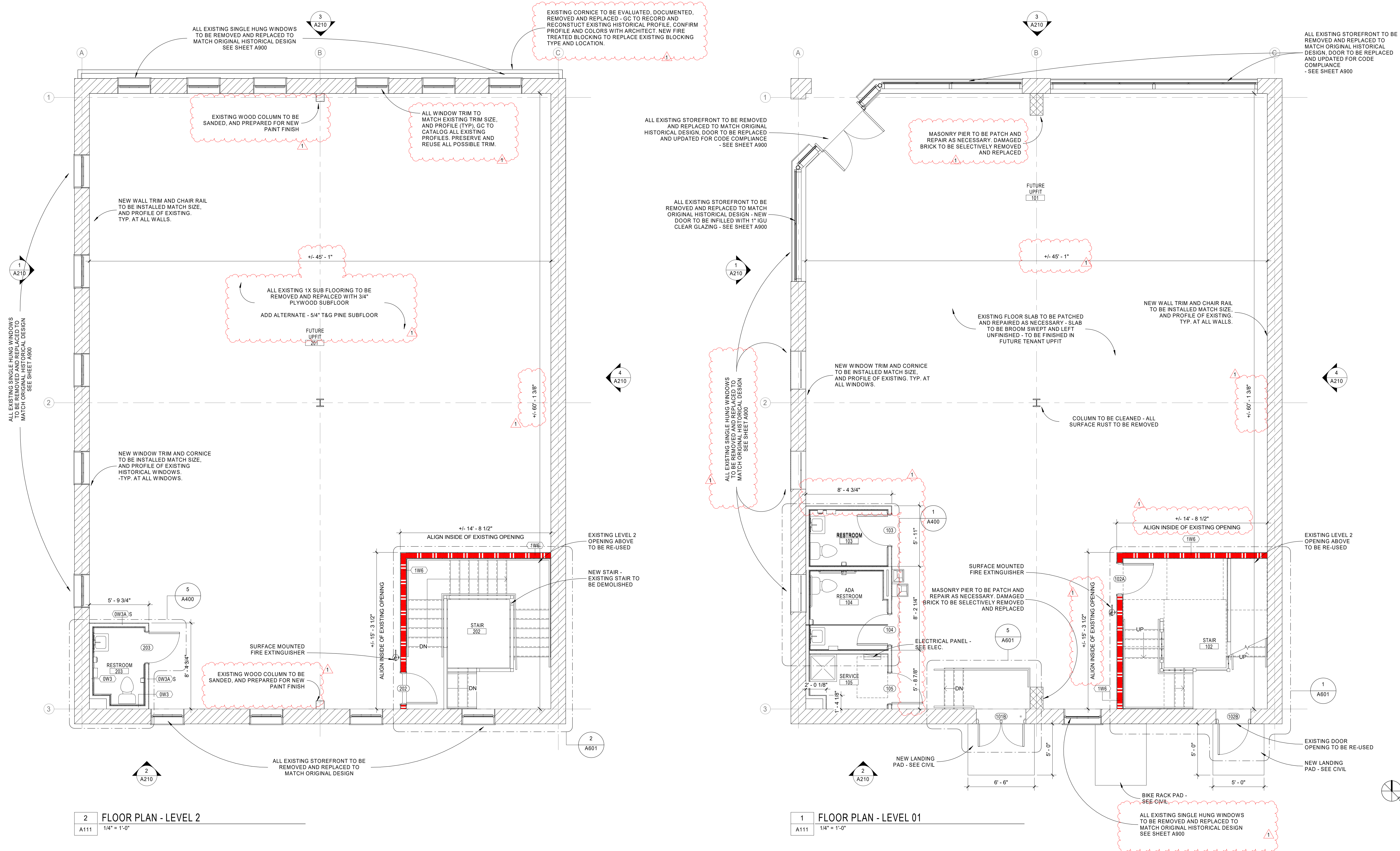
PROJECT NO.
132.15925.00

SHEET TITLE
ARCHITECTURAL SITE PLAN

SHEET NUMBER
A110

NOTES

1. OMITTED
2. DO NOT SCALE DRAWINGS.
3. THE OVERALL DIMENSIONS OF THESE DRAWINGS ARE BASED ON OWNER PROVIDED DOCUMENTATION.
4. BASIS OF DESIGN IS A SINGLE TENANT OFFICE SPACE - CURRENTLY INDICATED AS FUTURE TENANT UPPIT
5. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED. ALL EXISTING PARTITION WALLS TO REMAIN. ALL EXISTING DOORS AND WINDOWS ARE TO BE DEMOLISHED AND REPLACED WITH NEW SYSTEMS TO MATCH ORIGINAL DESIGN.
6. ALL NEW WINDOWS TO BE WOOD, SINGLE HUNG WINDOWS, U.N.O. NEW WOOD STOREFRONT TO MATCH DESIGN LAYOUT OF EXISTING STOREFRONT.
7. EXISTING WALL SURFACES AND PARTITIONS TO REMAIN SHALL BE PATCHED, SCAKLED AND SANDED SMOOTH SO AS NOT TO LEAVE ANY EVIDENCE OF DEMOTION OR REPAIR WORK.
8. COLUMN CENTER LINES, OR GRID LINES, ARE SHOWN FOR REFERENCE, EXACT LOCATIONS TO BE VERIFIED IN FIELD.
9. INTERIOR FINISH OF EXISTING WALLS TO REMAIN - EXISTING PLASTER TO BE STRIPPED OF FLAKING AND DAMAGED PART, EXISTING LOOSE OR DAMAGED PLASTER TO BE REMOVED AND EXISTING PLASTER TO BE STABILIZED, PLASTER TO RECEIVE NEW FINISH.
10. ALL NEW WOOD TRIM (INTERIOR AND EXTERIOR), MILLION PROFILES AND OTHER ORNAMENTATION TO BE CAREFULLY REMOVED, PROTECTED, PRESERVED AND CATALOGED PRIOR TO DEMOLITION FOR RECREATION AND REPLACEMENT DURING CONSTRUCTION. ALL EXISTING TRIM TO BE RE-USED WHERE POSSIBLE.



CONSTRUCTION
DOCUMENTS

7/08/2021

REVISIONS		
NO.	REASON	DATE
	PERMIT DOCUMENTS	07/15/202

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PROJECT TEAM

DODIE PORTIS
PROJECT MANAGER

PROJECT MANAGER
NICHOLAS AULT

DESIGN TEAM

PROJECT NAME
 ... FRONT SHELL

ED FRONT SHELL RENOVATION

25 BELMONT AVENUE

HARLOTTE, NC 2820

PROJECT NO. _____

32.15925.00

FLOOR PLANS

LOOK FLANS

ET NUMBER

A 111

A111

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SHEET GENERAL NOTES

1. WORK NOTED "BY OTHERS" OR "NIC" SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT.
2. SEE SHEET **<A210>** FOR PARTITION TYPES.
3. SEE SHEET **<A200>** FOR DOOR TYPES AND DETAILS.
4. PROVIDE CONTROL JOINTS ON GYP. BD. ASSEMBLIES PER SPECIFICATIONS AND WHERE SHOWN.
5. REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS WHEN APPLICABLE. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK IN QUESTIONS.
6. COORDINATE AND PROVIDE METAL OR RATED SOLID WOOD BLOCKING (FIRE TREATED) IN PARTITIONS AND CEILING FOR MILLWORK, WALL AND CEILING ATTACHED ITEMS AS SPECIFIED. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT.
7. COORDINATE WITH TENANT AND OWNER, THE SCHEDULE FOR ACCESS TO THE BUILDING. COORDINATE WITH ARCHITECT FOR FINAL SELECTIONS OF PAINT, TRIM SIZE AND PROFILE, AND STOREFRONT CAP PROFILES. ALL PROFILES TO BE OF OWNER'S TYPICAL SELECTION OF HISTORICAL PROFILES.
8. PARTITIONS AT BUILDING PERIMETER SHALL BE CENTERED ON CENTER LINE OF COLUMN OR WINDOW MULLION, UNLESS OTHERWISE NOTED.
9. PROVIDE PARTITION TYPE WITH THE HIGHEST UL AND/OR ACOUSTICAL PERFORMANCE RATING WHERE MORE THAN ONE PARTITION TYPE IS INDICATED. PARTITIONS SHALL BE HEAD CONDITION "X" UNLESS OTHERWISE NOTED.
10. OFFSET ELECTRICAL AND TELEPHONE OUTLETS 16" MINIMUM IN SEPARATE STUD WALL CAVITIES.
11. OFFSET ELECTRICAL AND TELEPHONE OUTLETS 16" MINIMUM IN SEPARATE STUD WALL CAVITIES.

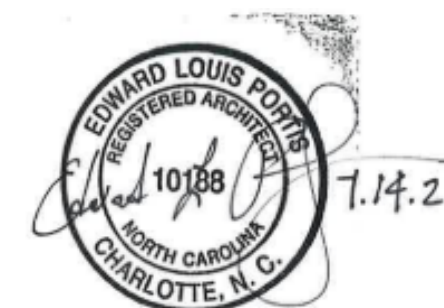
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ISSUE FOR CONSTRUCTION DOCUMENTS

ISSUE DATE
07/08/2021

REVISIONS NO.	REASON	DATE
1	PERMIT DOCUMENTS	07/15/2021

PROJECT TEAM

PRINCIPAL IN CHARGE
EDDIE PORTIS

PROJECT MANAGER
NICHOLAS AULT

DESIGN TEAM
ADAM CARUTHERS

PROJECT NAME

RED FRONT SHELL RENOVATION

1125 BELMONT AVENUE
CHARLOTTE, NC 28205

PROJECT NO.

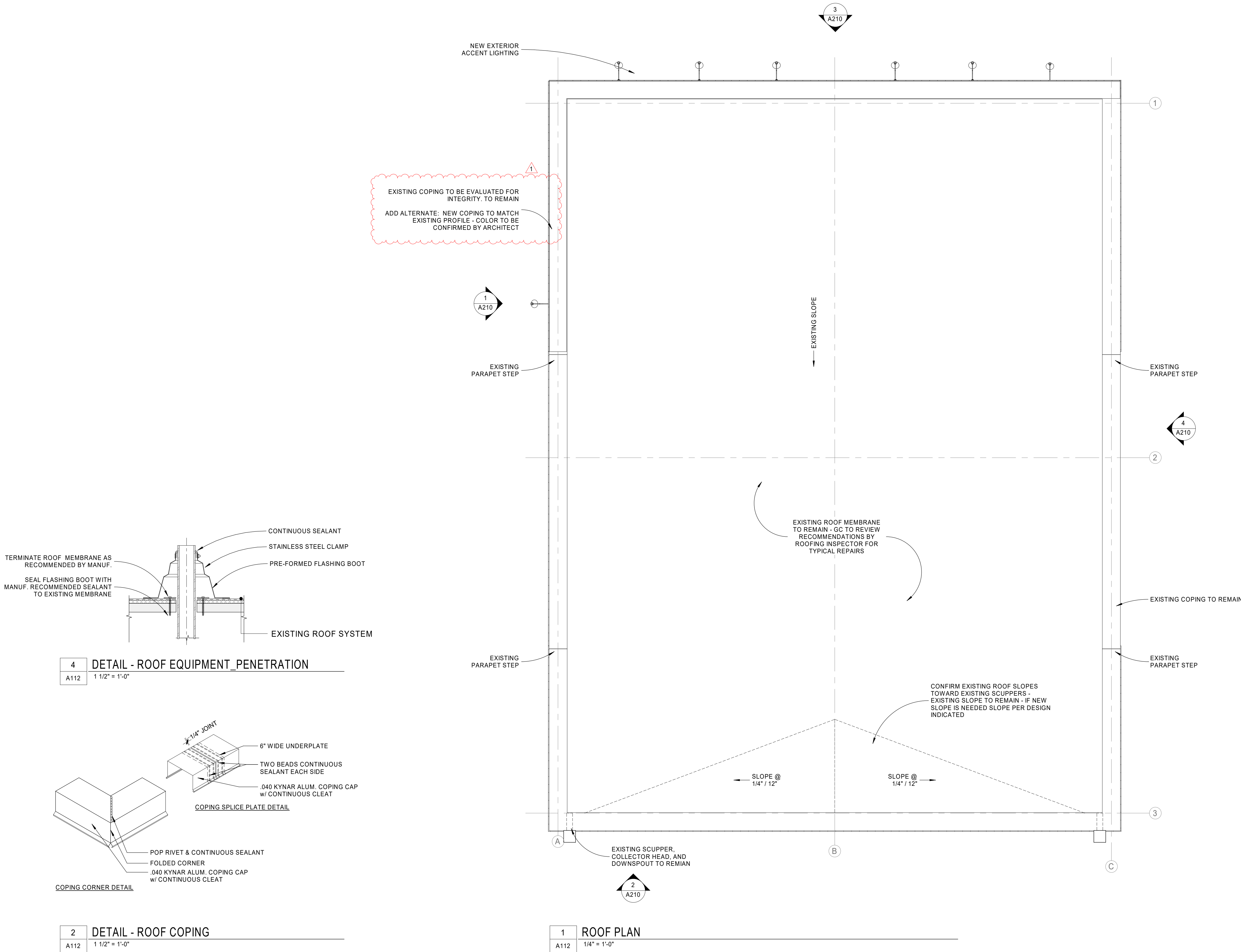
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SHEET TITLE

ROOF PLAN

SHEET NUMBER

A112



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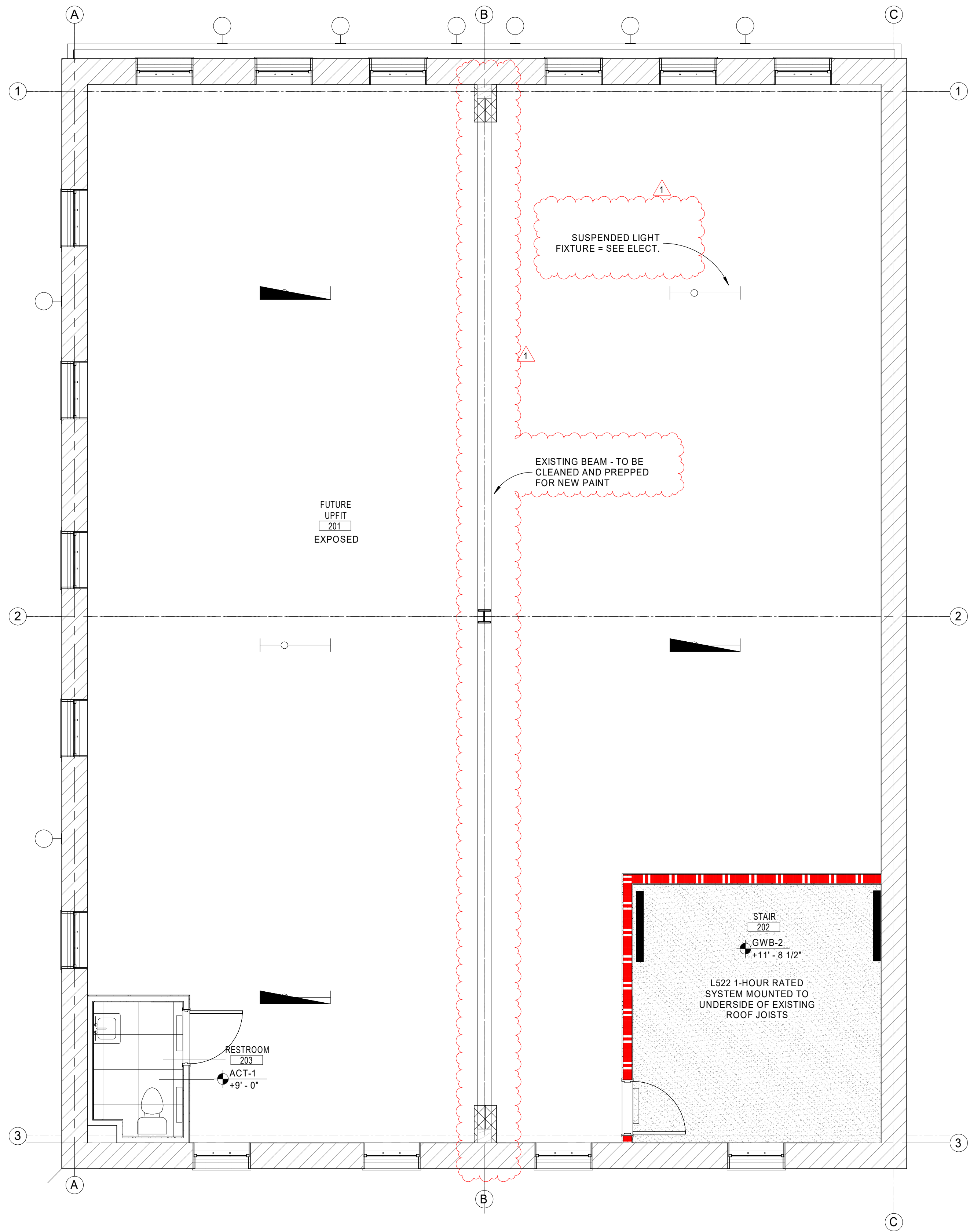
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2 REFLECTED CEILING PLAN - LEVEL 2
A121 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND

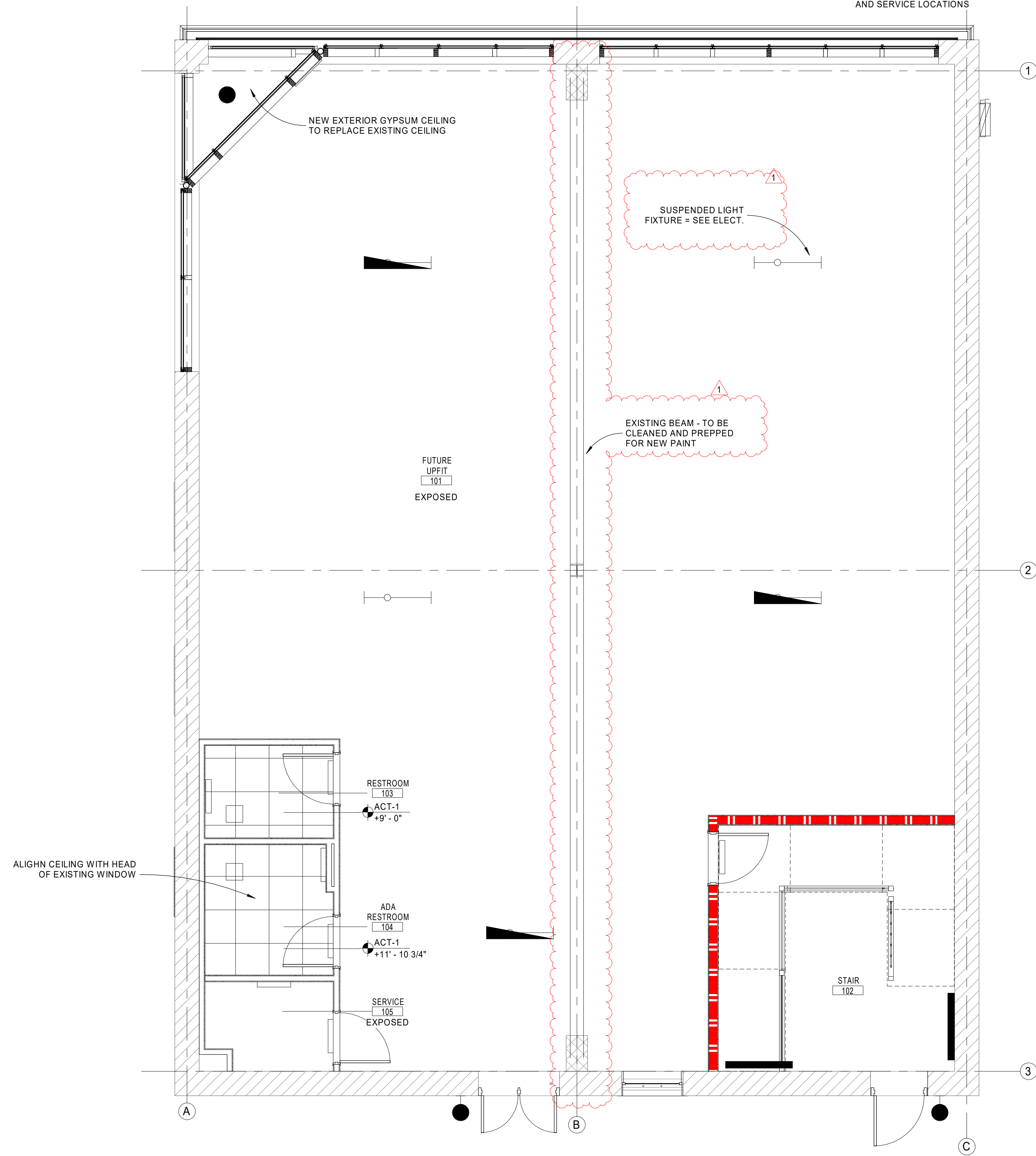
- CEILING HUNG STRIP LIGHT
- RECESSED LIGHT FIXTURE
- ACT CEILING SYSTEM
- GW-B CEILING
- WS WALL SCONCE (EXTERIOR)
- WS WALL SCONCE (INTERIOR)
- EXIT SIGN (WALL / CEILING)

RATED WALLS & PARTITIONS

- FIRE BARRIER
- 1-HOUR
- NON-RATED PARTITION
- 0-HOUR

SHEET GENERAL NOTES

- COORDINATE CEILING, SOFFIT AND BULKHEAD INSTALLATIONS WITH OTHER ELEMENTS OF WORK.
- CEILING HEIGHTS ARE GIVEN FROM FINISHED FLOOR ELEVATION.
- CENTER SUSPENDED CEILING GRIDS IN ROOMS. IF EDGE TILE IS 4" 2X4 TILE TO BE USED - ARMSTRONG ULTIMA 15/16" TEE W/ BEVELED REGULAR TILE. STANDARD PROFILE.
- TILES SHALL BE INSTALLED SO GRAIN LINES OF TILE ARE RUNNING IN SAME DIRECTION FOR EACH CEILING TYPE.
- LOCATE MECHANICAL AND ELECTRICAL DEVICES AS INDICATED. REFERENCE MECHANICAL OR ELECTRICAL.
- CEILING PLAN SHALL GOVERN FOR LOCATION OF ALL DEVICES AS SHOWN. ENGINEERING DOCUMENTS SHALL PREVAIL ONLY IN CASE OF SCOPE OF WORK AND ELEMENTS OCCURRING ABOVE CEILING. DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DOCUMENTS MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO COMMENCING WORK.
- MIX TILE IN A UNIFORM MANNER TO ELIMINATE BANDING OR BATCHING.
- IF CEILING DIFFUSER, LIGHT FIXTURES OR OTHER ELEMENTS ON OR ABOVE THE CEILING CAN NOT BE LOCATED AS SHOWN ON THE DRAWINGS, SUCH INTERFERENCE SHALL BE REPORTED IMMEDIATELY TO ARCHITECT FOR RELOCATION.
- PROVIDE EMERGENCY BATTERY PACKS OR EMERGENCY CIRCUITS AS REQUIRED BY CODE.
- PROVIDE FINAL QUANTITY AND LOCATION OF EMERGENCY DEVICES. (INCLUDING BUT NOT LIMITED TO: BATTERY PACKS, EXIT SIGNS, FIRE ALARMS, ETC.) IN COMPLIANCE WITH AUTHORITY HAVING JURISDICTION.
- DIMMERS AND SWITCHES SHALL BE GANGED TOGETHER IN LARGEST MULTI GANG BOXES WITH COMMON FACE PLATES POSSIBLE. STACKING OF LARGE BOXES (5 SWITCHES ABOVE 5 SWITCHES) IS ACCEPTABLE.
- MATERIALS PLACED IN CEILING SHALL BE REQUIRED TO HAVE A PLENUM RATING.
- STENCIL RATED WALLS, BOTH SIDES, TYPICAL.
- ACOUSTICAL CEILING MATERIAL TO BE SCRUBBABLE AT RESTROOM AND SERVICE LOCATIONS.



1 REFLECTED CEILING PLAN - LEVEL 1
A121 1/4" = 1'-0"

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10108

7.14.21

EDWARD LOUIS PORTIS

REGISTERED ARCHITECT

NORTH CAROLINA

CHARLOTTE, N.C.

ISSUE FOR

CONSTRUCTION DOCUMENTS

ISSUE DATE

07/08/2021

REVISIONS

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1	PERMIT DOCUMENTS	07/15/2021

PROJECT TEAM

PRINCIPAL IN CHARGE

EDDIE PORTIS

PROJECT MANAGER

NICHOLAS AULT

DESIGN TEAM

Designer

PROJECT NAME

RED FRONT SHELL RENOVATION

1125 BELMONT AVENUE

CHARLOTTE, NC 28205

PROJECT NO.

132.15925.00

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A210

KEY NOTES - EXTERIOR ELEVATIONS

01

EXISTING SINGLE HUNG WINDOWS TO BE REMOVED AND REPLACED. ALL DIMENSIONS ARE TO BE INDIVIDUALLY FIELD VERIFIED. 2X3 MUNTINS TYP. UPPER + LOWER

02

EXISTING FIXED PANEL WINDOWS TO BE REMOVED AND REPLACED. ALL DIMENSIONS ARE TO BE INDIVIDUALLY FIELD VERIFIED. 2X2 MUNTIN LAYOUT TYP.

03

EXISTING WOOD STOREFRONT TO BE REMOVED AND REPLACED W/ WOOD STOREFRONT SYSTEM - PAINTED. COLOR + MULLION PROFILE TO BE SELECTED BY ARCHITECT. ALL DIMENSIONS ARE TO BE INDIVIDUALLY FIELD VERIFIED.

04

4X4 GLAZED EXTERIOR WALL TILE SET IN MORTAR BED W/ FIBERGLASS MESH O/ EXT GLASS MAT GYP BD. FILL WALL CAVITY W/ BATT INSUL.

05

EXISTING FACE BRICK TO BE CLEANED AND PRESSURE WASHED - ALL PAINT TO BE REMOVED AND MORTAR TO BE RE-POINTED AS NECESSARY. GC TO PERFORM AN INSPECTION OF EXISTING BRICK - ALL WALL CRACKS 1/8" AND WIDER SHALL BE ROUTED OUT AT LEAST 1-1/2" DEEP AND FILLED WITH TYPE S' MORTAR - BRICK TO BE PAINTED AT PEAGRAM AND BELMONT ELEVATIONS

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EXISTING COPING TO BE EVALUATED FOR INTEGRITY. TO REMAIN
ADD ALTERNATE: NEW COPING TO MATCH EXISTING PROFILE - COLOR TO BE CONFIRMED BY ARCHITECT

EXISTING PAINTED SIGN TO BE REFINISHED - TO REFLECT WEAR AND AGE - MATCH EXISTING COLOR AND SCALE - CONSULT WITH ARCHITECT

N.J. COVINGTON

EXISTING GAS METER AND BOLLARDS - BOLLARDS TO BE PAINTED SAFETY YELLOW

FINISHED FLOOR BELOW GRADE

APPROXIMATE EXISTING GRADE

LEVEL 02 13' - 10 1/2"

LEVEL 01 0"

ROOF 26' - 8 1/2"

4 - 7 1/2"

12' - 10"

31' - 4"

13' - 10 1/2"

4 ELEVATION - WEST
A210 1/4" = 1'-0"

EXISTING COPING TO BE EVALUATED FOR INTEGRITY. TO REMAIN
ADD ALTERNATE: NEW COPING TO MATCH EXISTING PROFILE - COLOR TO BE CONFIRMED BY ARCHITECT

EXISTING COLLECTOR HEAD, DOWNSPOUT. NEW SPLASH BLOCK DIRECTED AWAY FROM BUILDING EXTERIOR

LEVEL 02 13' - 10 1/2"

LEVEL 01 0"

ROOF 26' - 8 1/2"

9' - 5 5/8"

9' - 10 3/8"

7' - 7"

3' - 3"

TYP

3' - 8"

3' - 10 3/8"

3' - 8 5/8"

7' - 8"

2 ELEVATION - NORTH
A210 1/4" = 1'-0"

EXISTING COPING TO BE EVALUATED FOR INTEGRITY. TO REMAIN
ADD ALTERNATE: NEW COPING TO MATCH EXISTING PROFILE - COLOR TO BE CONFIRMED BY ARCHITECT

EXISTING STOREFRONT TO BE REPLACED WITH WOOD STOREFRONT SYSTEM TO MATCH SIZE AND APPEARANCE OF ORIGINAL DESIGN (TYP.)

PAINTED P.T. WOOD 1X TRIM TO COVER EXISTING COLUMN - TO MATCH EXISTING

LEVEL 02 13' - 10 1/2"

LEVEL 01 0"

ROOF 26' - 8 1/2"

7' - 7"

3' - 3"

TYP

3' - 8 1/2"

TYP

3' - 8 1/2"

TYP

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1 ELEVATION - EAST
A210 1/4" = 1'-0"

EXISTING COPING TO BE EVALUATED FOR INTEGRITY. TO REMAIN
ADD ALTERNATE: NEW COPING TO MATCH EXISTING PROFILE - COLOR TO BE CONFIRMED BY ARCHITECT

EXISTING STOREFRONT TO BE REPLACED WITH WOOD STOREFRONT SYSTEM TO MATCH SIZE AND APPEARANCE OF ORIGINAL DESIGN (TYP.)

EXISTING METAL WINDOW CORNICE TO BE REMOVED AND REPLACED. PROFILE TO BE DOCUMENTED FOR REPLICATING PRIOR TO DEMOLITION. WOOD SUPPORT BLOCKING TO BE REMOVED AND REPLACED WITH PT BLOCKING TO MATCH EXISTING SIZE AND ATTACHMENT METHOD

EXISTING PAINTED SIGNAGE TO BE RESTORED TO REFLECT WEAR AND AGE - CONSULT WITH ARCHITECT

NEW LIGHTING - SEE ELECTRICAL

LEVEL 02 13' - 10 1/2"

LEVEL 01 0"

ROOF 26' - 8 1/2"

7' - 7"

3' - 3"

TYP

3' - 8 1/2"

TYP

01

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3 ELEVATION - SOUTH
A210 1/4" = 1'-0"

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GENERAL NOTES

1. ALL SILL, HEAD, AND JAMB DETAILS SHOWN FOR REPRESENTATION AND PRICING. ACTUAL CONSTRUCTION DETAILS TO BE COORDINATED BETWEEN ARCHITECT AND GC UPON PRODUCT SELECTION AND DEMOLITION TO ENSURE PROPER INTEGRATION AND WATERPROOFING.
2. EXTERIOR 4X4 WALL TILE TO BE DALTILE - CLASSIC COLOR WHEEL COLLECTION - BLUE TONES, AS SELECTED BY ARCHITECT (OR SIMILAR)

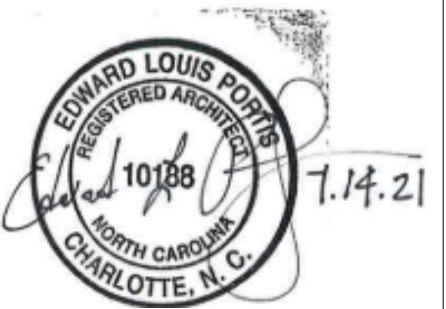
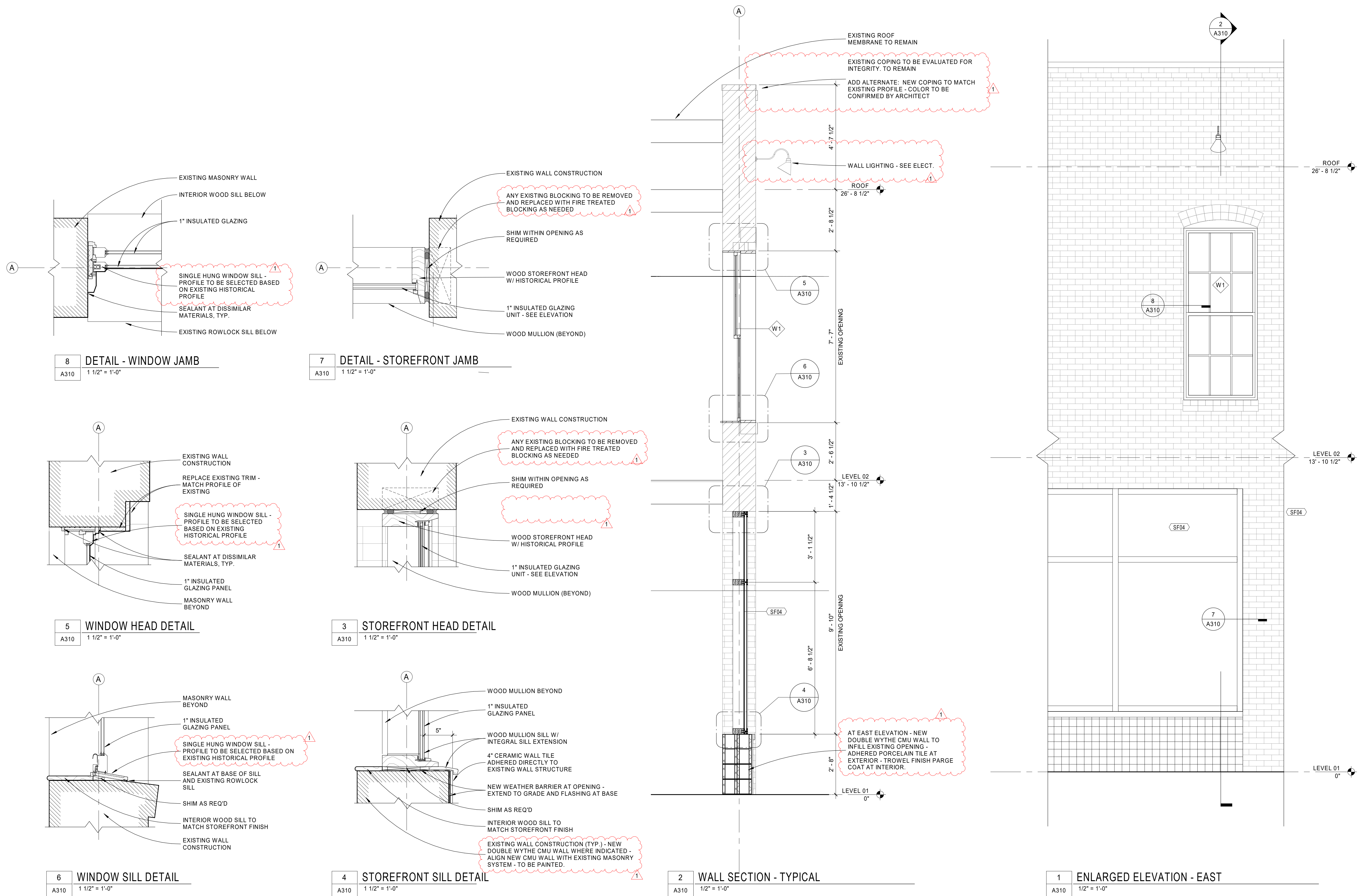
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ISSUE FOR
CONSTRUCTION DOCUMENTS

ISSUE DATE
07/08/2021

REVISIONS
NO. REASON DATE

1 PERMIT DOCUMENTS 07/15/2021

PROJECT TEAM
PRINCIPAL IN CHARGE
EDDIE PORTIS
PROJECT MANAGER
NICHOLAS AULT
DESIGN TEAM
Designer

PROJECT NAME
RED FRONT SHELL RENOVATION

1125 BELMONT AVENUE
CHARLOTTE, NC 28205

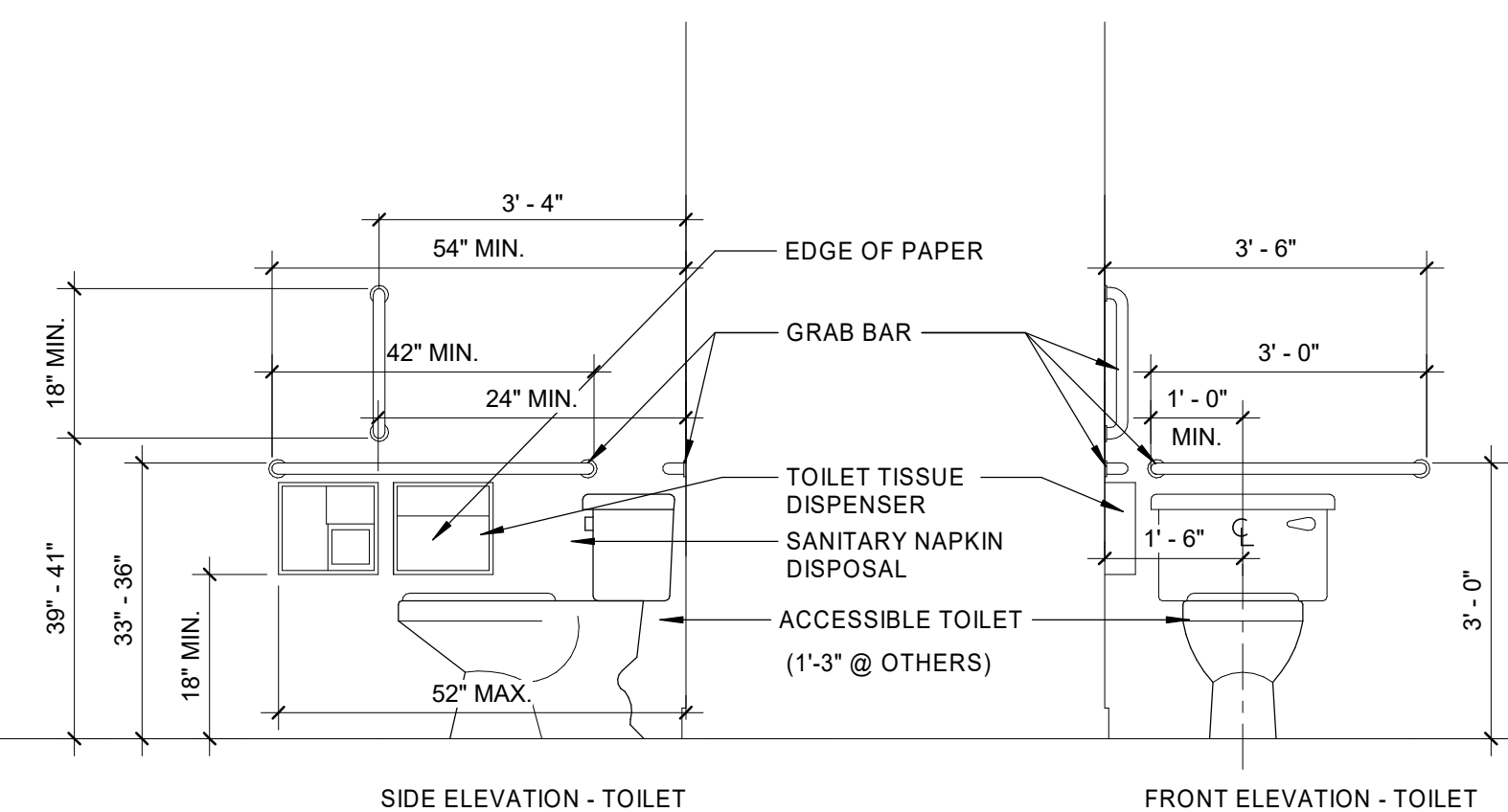
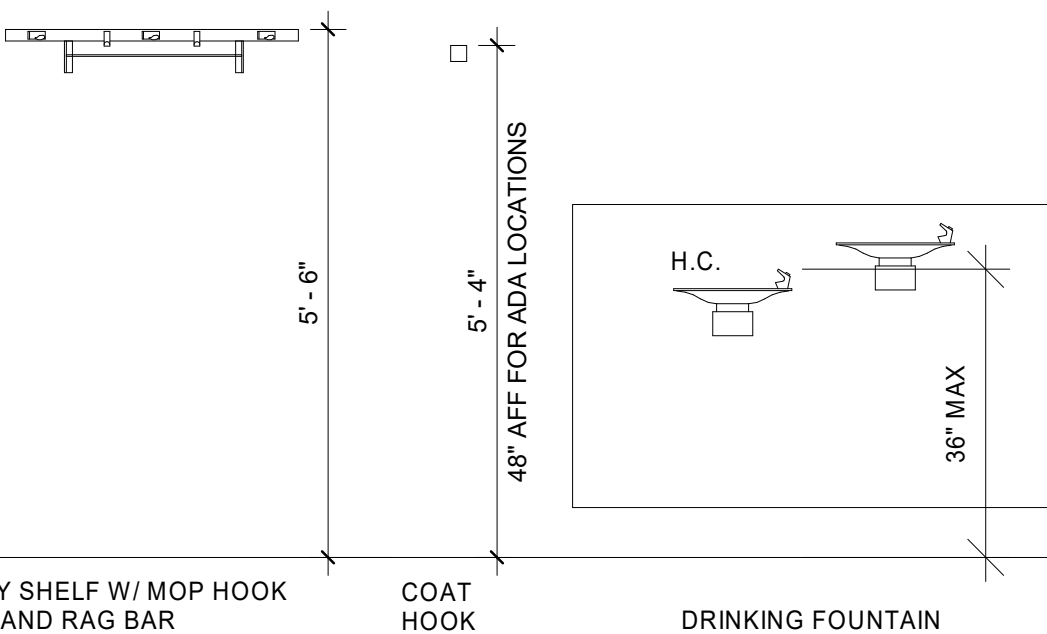
PROJECT NO.
132.15925.00

SHEET TITLE
ENLARGED ELEVATION
+ EXTERIOR DETAILS

SHEET NUMBER

A310

GB1	TA	GRAB BAR 36"
GB2	TA	GRAB BAR 42"
GB3	TA	GRAB BAR 18" VERTICAL
SD	TA	SURFACE MOUNTED SOAP DISPENSOR
TC	TA	SURFACE MOUNTED PAPER TOWER DISPENSER
TPD	TA	SURFACE MOUNTED SINGLE ROLL TOILET PAPER DISPENSER
WM	TA	FRAMED MIRROR (24" W X 72" H)



TYPICAL BATHROOM MOUNTING HEIGHTS



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CHARLOTTE, NC 28205

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SHEET TITLE
ENLARGED TOILET
PLANS AND
ELEVATIONS

SHEET NUMBER

A400

GENERAL NOTES - DOORS

- CAULK DOOR JAMBS AND HEADS AT ALL SOUND RATED WALLS AND ANYWHERE THAT GAPS BETWEEN WALL AND FRAME EXCEEDS 1/16", TYP.
- ALL DOORS TO RECEIVE BUILDING STANDARD DOME DOOR STOP IN BRUSHED CHROME, UNO.
- INSTALLATION OF ALL DOORS AND HARDWARE SHALL MEET APPLICABLE ACCESSIBILITY REQUIREMENTS. REPORT CONFLICTS TO ARCHITECTS PRIOR TO PURCHASING HARDWARE.
- CAULK DOOR JAMBS AND HEADS AT DOORS TO SOUND INSULATED ROOMS.
- CAULK DOOR JAMBS AND HEADS BETWEEN WALL AND FRAME.
- DOORS TO BE LOCATED 4" FROM FACE OF WALL INCLUDING DOOR FRAME, UNLESS OTHERWISE NOTED.
- ALL GLAZING TO BE 1" INSULATED GLAZING UNIT - GUARDIAN SUNGUARD SNG8 ON CLEAR OR EQUAL.
- WOOD STOREFRONT AND SINGLE HUNG WINDOWS ARE TO BE RECONSTRUCTED TO MATCH THE EXISTING HISTORICAL DESIGN OF THE WINDOWS. GC TO REMOVE, PROTECT, AND DOCUMENT THE EXISTING WINDOW AND STOREFRONT PROFILES.
- BASIS OF DESIGN FOR STOREFRONT SYSTEMS IS DYNAMIC ALL WOOD SERIES STOREFRONT SYSTEM - FINELINE OR EQUAL AS REVIEWED BY ARCHITECT.
- BASIS OF DESIGN FOR SINGLE HUNG AND CASEMENT WINDOWS IS - DYNAMIC ALL WOOD SERIES WINDOW.

INTERIOR SIGNAGE

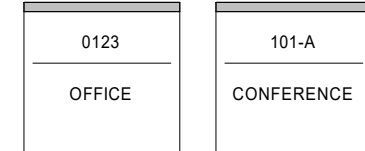
*CODE-REQUIRED SIGNAGE ONLY

SIGN:	LOCATION:	TYPE:
MEN	(TOILET ROOMS)	2
WOMEN	(TOILET ROOMS)	2
JANITOR	(JANITOR CLOSETS)	3
STAIRS	(STAIR IDENTIFICATION EACH FLOOR)	2
ELECTRICAL	(ELECTRICAL ROOMS)	3
MACHINE ROOM	(ELEVATOR MACHINE ROOMS)	3
MECHANICAL	(MECHANICAL ROOMS)	3
USE STAIRS	(CALL BUTTON SIGNS AT ELEVATOR LOBBIES)	2A
FLOOR IDENTIFICATION	(CALL BUTTON SIGNS AT ELEVATOR LOBBIES)	2A
LUMINOUS EGRESS	(ENGRAVED) (FLOOR IDENTIFICATION SIGNS IN STAIRS)	3
ROOF	(ROOF IDENTIFICATION SIGN IN STAIRS)	3
MAXIMUM OCCUPANCY LOAD	(ASSEMBLY AREAS)	5

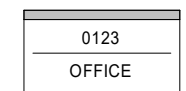
SIGN TYPES

SIGN TYPE 1:	8-1/4" x 7" ACRYLIC SIGN
SIGN TYPE 1A:	4-1/2" x 7" ACRYLIC SIGN
SIGN TYPE 2:	8-1/4" x 7" ACRYLIC SIGN
SIGN TYPE 2A:	17-1/2" x 15-1/2" ACRYLIC SIGN
SIGN TYPE 3:	6" x 8" ACRYLIC SIGN
SIGN TYPE 4:	6" x 8" ACRYLIC SIGN
SIGN TYPE 5:	6" x 8" ACRYLIC SIGN

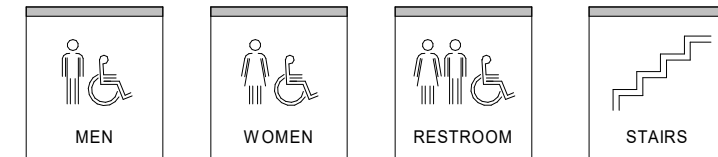
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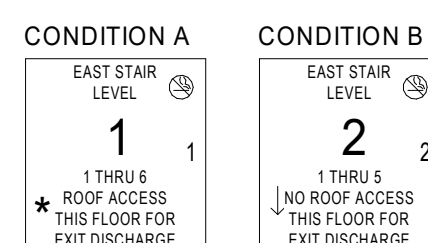
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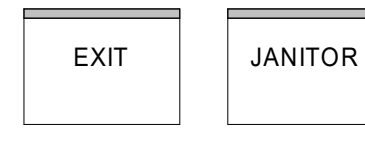
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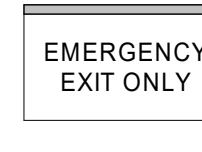
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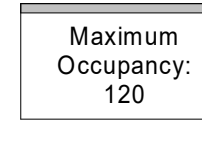
SIGN TYPE 3:



SIGN TYPE 4:



SIGN TYPE 5:

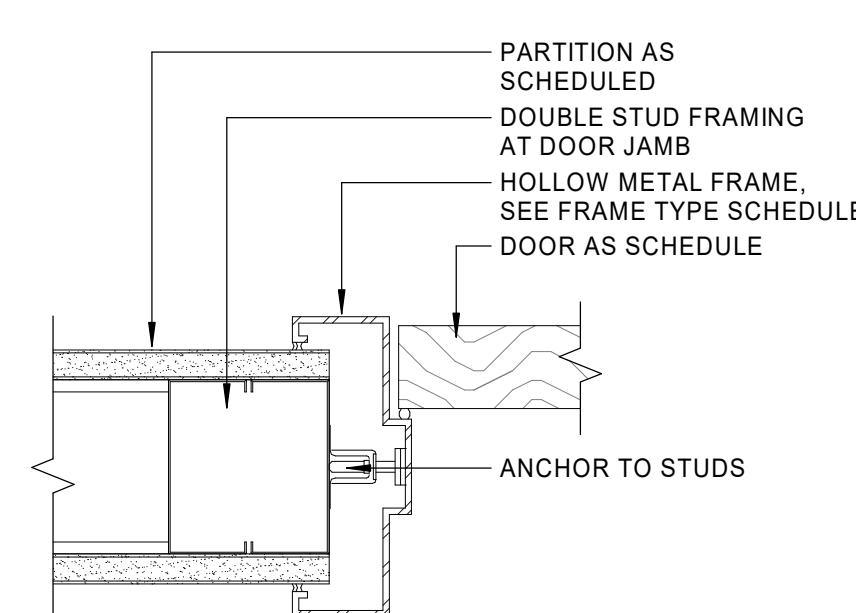
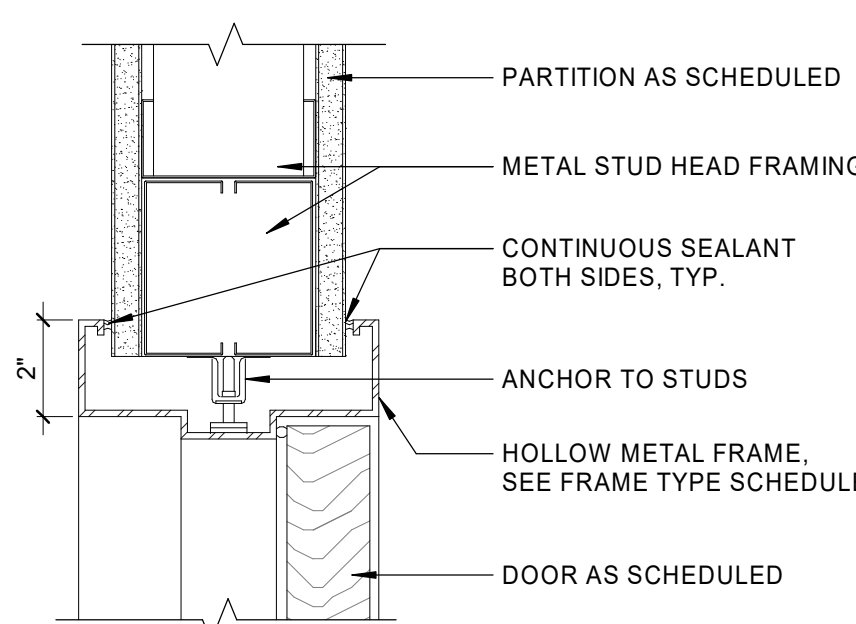


COORDINATE OCCUPANCY COUNT WITH ARCHITECT

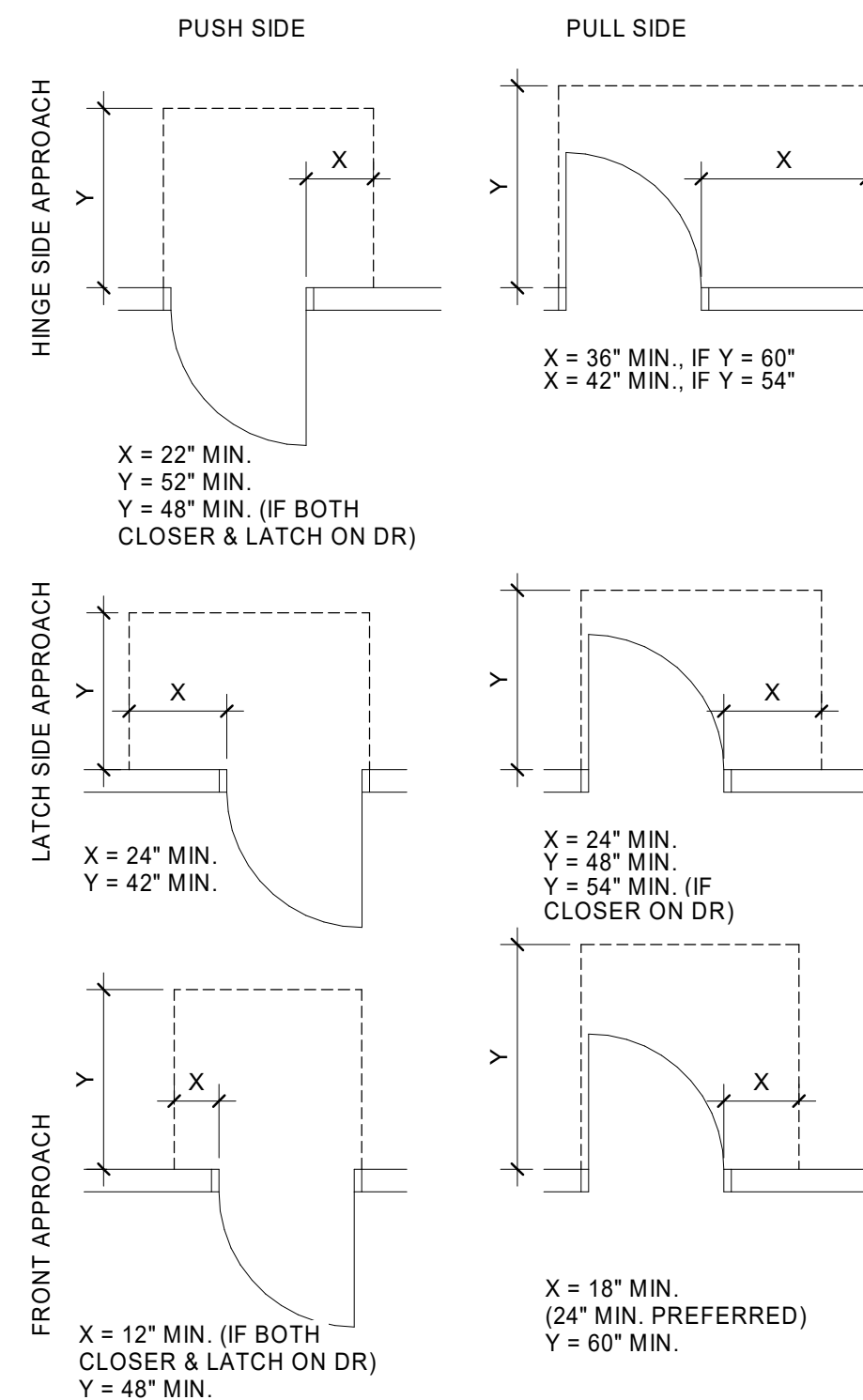
POST OCCUPANCY LOAD IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE OF ASSEMBLY AREAS (PER CODE REQUIREMENTS)

- SIGNAGE NOTES:**
- ALL ELECTRICAL ROOMS, FIRE SPRINKLER ROOMS, FIRE ALARM ROOMS SHOULD BE LABELED ACCORDING TO THE GOVERNING FIRE CODE WITH REQ'D MINIMUM CHARACTER SIZES.
 - CHARACTERS AND TACTILE CHARACTERS OF SIGNS SHALL MEET THE REQUIREMENTS OF APPLICABLE ACCESSIBILITY CODES.
 - REFER TO SPECIFICATIONS FOR PANEL SIGNAGE FINISHES.
 - PROVIDE MOCKUPS OF ALL SIGNS FOR A/HJ REVIEW BEFORE FABRICATION.

INTERIOR HM FRAME

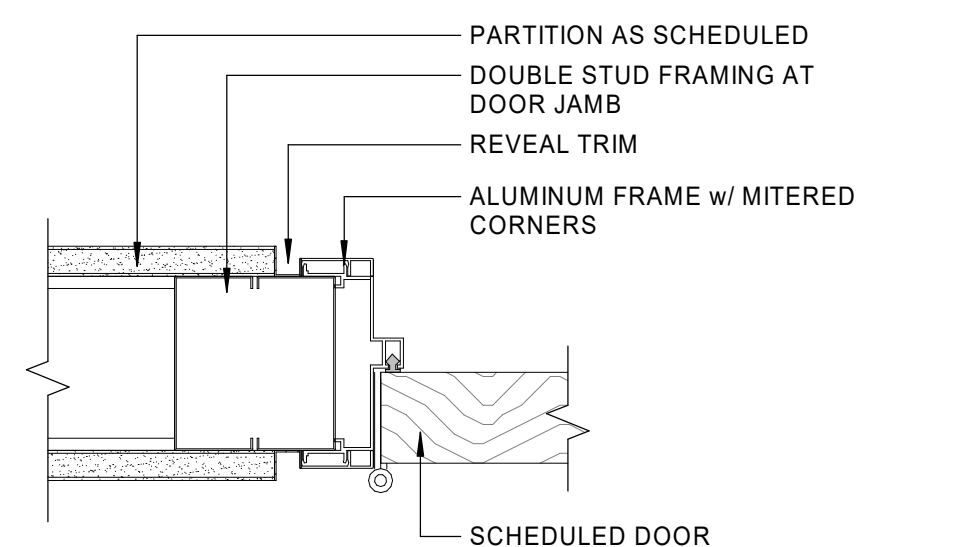
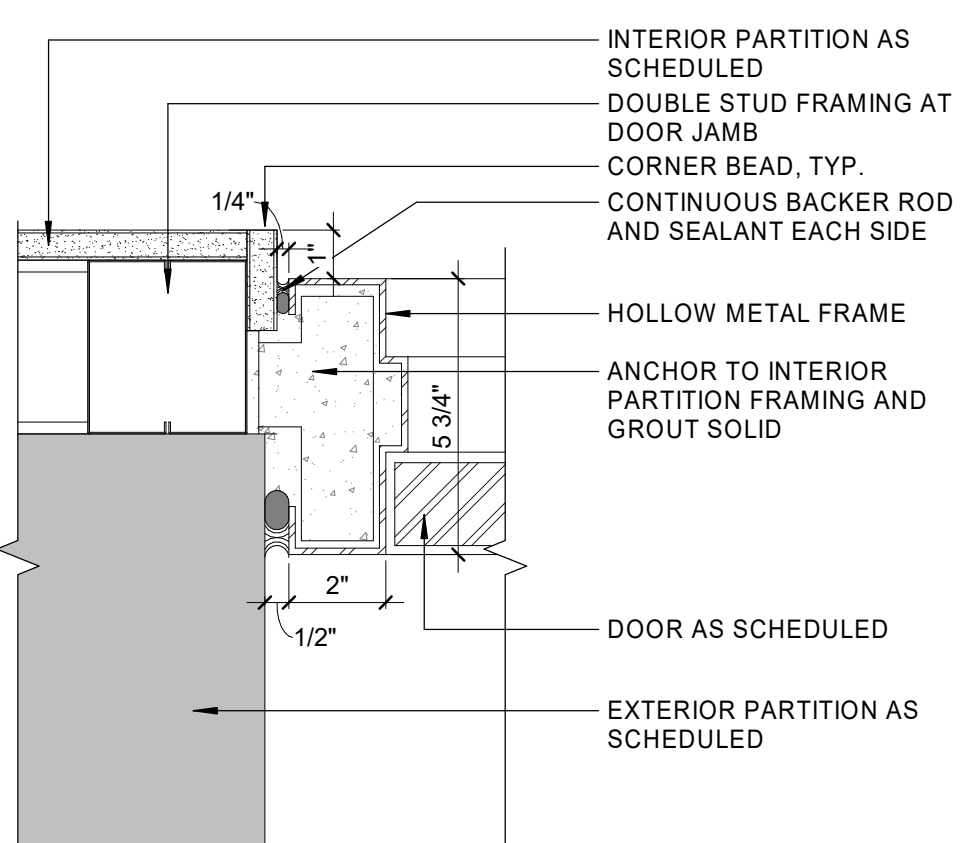
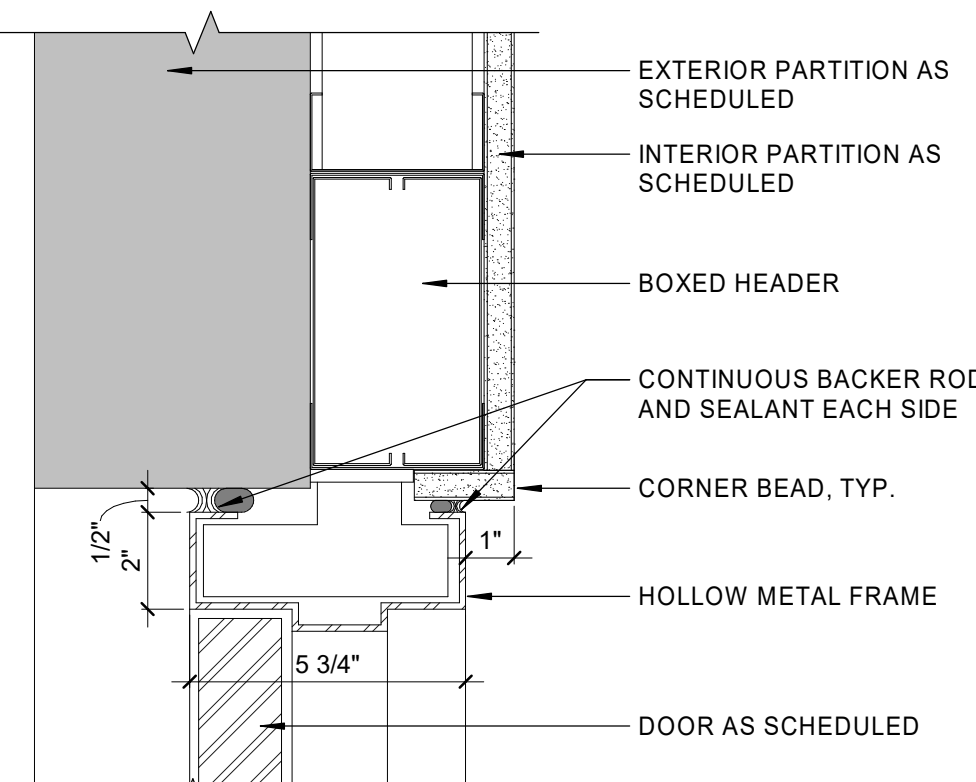


ACCESSIBLE CLEARANCES - DOORS

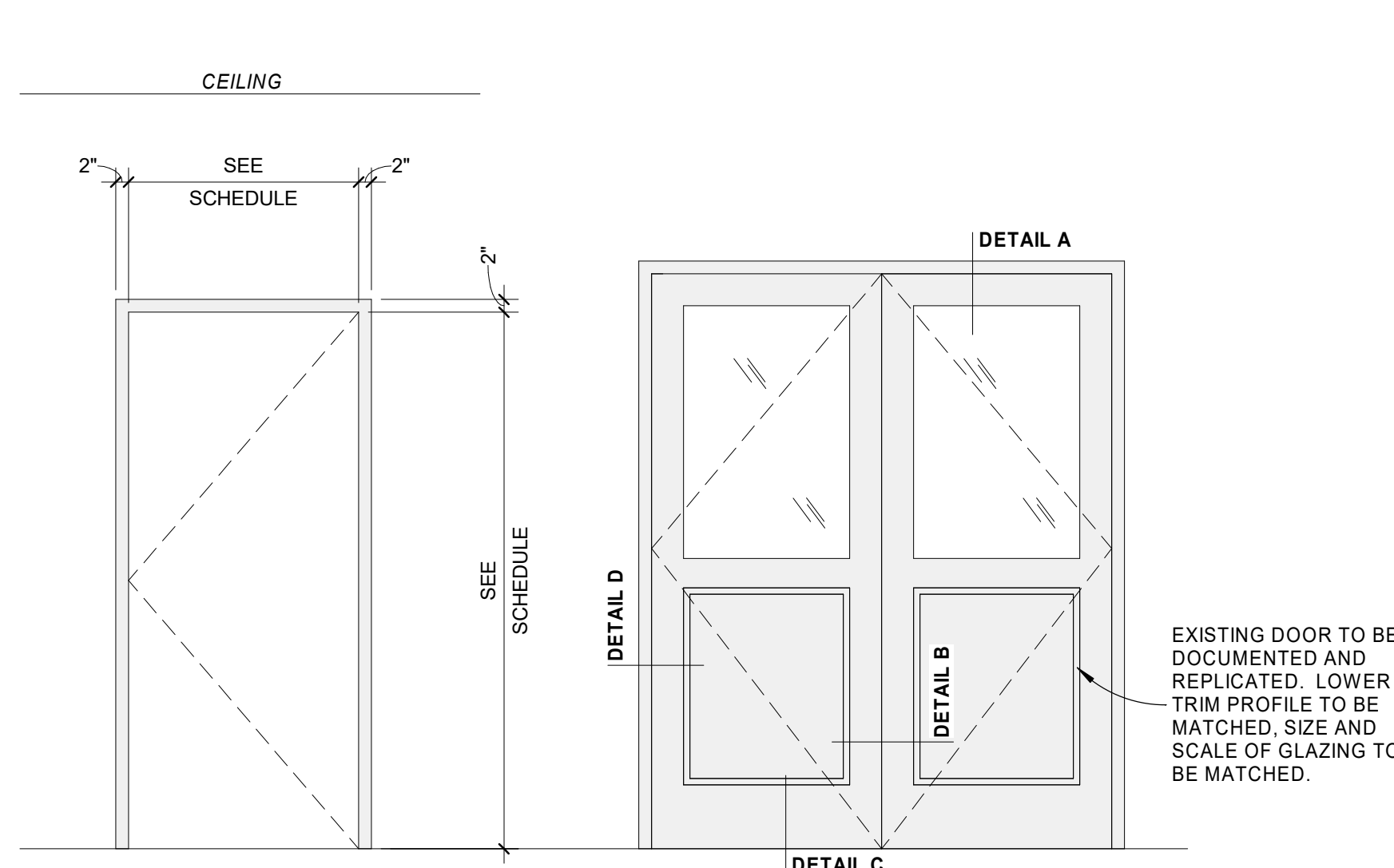


NOTE: ERECT ALL DOOR FRAMES AND ADJACENT WALLS PER APPLICABLE PLAN CONFIGURATION. NOTIFY ARCHITECT OF CONFLICTS PRIOR TO INSTALLATION OF DOOR FRAMES AND/OR ADJACENT WALLS.

EXTERIOR HM FRAME



DOOR AND FRAME TYPES

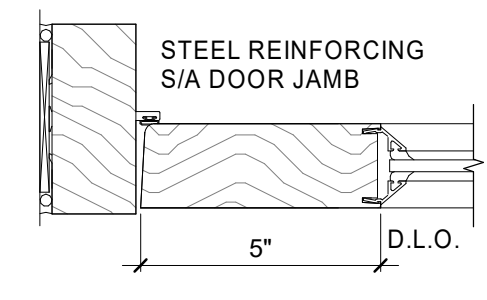
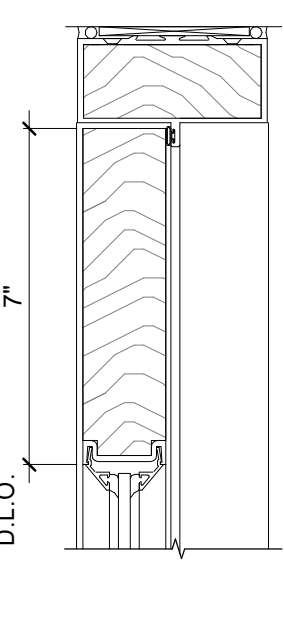
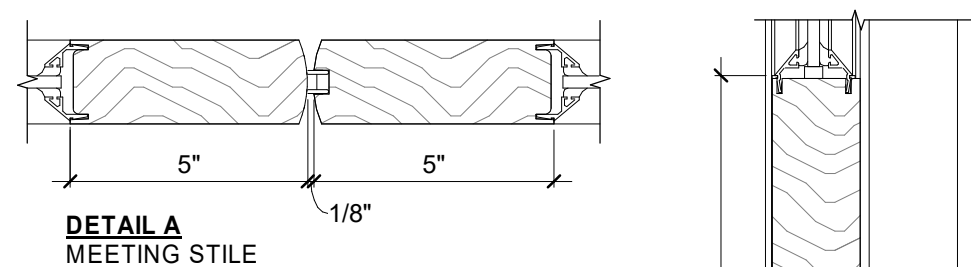


F1

WOOD FRAME
PAINTED TO MATCH
ADJACENT WALL;
SEMI GLOSS FINISH
FLUSH WOOD DOOR

SF1

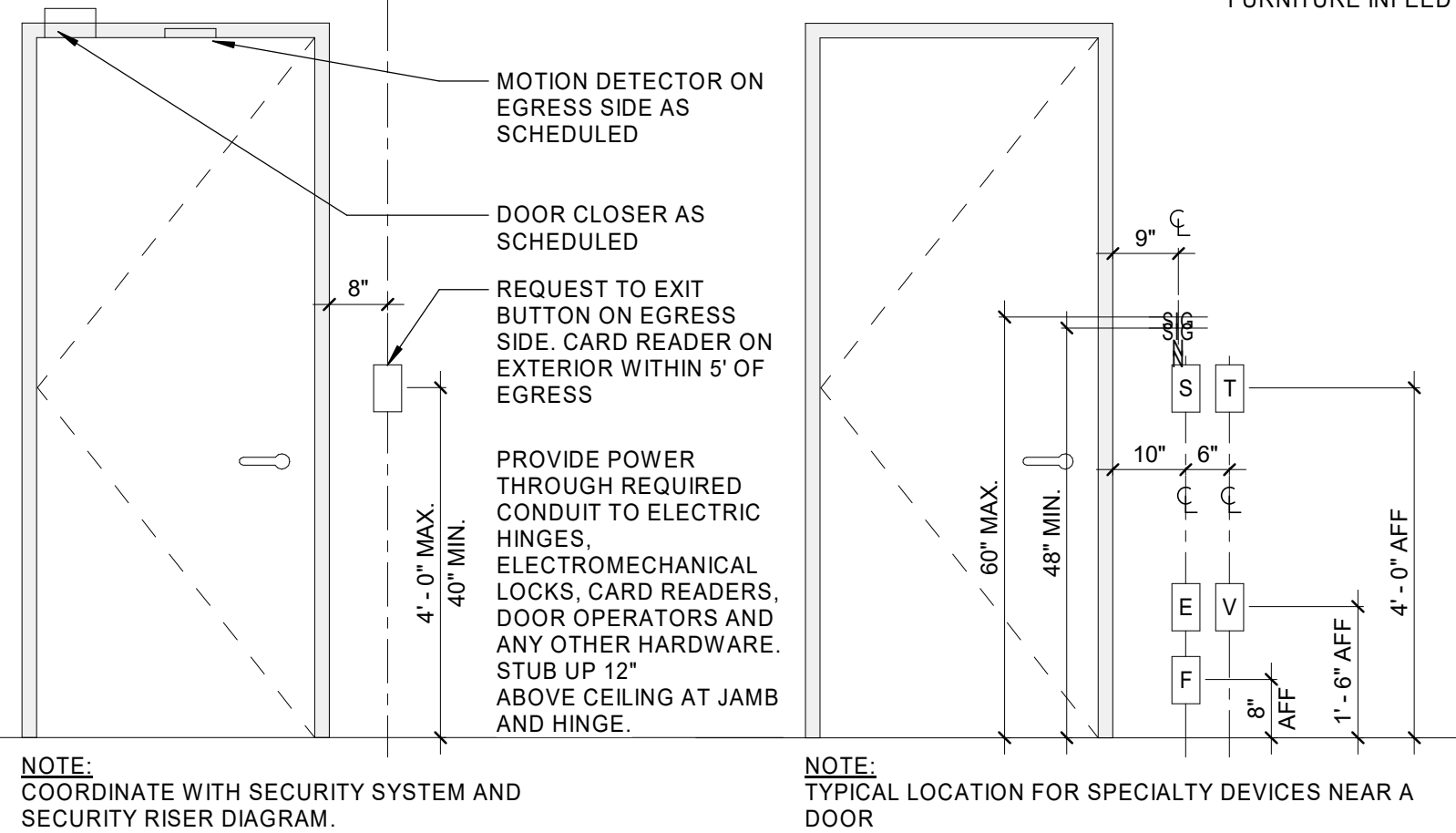
WOOD STOREFRONT
ENTRANCE DOOR PAIR



NOTE: ALL ELECTRONIC LOCKS ON EGRESS DOORS SHALL UNLOCK UPON ACTIVATION OF THE FIRE ALARM AND SPRINKLER SYSTEM.

* VERIFY THAT ALL MOUNTING HEIGHTS ARE IN ACCORDANCE WITH LOCAL JURISDICTIONAL CODES

S LIGHT SWITCH
T THERMOSTAT
V VOICEDATA
E RECEPTACLE
F WALL MOUNTED FURNITURE INFED



NOTE: COORDINATE WITH SECURITY SYSTEM AND SECURITY RISER DIAGRAM.

NOTE: TYPICAL LOCATION FOR SPECIALTY DEVICES NEAR A DOOR

DOOR SCHEDULE

Door Number	Type	Width	Height	Thickness	Door				Hardware	Frame		Comments
					#	Leafs	Material	Finish		Type	Material	
101	SF1	5' - 7 3/8"	7' - 0"	1 3/4"	2		WOOD	STAIN	KEYED LOCK SET	SF1	WOOD	PAINTED KICKPLATE BOTH SIDES. CLOSER, EACH LEAF. FLOOR MOUNTED DOOR STOP @ 135° HINGES BY STOREFRONT MANUF; FLUSH BOLTS
101B	F	4' - 6"	7' - 11 3/4"	1 3/4"			WOOD	STAIN	KEYED LOCK SET	F1	WOOD	PAINTED CLOSER EACH LEAF. KICKPLATE INTERIOR SIDE, FLUSH BOLT, WEATHER STRIPPING, EXTENDED THRESHOLD, FLUSH BOLTS
102A	F	3' - 0"	8' - 0"	1 3/4"			WOOD	STAIN	PASSAGE LATCH SET	F1	HM	PAINTED KICK PLATE PUSH SIDE, CLOSER, WALL MOUNTED DOOR STOP, PANIC HARDWARE
102B	F	3' - 0"	8' - 0"	1 3/4"			WOOD	STAIN	KEYED LOCK SET	F1	WOOD	PAINTED CLOSER, WEATHER STRIPPING, EXTENDED THRESHOLD, PANIC HARDWARE
103	F	3' - 0"	8' - 0"	1 3/4"			WOOD	STAIN	PRIVACY LOCKSET	F1	HM	PAINTED CLOSER, DOOR SILENCERS, WALL MOUNTED DOOR STOP
104	F	3' - 0"	8' - 0"	1 3/4"			WOOD	STAIN	PRIVACY LOCKSET	F1	HM	PAINTED CLOSER, DOOR SILENCERS, WALL MOUNTED DOOR STOP
105	F	3' - 0"	8' - 0"	1 3/4"			WOOD	STAIN	STORAGE LOCKSET	F1	HM	PAINTED CLOSER, DOOR SILENCERS, OVERHEAD DOOR STOP
202	F	3' - 0"	8' - 0"	1 3/4"			WOOD	STAIN	PASSAGE LATCH SET	F1	HM	PAINTED CLOSER, KICKPLATE PUSH SIDE, WALL MOUNTED DOOR STOP, PANIC HARDWARE
203	F	3' - 0"	8' - 0"	1 3/4"			WOOD	STAIN	PRIVACY LOCKSET	F1	HM	PAINTED CLOSER, OVERHEAD DOOR STOP, KICKPLATE PUSH SIDE

WINDOW ELEVATIONS

W1



W2



W3



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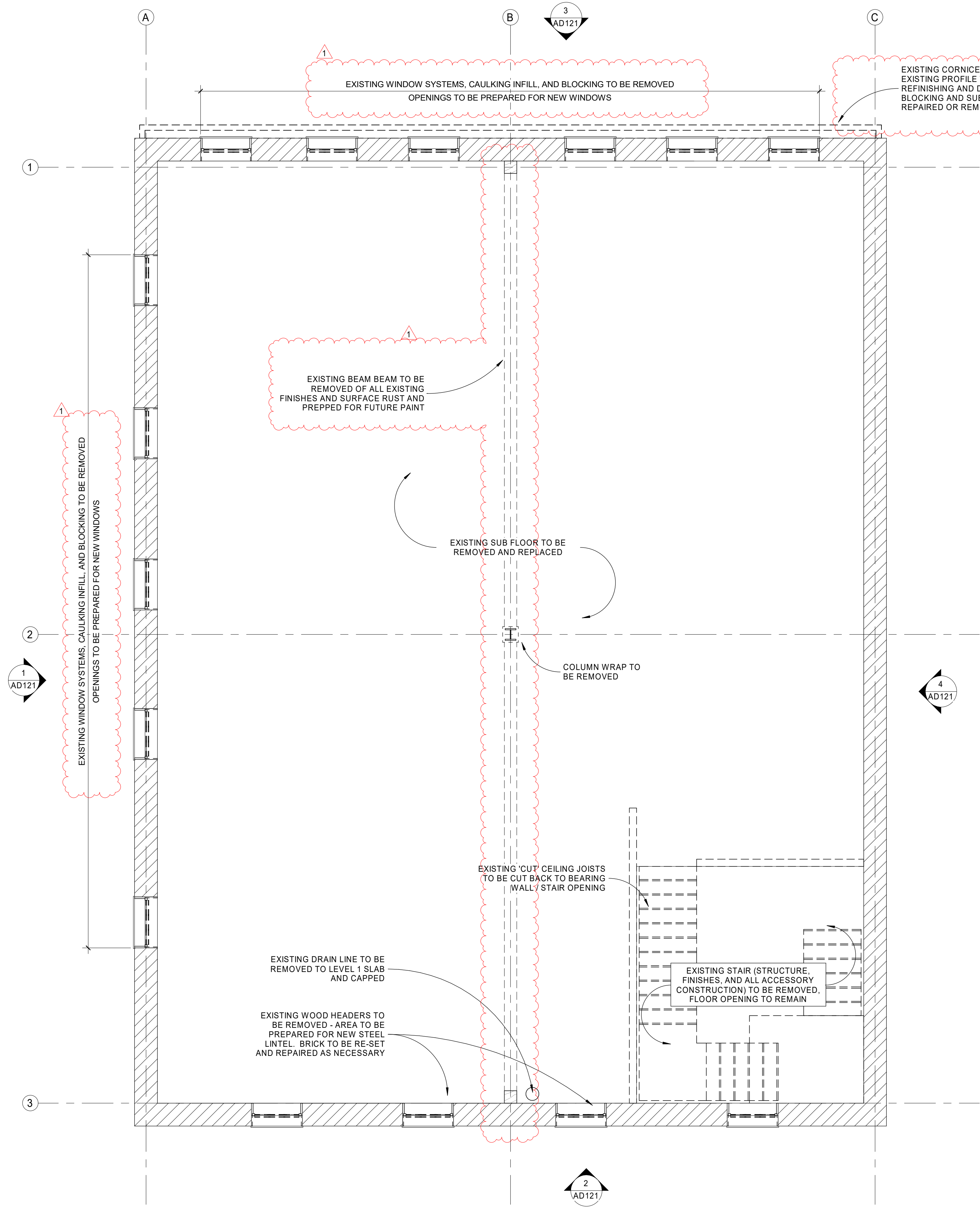
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D

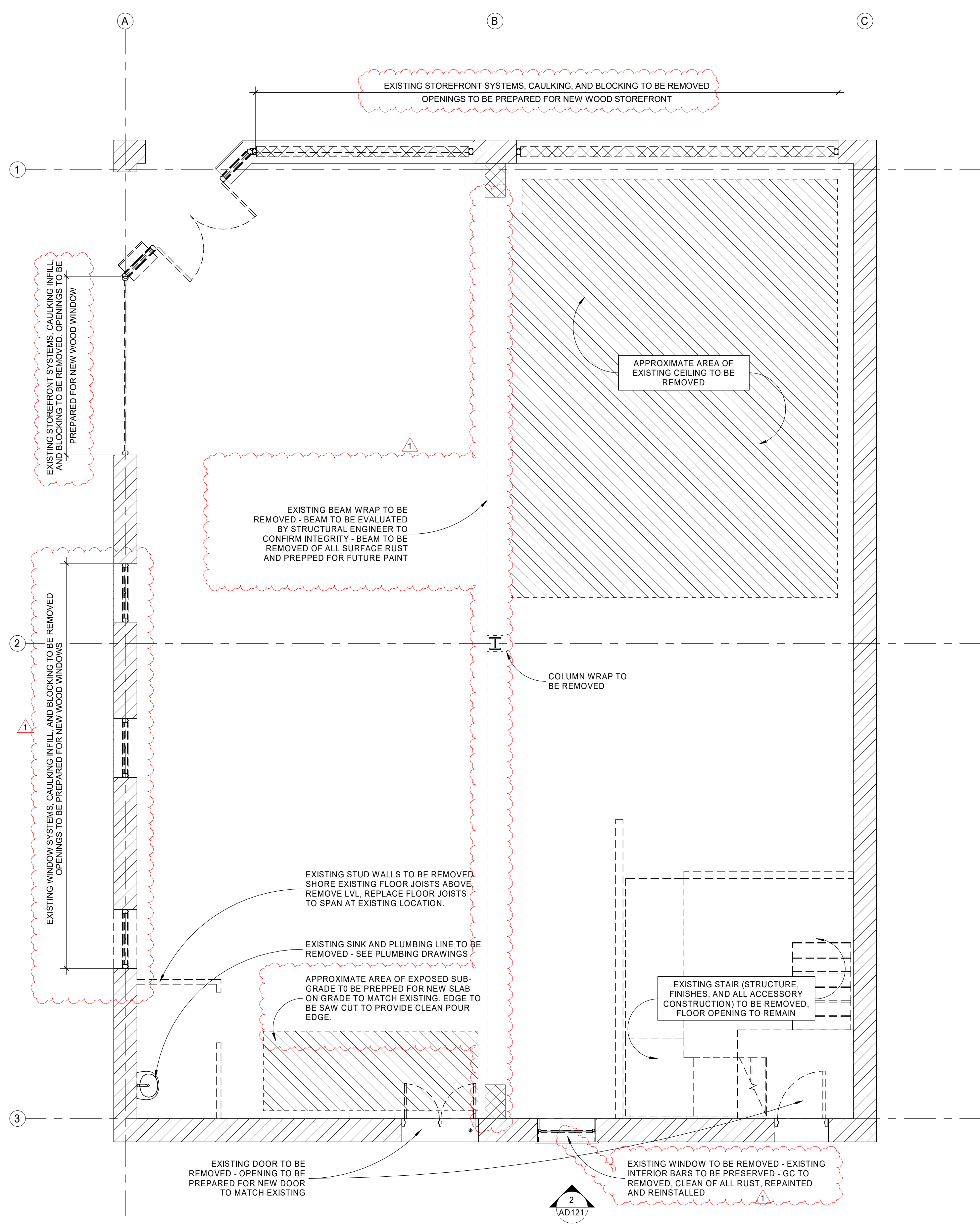
C

B

A



2 DEMOLITION PLAN - LEVEL 2
AD111 1/4" = 1'-0"



1 FLOOR PLAN - LEVEL 01
AD111 1/4" = 1'-0"

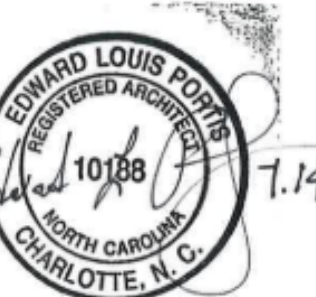
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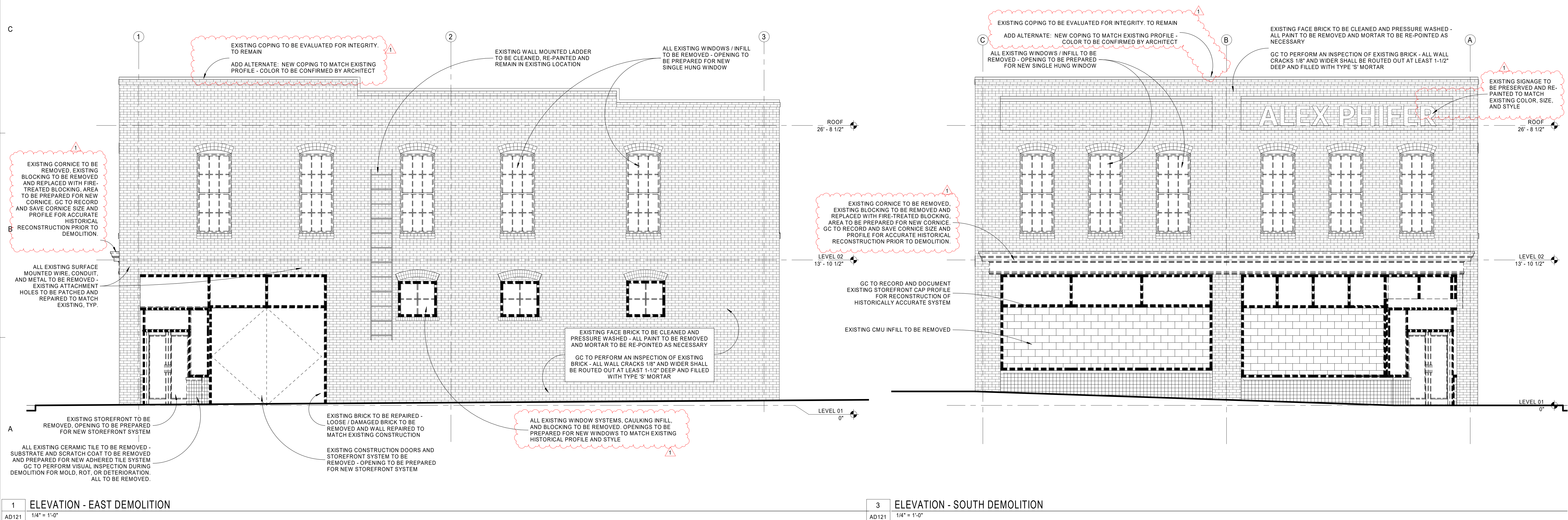
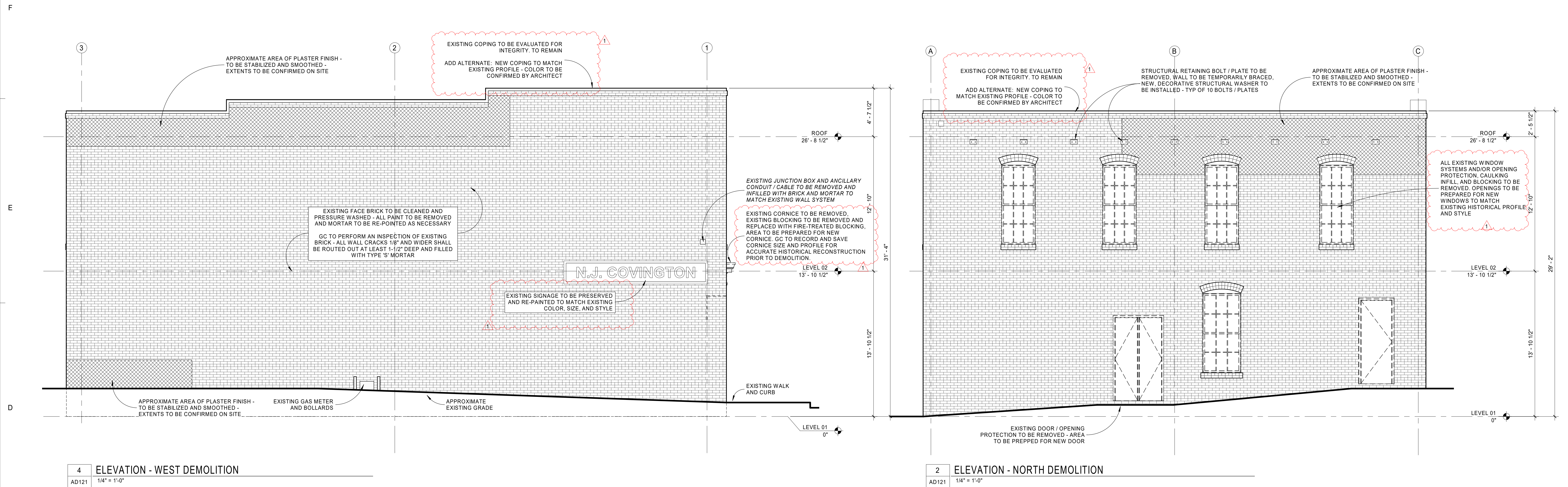
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RENOVATION

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SHEET TITLE
DEMOLITION FLOOR
PLAN

SHEET NUMBER
AD111

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SHEET TITLE

DEMOLITION ELEVATIONS

SHEET NUMBER

AD121