PARTITION TYPES 1 1/2" = 1'-0" FLOOR CONSTRUCTION -CEILING SEE RCP & FINISH -SCHEDULE FOR CEILING MATERIAL & FINISH

<u>NOTE:</u> 1 HR = UL U305 ______ — CONTINUOUS DOUBLE TOP STUD SHAFT SIDE TYPE X GYPSUM PANELS, FACE LAYER JOINT FINISHED. 1 HR - (1) 5/8" **CONTINUOUS 2X** BASE STUD **BASE** SCHEDULED TYPE X GYPSUM PANELS, FACE LAYER JOINT FINISHED. 16" O.C. 1 HR - (1) 5/8" -

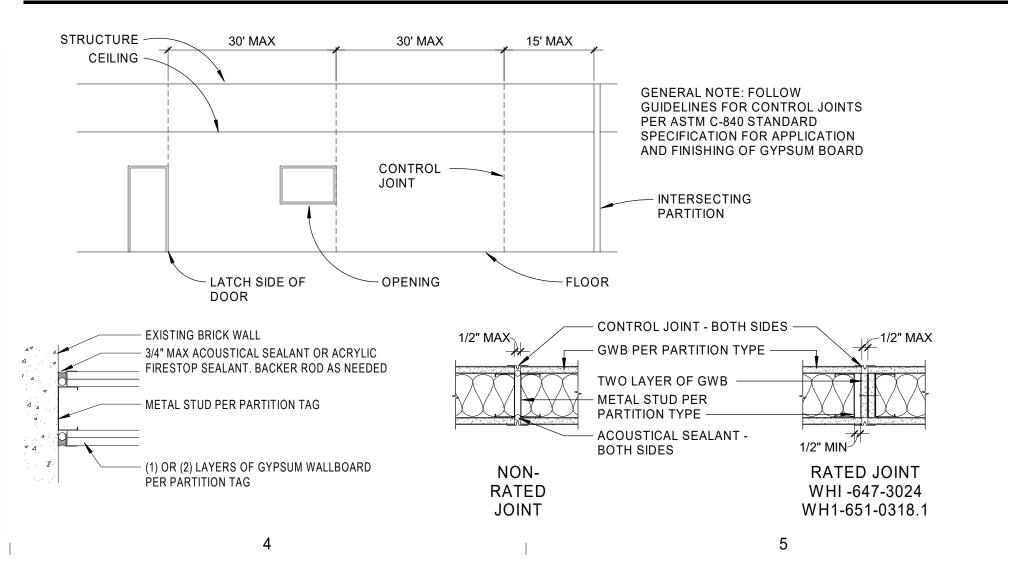
1. () = MODIFIER 2. TYPE X FIRE SEE HEAD OF WALL -**DETAILS FOR** RATED CORE FOR RATED CONDITION APPLICABLE PARTITION 1 HR = UL U419 **HEIGHT CATEGORY &** RATING 2 HR = UL U411 — WOOD STUDS @ 16" O.C. CEILING SEE RCP & FINISH —— (1) LAYER 5/8" GYPSUM SCHEDULE FOR BOARD BOTH SIDES CEILING MATERIAL & FINISH / (SOUND ATTENUATION BASE & FLOOR BLANKETS) >S FINISH AS — CONTINUOUS METAL SCHEDULED -RUNNER — HOLD GWB 1/2" ABOVE SLAB — METAL STUDS @ 16" O.C. (1) LAYER 5/8" GYPSUM (SOUND ATTENUATION

PARTITION STRUCTURE KEY

xM4x 4" CMU xM6x 6" CMU xM8x 8" CMU xM12x 12" CMU **WOOD FRAMING** 1/2" FURRING CHANNEL xW6x 2X6 WOOD FRAMING 7/8" FURRING CHANNEL xF2x 1-1/2" FURRING CHANNEL xW8x 2X8 WOOD FRAMING

NOTE: FOR SIZES ABOVE xF2x USE NON-STRUCTURAL METAL FRAMING ATTACHED TO SUBSTRATE NON STRUCTURAL SHAFT FRAMING

GWB CONTROL JOINTS



— STRUCTURE – METAL RUNNER TRACK- SEE HEAD DETAILS THIS SHEET - METAL STUD TO STRUCTURE CEILING - SEE REFLECTED CEILING PLANS — PARTITION AS SCHEDULED ON PLANS – SOUND ATTENUATION BLANKETS PER PARTITION TAG

HEAD - GWB - COND. B(2) — 2X WOOD STUD @ 16" O.C. 1" GYPSUM LINER PANEL — BASE & FLOOR FINISH AS — 2X WOOD STUDS @

<xW6A> SHAFT - SLAB TO DECK

BLANKETS) >S

<xWxA> GWB - SLAB TO DECK

BOARD BOTH SIDES ————

NON STRUCTURAL METAL FRAMING CONCRETE MASONRY UNIT (CMU) xG1x 1-5/8" METAL STUD xG2x 2-1/2" METAL STUD xG3x 3-5/8" METAL STUD xG4x 4" METAL STUD xG6x 6" METAL STUD xG8x 8" METAL STUD METAL FURRING CHANNELS xW4x 2X4 WOOD FRAMING

xS2x 2-1/2" C-H STUD W/ 1" GYP SHAFT LINER 4" C-H STUD W/ 1" GYP SHAFT LINER xS6x 6" C-H STUD W/ 1" GYP SHAFT LINER

GENERAL NOTES - PARTITIONS

1. FIRE- AND SMOKE-RATED PARTITION ASSEMBLIES CONTINUE TO STRUCTURE ABOVE (HEAD CONDITION "A") UNLESS NOTED OTHERWISE, OR UNLESS OTHERWISE INDICATED BY THE CORRESPONDING FIRE RATED ASSEMBLY DIAGRAM.

. PROVIDE ACOUSTICAL CAULKING AROUND ALL PERIMETERS EDGES AND PENETRATIONS AT SOUND-INSULATED WALLS. OFFSET ELECT. AND TELEPHONE OUTLETS 16" MIN (SEPARATE STUD CAVITIES). AT

SOUND INSULATED WALLS PROVIDE ACOUSTICAL CAULKING AROUND ALL PERIMETERS EDGES AND PENETRATIONS. OFFSET ELECT. AND TELEPHONE OUTLETS 16" MIN (SEPARATE STUD CAVITIES) . WALLS ARE DIMENSIONED TO FINISH FACE OF WALL, UNLESS INDICATED OTHERWISE.

4. WHERE ADJACENT PARTITION TYPES ARE OF DIFFERENT OVERALL THICKNESS, ALIGN FINISHES ON VISIBLE SIDE, AND FURR OPPOSITE SIDE AS REQUIRED FOR A FLUSH INSTALLATION. 5. PARTITION TYPES AROUND ROOMS AND SPACES SHALL BE

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CONTINUOUS AROUND THE ENTIRE SPACE. WHERE MORE THAN ONE PARTITION TYPE IS INDICATED, THE WALL TYPE WITH THE HIGHEST FIRE AND/OR ACOUSTICAL PERFORMANCE SHALL BE USED. 6. FIRE SAFE ALL PENETRATIONS THROUGH FIRE RATED WALLS TO THE LEVEL OF PROTECTION REQUIRED BY THE WALL. FIRE SAFE AT

PERIMETERS OF RATED WALLS WHERE VOIDS OCCUR, SUCH AS DECK FLUTES. . REFER TO THE FINISH SCHEDULE AND/ OR FLOOR PLANS FOR LOCATION OF FINISH MATERIALS FOR WALL TYPES INDICATING DIFFERENT FINISHES ON EACH SIDE OF WALL.

. WET WALLS IN TOILET ROOMS TO RECEIVE CERAMIC TILE SHALL USE MOISTURE-RESISTANT FIBERGLASS-MAT GYPSUM BOARD IN PLACE

9. BRACE ALL CHASE WALLS FROM STUD TO STUD AT 4" OC MIN. VERTICAL AND PER MANUFACTURER'S RECOMMENDATION UNLESS NOTED OTHERWISE. 10. PROVIDE STEEL STUD GAUGES AND/OR DIAGONAL BRACING AT TOPS

OF WALLS PER MANUFACTURER'S RECOMMENDATIONS FOR WALL TYPE, HEIGHT, AND USE BASED ON L/240 LIMITING HEIGHTS." 11. ALL CORNERS AND EDGES EXPOSED TO VIEW SHALL RECEIVE METAL EDGE BEADS TREATED WITH DRYWALL COMPOUND TO A HEIGHT OF 6" ABOVE FINISHED CEILINGS MIN."

12. ALL UL-RATED WALL ASSEMBLIES SHALL BE IDENTIFIED W/ STENCILING ABOVE THE FINISHED CEILING ON BOTH FACES, ON ALL WALLS AS "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS" WITH HOUR RATING INCLUDED. 13. ALL MATERIALS USED IN RATED ASSEMBLIES SHALL CONFORM TO REFERENCED STANDARDS." 14. USE MOISTURE- AND MOLD-RESISTANT GWB ON INTERIOR SIDE OF

15. PROVIDE CONTINUOUS HORIZONTAL BRIDGING FOR WALLS EXTENDING 10'-0" OR GREATER IN HEIGHT FROM FINISH FLOOR.

PARTITION HIERARCHY

MECHANICAL ROOM WALLS."

PARTITION TO MULLION WINDOW WALL -MULLION — 1/2" CONTINUOUS CLOSED CELL NEOPRENE COMPRESSED FILLER — 📛 📛 PROVIDE BREAK METAL (COLOR TO MATCH WALLS) -CONTOUR GWB TO SILL BELOW AS REQUIRED — INTERIOR PARTITION AS SCHEDULED ——— NOTE: NO PHYSICAL OR MECHANICAL ATTACHMENT TO MULLION SHALL BE

ALLOWED.

RATING HIERARCHY

2 HOUR RATED PARTITION -1 HOUR -RATED PARTITION LOWER RATED OR NON RATED PARTITION AS NOTED ON PLANS -

LIMITING HEIGHTS - STEEL STUDS

	DEFLECTION LIMIT OF L/240		DEFLECTION LIMIT OF L/360	
WALL	WITHOUT	WITH	WITHOUT	WITH
HEIGHT	SHELVING	SHELVING	SHELVING	SHELVING
<10'	362S125-18	362S125-18	362S125-18	362S125-18
	16" O.C	16" O.C	16" O.C	16" O.C
<12'	362S125-18	362S125-33	362S125-18	362S125-33
	16" O.C	16" O.C	16" O.C	16" O.C
<14'	362S125-18	362S125-33	362S125-33	362S125-33
	16" O.C	16" O.C	16" O.C	16" O.C
<16'	362S125-33	362S125-33	362S125-54	362S125-54
	16" O.C	16" O.C	16" O.C	16" O.C
<18'	362S125-43	362S125-43	600S125-33	600S125-33
	16" O.C	16" O.C	16" O.C	16" O.C
<20'	362S125-68	362S125-68	600S125-33	600S125-33
	16" O.C	16" O.C	16" O.C	16" O.C

1. DESIGN LATERAL LOAD OF 5 PSF, AND NO VERTICAL LOAD (NON-LOAD-2. DEFLECTION LIMIT OF L/360 SHALL BE USED FOR BRITTLE WALL FINISHES, SUCH AS TILE, TERRAZO, AND PLASTER. DEFLECTION LIMIT

OF L/240 MAY BE USED FOR ALL OTHER CONDITIONS. 3. "WITH SHELVING" DESIGN FOR 16" SHELVING UNIT, LOAD OF 73 POUNDS PER LINEAR FOOT INCLUDING CONTENTS, CENTERED 8" FROM FACE OF WALL, FOR ONE ROW OF SHELVING ROUGHLY 4' A.F.F.

54 MIL = 16 GA

68 MIL = 14 GA

B BALLISTIC LEVEL RATED

I IMPACT RESISTANT

O MOVABLE PARTITION

R MOISTURE RESISTANT

S SOUND ATTENUATION BATTS

(SEE INTERIOR DETAILS)

K SMOKE RATED

(OPERABLE)

V VAPOR BARRIER

Z ACCENT WALL

M METAL PANEL

E EXTRA LAYER OF GYPSUM

G GROUT MASONRY SOLID

— FLANGE WIDTH $(6" = 600 \times 1/100")$ $(600 \hat{S} 162 - 54)$ $(1-5/8" = 1.625" = 162 \times 1/100")$ STYLE ---

MIL THICKNESS (.054" = 54 MILS;**S** = STUD OR JOIST SECTION 1 MIL = 1/1000") T = TRACK SECTIONS 18 MIL = 25 GA **U** = CHANNEL SECTIONS **F** = FURRING CHANNEL SECTIONS 27 MIL = 22 GA 30 MIL = 20 GA (DRYWALL) 33 MIL = 20 GA (STRUCTURAL) 43 MIL = 18 GA

PARTITION TAG KEY

- PARTITION RATING — PARTITION MATERIAL — NOMINAL WIDTH OF STRUCTURE PARTITION HEIGHT CATEGORY (EXTEND TO STRUCTURE IF NOT INDICATED) — PARTITION MODIFIER $\langle NXNX \rangle X$

PARTITION RATING: 0xxx NON-RATED 1xxx 1-HOUR RATED 2xxx 2-HOUR RATED

3xxx 3-HOUR RATED 4xxx 4-HOUR RATED PARTITION CONSTRUCTION: xFxx <u>F</u>URRING $xGxx = \overline{G}YP / METAL STUD$

xSxx <u>S</u>HAFT xMxx MASONRY xWxx GYP/WOOD STUD xExx <u>E</u>XISTING NOMINAL WIDTH OF STRUCTURE:

XXXC TERMINATE AT CEILING

(SEE PARTITION STRUCTURE KEY AT LEFT) PARTITION HEIGHT CATEGORY: XXXA EXTEND TO STRUCTURE ABOVE XXXB TERMINATE ABOVE CEILING

XXXP PARTIAL HEIGHT PARTITIONS

PROJECT TEAM PRINCIPAL IN CHARGE **EDDIE PORTIS** PROJECT MANAGER **PARTITION MODIFIER:** NICHOLAS AULT A ABOVE ACCESS FLOOR

Designer

CONSTRUCTION

DOCUMENTS

07/08/2021

RENOVATION 1125 BELMONT AVENUE

CHARLOTTE, NC 28205

RED FRONT SHELL

PROJECT NO. 132.15925.00

WALL TYPES -INTERIOR PARTITIONS

1 SITE PLAN

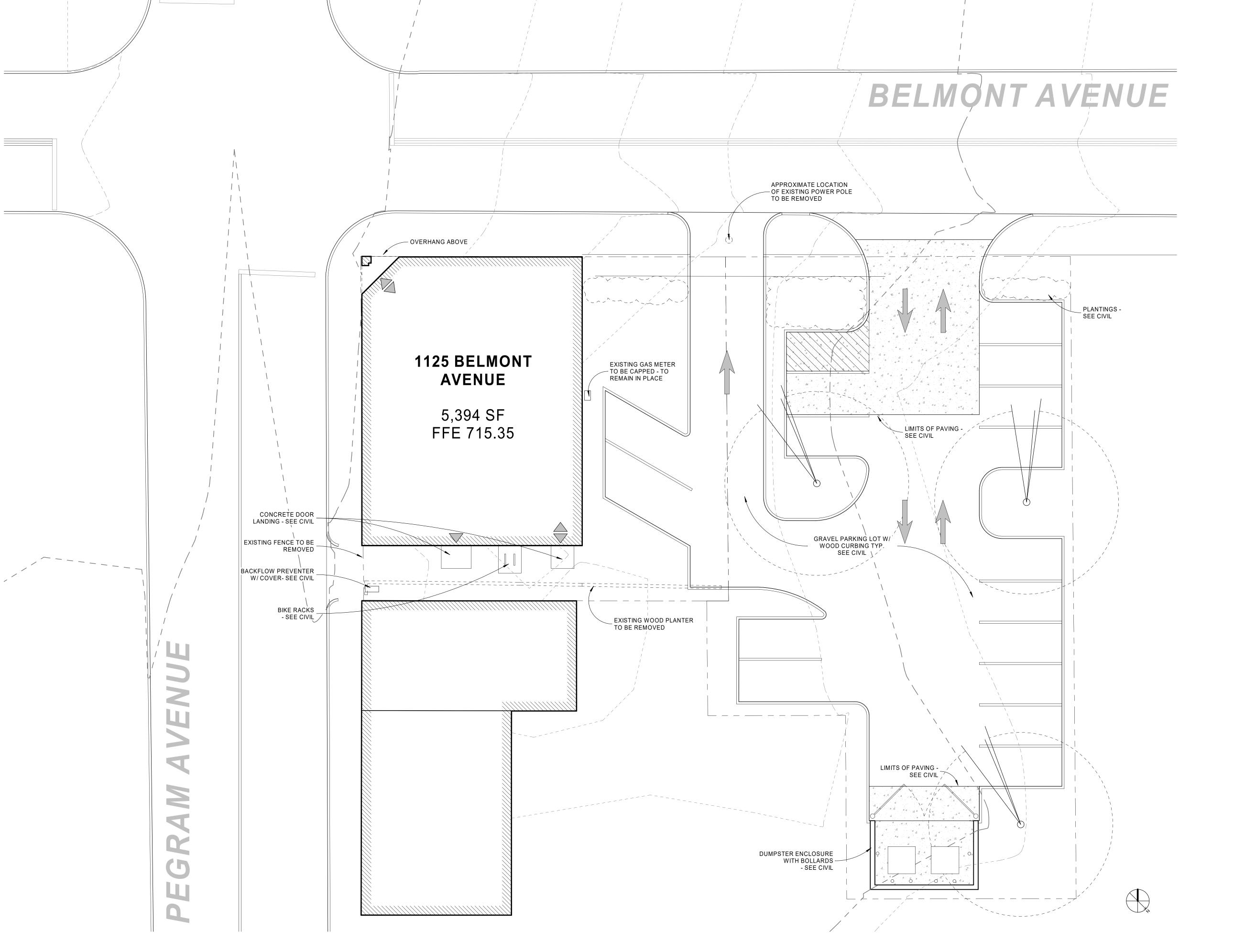
A110 1" = 10'-0"

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PROJECT TEAM
PRINCIPAL IN CHARGE
EDDIE PORTIS PROJECT MANAGER
NICHOLAS AULT

RED FRONT SHELL RENOVATION 1125 BELMONT AVENUE

CHARLOTTE, NC 28205

132.15925.00

ARCHITECTURAL SITE PLAN

STAIR 102

NOTES

OMITTED

2. DO NOT SCALE DRAWINGS.

3. THE OVERALL DIMENSIONS OF THESE DRAWINGS ARE BASED ON OWNER PROVIDED DOCUMENTATION.

4. BASIS OF DESIGN IS A SINGLE TENANT OFFICE SPACE - CURRENTLY INDICATED AS 'FUTURE TENANT UPFIT'.

5. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED. ALL EXISTING EXTERIOR WALLS TO REMAIN. ALL EXTERIOR DOORS AND WINDOWS ARE TO BE DEMOLISHED AND REPLACED WITH NEW SYSTEMS TO MATCH ORIGINAL DESIGN.

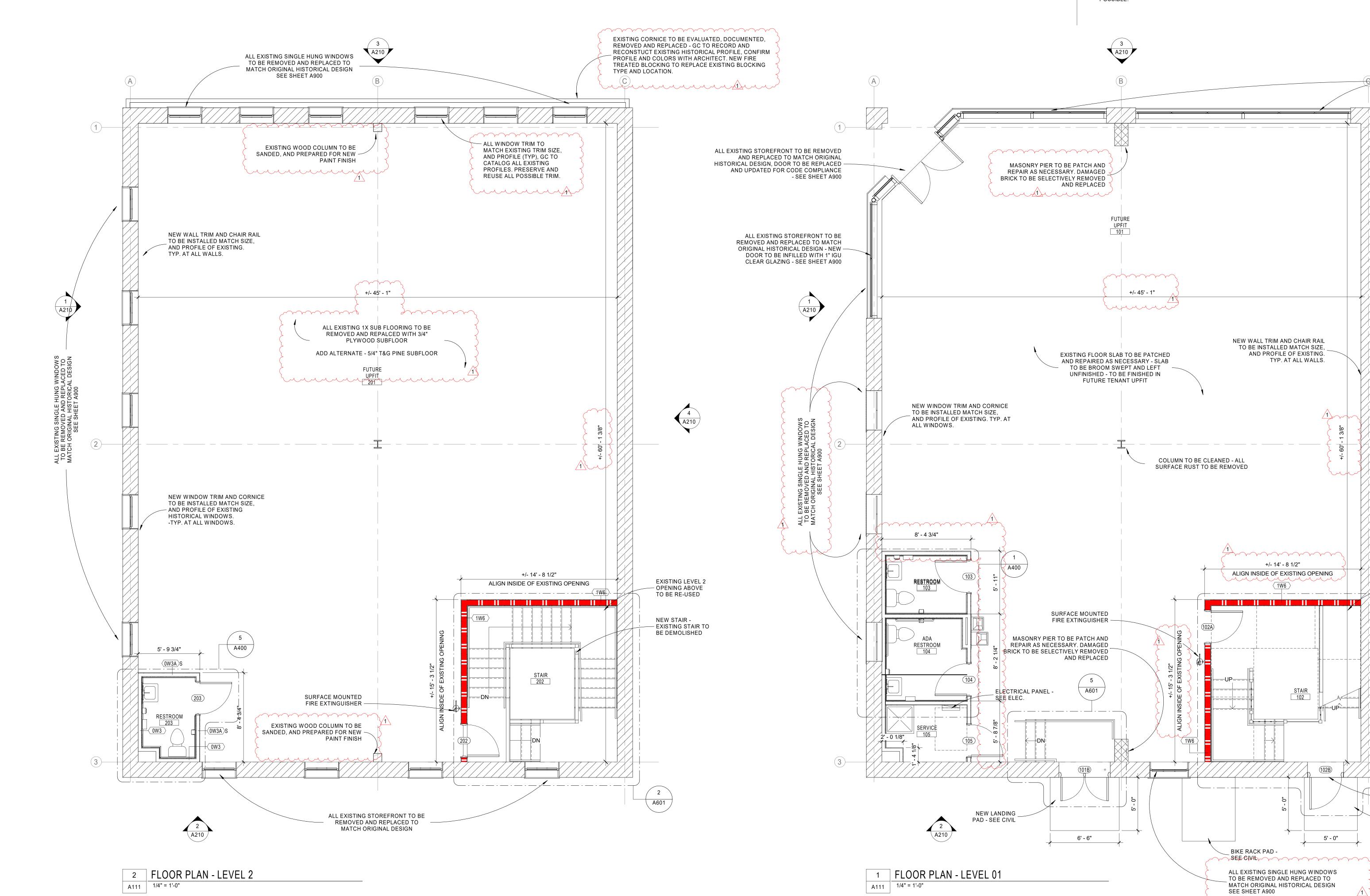
6. ALL NEW WINDOWS TO BE WOOD, SINGLE HUNG WINDOWS, U.N.O.. NEW WOOD STOREFRONT TO MATCH DESIGN LAYOUT OF EXISTING STOREFRONT. Titil war war of the state of t

7. EXISTING WALL SURFACES AND PARTITIONS TO REMAIN SHALL BE PATCHED, SPACKLED AND SANDED SMOOTH SO AS NOT TO LEAVE ANY EVIDENCE OF DEMOLITION OR REPAIR WORK.

8. COLUMN CENTER LINES, OR GRID LINES, ARE SHOWN FOR REFERENCE, EXACT LOCATIONS TO BE VERIFIED IN FIELD.

9. INTERIOR FINISH OF EXTERIOR WALLS TO REMAIN - EXISTING PLASTER TO BE STRIPPED OF FLAKING AND DAMAGED PAINT. EXISTING LOOSE OR DAMAGED PLASTER TO BE REMOVED AND EXISTING PLASTER TO BE STABILIZED. PLASTER TO RECEIVE NEW

10. ALL EXISTING WOOD TRIM (INTERIOR AND EXTERIOR), MULLION PROFILES, AND OTHER ORNAMENTATION TO BE CAREFULLY REMOVED, PROTECTED, PRESERVED AND CATALOGED PRIOR TO DEMOLITION FOR RECREATION AND REPLACEMENT DURING CONSTRUCTION. ALL EXISTING TRIM TO BE RE-USED WHERE POSSIBLE.

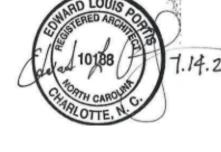


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CONSTRUCTION

1 PERMIT DOCUMENTS 07/15/2021

PRINCIPAL IN CHARGE EDDIE PORTIS

NICHOLAS AULT

RED FRONT SHELL RENOVATION

1125 BELMONT AVENUE CHARLOTTE, NC 28205

FLOOR PLANS

1. WORK NOTED "BY OTHERS" OR "NIC" SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT.

2. SEE SHEET <A010> FOR PARTITION TYPES.

3. SEE SHEET <A900> FOR DOOR TYPES AND DETAILS
4. PROVIDE CONTROL JOINTS ON GYP. BD. ASSEMBLIES PER

SPECIFICATIONS AND WHERE SHOWN. 5. REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS WHEN APPLICABLE. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION

PRIOR TO THE PERFORMANCE OF WORK IN QUESTIONS. 6. COORDINATE AND PROVIDE METAL OR RATED SOLID WOOD BLOCKING (FIRE TREATED) IN PARTITIONS AND CEILING FOR

MILLWORK, WALL AND CEILING ATTACHED ITEMS AS SPECIFIED. 7. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. INCASE OF CONFLICT, NOTIFY ARCHITECT.

8. COORDINATE WITH TENANT AND OWNER, THE SCHEDULE FOR

ACCESS TO THE BUILDING. COORDINATE WITH ARCHITECT FOR FINAL SELECTIONS OF PAINT, TRIM SIZE AND PROFILE, AND STOREFRONT CAP PROFILES. ALL PROFILES TO BE OF OWNER'S TYPICAL SELECTION OF HISTORICAL PROFILES. 9. PARTITIONS AT BUILDING PERIMETER SHALL BE CENTERED ON

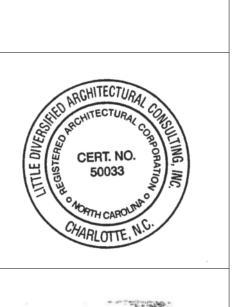
CENTER LINE OF COLUMN OR WINDOW MULLION, UNLESS OTHERWISE NOTED. 10. PROVIDE PARTITION TYPE WITH THE HIGHEST UL AND/OR ACOUSTICAL PERFORMANCE RATING WHERE MORE THAN ONE PARTITION TYPE IS INDICATED. PARTITIONS SHALL BE HEAD CONDITION 'A' UNLESS OTHERWISE NOTED. 11. OFFSET ELECTRICAL AND TELEPHONE OUTLETS 16" MINIMUM IN

SEPARATE STUD WALL CAVITIES.

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PROJECT TEAM PRINCIPAL IN CHARGE
EDDIE PORTIS

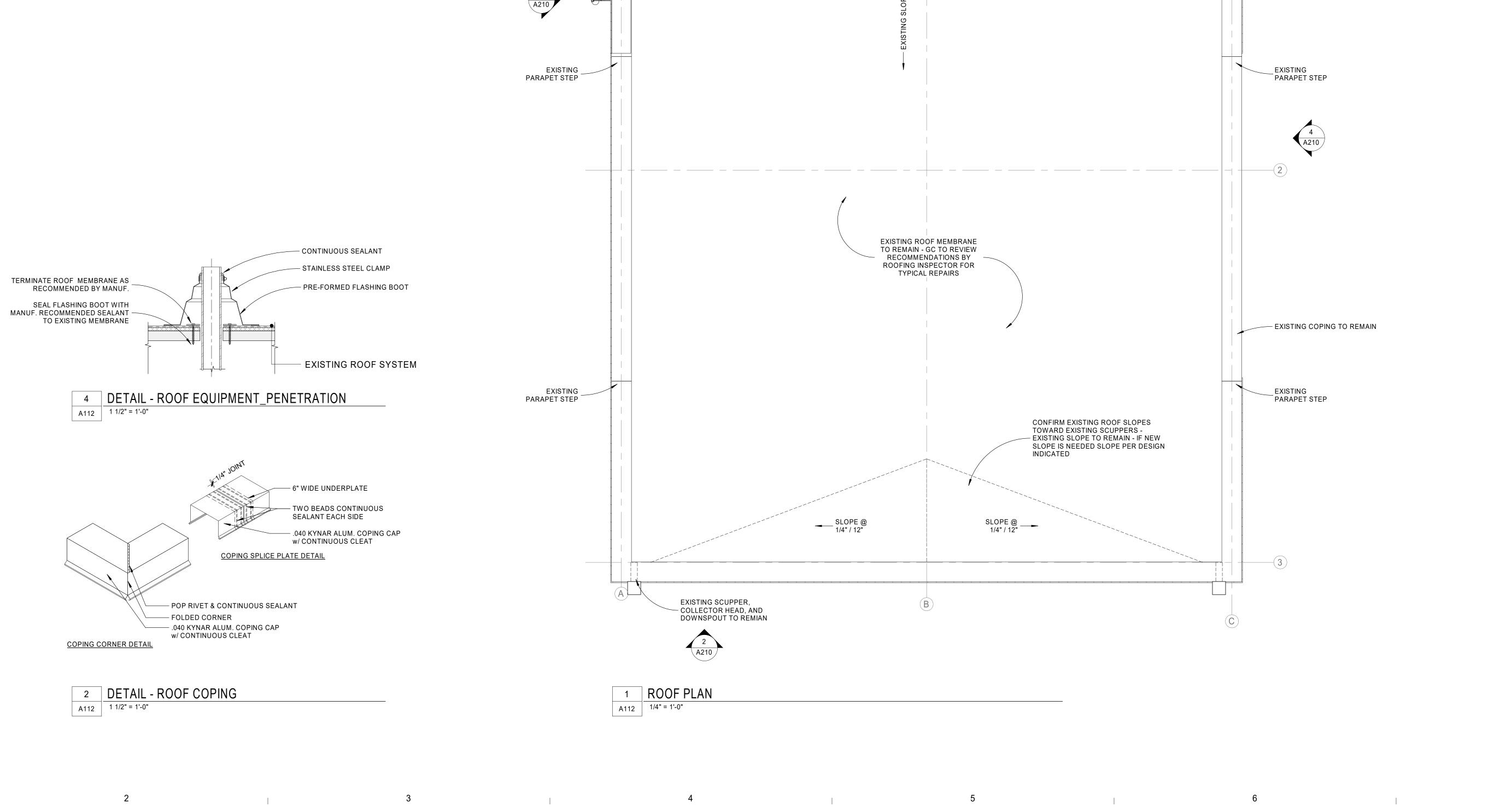
PROJECT MANAGER
NICHOLAS AULT DESIGN TEAM
ADAM CARUTHERS

RED FRONT SHELL RENOVATION

1125 BELMONT AVENUE CHARLOTTE, NC 28205

132.15925.00

ROOF PLAN



NEW EXTERIOR ACCENT LIGHTING

EXISTING COPING TO BE EVALUATED FOR

ADD ALTERNATE: NEW COPING TO MATCH

EXISTING PROFILE - COLOR TO BE

INTEGRITY. TO REMAIN

CONFIRMED BY ARCHITECT

CEILING HUNG STRIP LIGHT

RECESSED LIGHT FIXTURE

WALL SCONCE (EXTERIOR)

WALL SCONCE (INTERIOR)

EXIT SIGN (WALL / CEILING)

ACT CEILING SYSTEM

GWB CEILING

FIRE BARRIER

RATED WALLS & PARTITIONS

1-HOUR NON-RATED PARTITION 0-HOUR

SHEET GENERAL NOTES

1. COORDINATE CEILING, SOFFIT AND BULKHEAD INSTALLATIONS

WITH OTHER ELEMENTS OF WORK. 2. CEILING HEIGHTS ARE GIVEN FROM FINISHED FLOOR ELEVATION.

3. CENTER SUSPENDED CEILING GRIDS IN ROOMS. IF EDGE TILE IS <4" 2X4 TILE TO BE USED - ARMSTRONG ULTIMA 15/16" TEE W/ BEVELED TEGULAR TILE. STANDARD PROFILE.

4. TILES SHALL BE INSTALLED SO GRAIN LINES OF TILE ARE RUNNING IN SAME DIRECTION FOR EACH CEILING TYPE.

5. LOCATE MECHANICAL AND ELECTRICAL DEVICES AS INDICATED. REFERENCE MECHANICAL OR ELECTRICAL.

6. CEILING PLAN SHALL GOVERN FOR LOCATION OF ALL DEVICES AS SHOWN. ENGINEERING DOCUMENTS SHALL PREVAIL ONLY IN CASE OF SCOPE OF WORK AND ELEMENTS OCCURRING ABOVE CEILING. DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DOCUMENTS MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO COMMENCING WORK.

7. MIX TILE IN A UNIFORM MANNER TO ELIMINATE BANDING OR BATCHING.

IF CEILING DIFFUSER, LIGHT FIXTURES OR OTHER ELEMENTS ON OR ABOVE THE CEILING CAN NOT BE LOCATED AS SHOWN ON THE DRAWINGS, SUCH INTERFERENCE SHALL BE REPORTED IMMEDIATELY TO ARCHITECT FOR RELOCATION.

PROVIDE EMERGENCY BATTERY PACKS OR EMERGENCY CIRCUITS AS REQUIRED BY CODE.

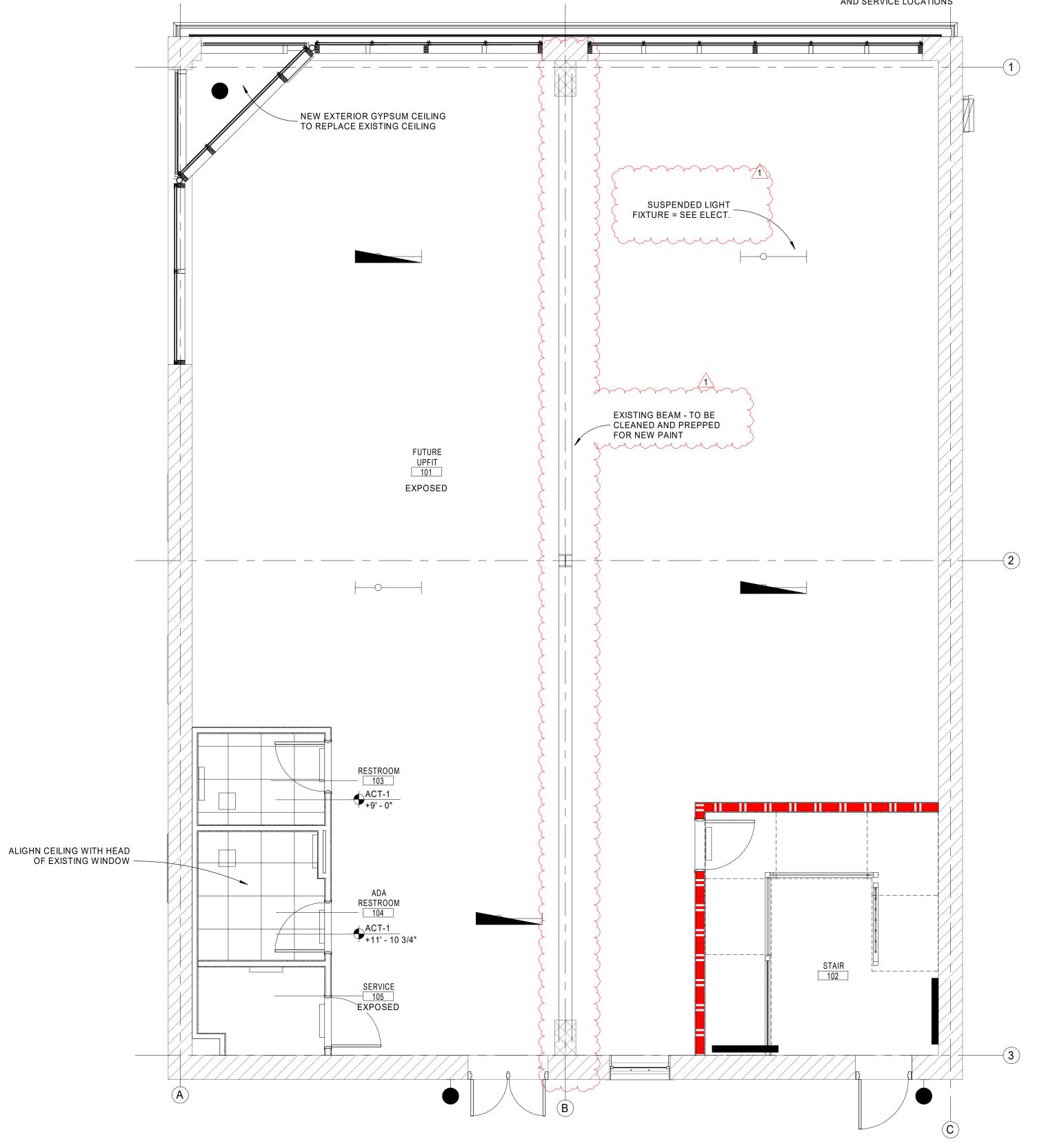
10. PROVIDE FINAL QUANTITY AND LOCATION OF EMERGENCY DEVICES, (INCLUDING BUT NOT LIMITED TO: BATTERY PACKS, EXIT SIGNS, FIRE ALARMS, ETC.) IN COMPLIANCE WITH AUTHORITY HAVING JURISDICTION.

11. DIMMERS AND SWITCHES SHALL BE GANGED TOGETHER IN LARGEST MULTI GANG BOXES WITH COMMON FACE PLATES POSSIBLE. STACKING OF LARGE BOXES (5 SWITCHES ABOVE 5 SWITCHES) IS ACCEPTABLE.

12. MATERIALS PLACED IN CEILING SHALL BE REQUIRED TO HAVE A PLENUM RATING.

13. STENCIL RATED WALLS, BOTH SIDES, TYPICAL.

14. ACOUTICAL CEILING MATERIAL TO BE SCRUBBABLE AT RESTROOM AND SERVICE LOCATIONS



1 REFLECTED CEILING PLAN - LEVEL 1

A121 1/4" = 1'-0"

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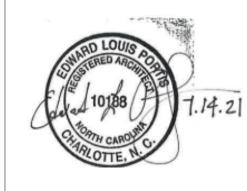
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CONSTRUCTION DOCUMENTS

1 PERMIT DOCUMENTS 07/15/2021

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PRINCIPAL IN CHARGE
EDDIE PORTIS

PROJECT MANAGER
NICHOLAS AULT

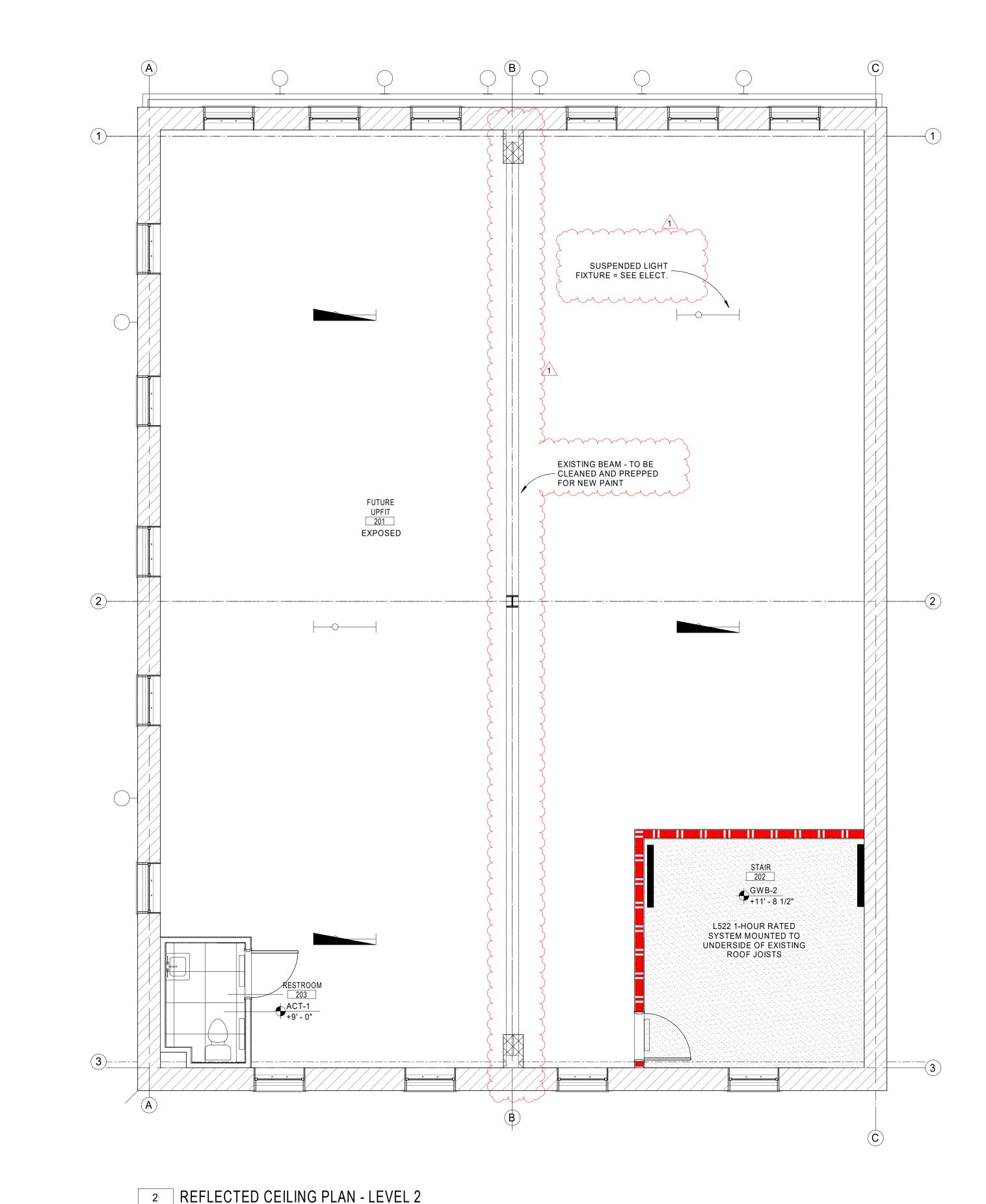
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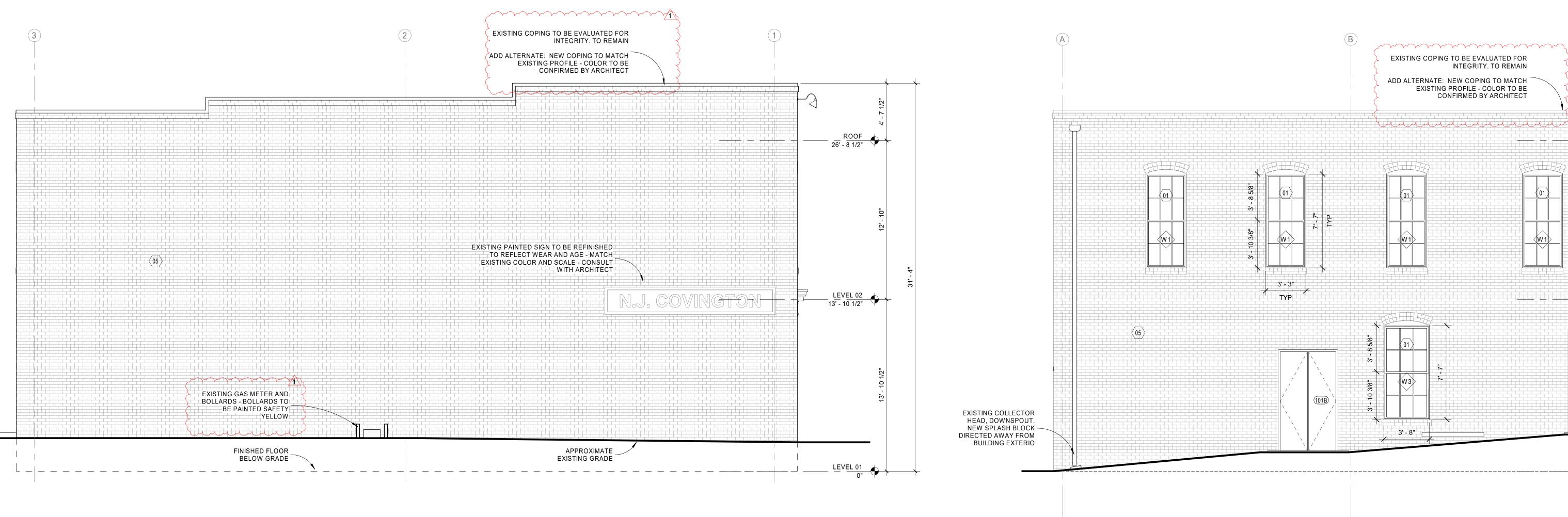
REFLECTED CEILING PLAN

A121



A121 1/4" = 1'-0"

KEY NOTES - EXTERIOR ELEVATIONS ©1) EXISTING SINGLE HUNG WINDOWS TO BE REMOVED AND REPLACED. ALL DIMENSIONS ARE TO BE INDIVIDUALLY FIELD VERIFIED. 2x3 MUNTINS TYP. UPPER + LOWER 02 EXISTING FIXED PANEL WINDOWS TO BE REMOVED AND REPLACED. ALL DIMENSIONS ARE TO BE INDIVIDUALLY FIELD VERIFIED. 2X2 MUNTIN LAYOUT TYP. 615 South College Street, Suite 1600 Charlotte, NC 28202 T: 704.525.6350 O3 EXISTING WOOD STOREFRONT TO BE REMOVED AND REPLACED W/ WOOD STOREFRONT SYSTEM - PAINTED. COLOR + MULLION PROFILE TO BE SELECTED BY ARCHITECT. ALL DIMENSIONS ARE www.littleonline.com TO BE INDIVIDUALLY FIELD VERIFIED. This drawing and the design shown are the 4X4 GLAZED EXTERIOR WALL TILE SET IN MORTAR BED W/FIBERGLASS MESH O/ EXT GLASS MAT GYP BD. FILL WALL CAVITY property of Little Diversified Architectural Consulting. The reproduction, copying or other W/BATT INSUL. use of this drawing without their written consent is prohibited and any infringement will be subject EXISTING FACE BRICK TO BE CLEANED AND PRESSURE WASHED to legal action. ALL PAINT TO BE REMOVED AND MORTAR TO BE RE-POINTED AS ______© Little 2021— (05) NECESSARY. GC TO PERFORM AN INSPECTION OF EXISTING BRICK - ALL WALL CRACKS 1/8" AND WIDER SHALL BE ROUTED OUT AT LEAST 1-1/2" DEEP AND FILLED WITH TYPE 'S' MORTAR -BRICK TO BE PAINTED AT PEAGRAM AND BELMONT ELEVATIONS LEVEL 02 13' - 10 1/2" EXISTING COLLECTOR HEAD, DOWNSPOUT. - NEW SPLASH BLOCK DIRECTED AWAY FROM **BUILDING EXTERIO** (102B) LEVEL 01 EXISTING PAINTED SIGNAGE TO BE RESTORED TO REFLECT WEAR AND AGE - CONSULT WITH ARCHITECT -CONSTRUCTION DOCUMENTS 07/08/2021 - 26' - 8 1/2" 1 PERMIT DOCUMENTS 07/15/2021 LEVEL 02 PROJECT TEAM PRINCIPAL IN CHARGE EDDIE PORTIS PROJECT MANAGER NICHOLAS AULT DESIGN TEAM Designer PROJECT NAME RED FRONT SHELL RENOVATION 1125 BELMONT AVENUE CHARLOTTE, NC 28205 PROJECT NO. 132.15925.00 ELEVATIONS A210



4 ELEVATION - WEST A210 1/4" = 1'-0"

⟨SF03⟩

1 ELEVATION - EAST

PAINTED P.T. WOOD 1X TRIM TO COVER EXISTING COLUMN - TO —

MATCH EXISTING

A210 1/4" = 1'-0"

 \cdots EXISTING COPING TO BE EVALUATED FOR INTEGRITY. TO REMAIN NEW LIGHTING - SEE ELECTRICAL — ADD ALTERNATE: NEW COPING TO MATCH
EXISTING PROFILE - COLOR TO BE
CONFIRMED BY ARCHITECT many more than the second ROOF 26' - 8 1/2"

EXISTING METAL WINDOW CORNICE TO BE REMOVED AND REPLACED. PROFILE TO BE DOCUMENTED FOR REPLICATING PRIOR TO DEMOLITION. WOOD SUPPORT BLOCKING TO BE REMOVED AND REPLACED WITH PT BLOCKING TO MATCH EXISTING SIZE AND ATTACHMENT METHOD LEVEL 02 13' - 10 1/2"

EXISTING STOREFRONT TO BE REPLACED WITH WOOD STOREFRONT SYSTEM TO MATCH SIZE AND APPEARANCE OF ORIGINAL DESIGN (TYP.)

EXISTING STOREFRONT TO BE REPLACED WITH WOOD STOREFRONT SYSTEM TO MATCH SIZE AND APPEARANCE OF ORIGINAL DESIGN (TYP.)

3 ELEVATION - SOUTH A210 1/4" = 1'-0"

2 ELEVATION - NORTH

EXISTING PROFILE - COLOR TO BE

CONFIRMED BY ARCHITECT

INTEGRITY. TO REMAIN

01

⟨SF-02⟩

EXISTING COPING TO BE EVALUATED FOR

ADD ALTERNATE: NEW COPING TO MATCH

A210 1/4" = 1'-0"

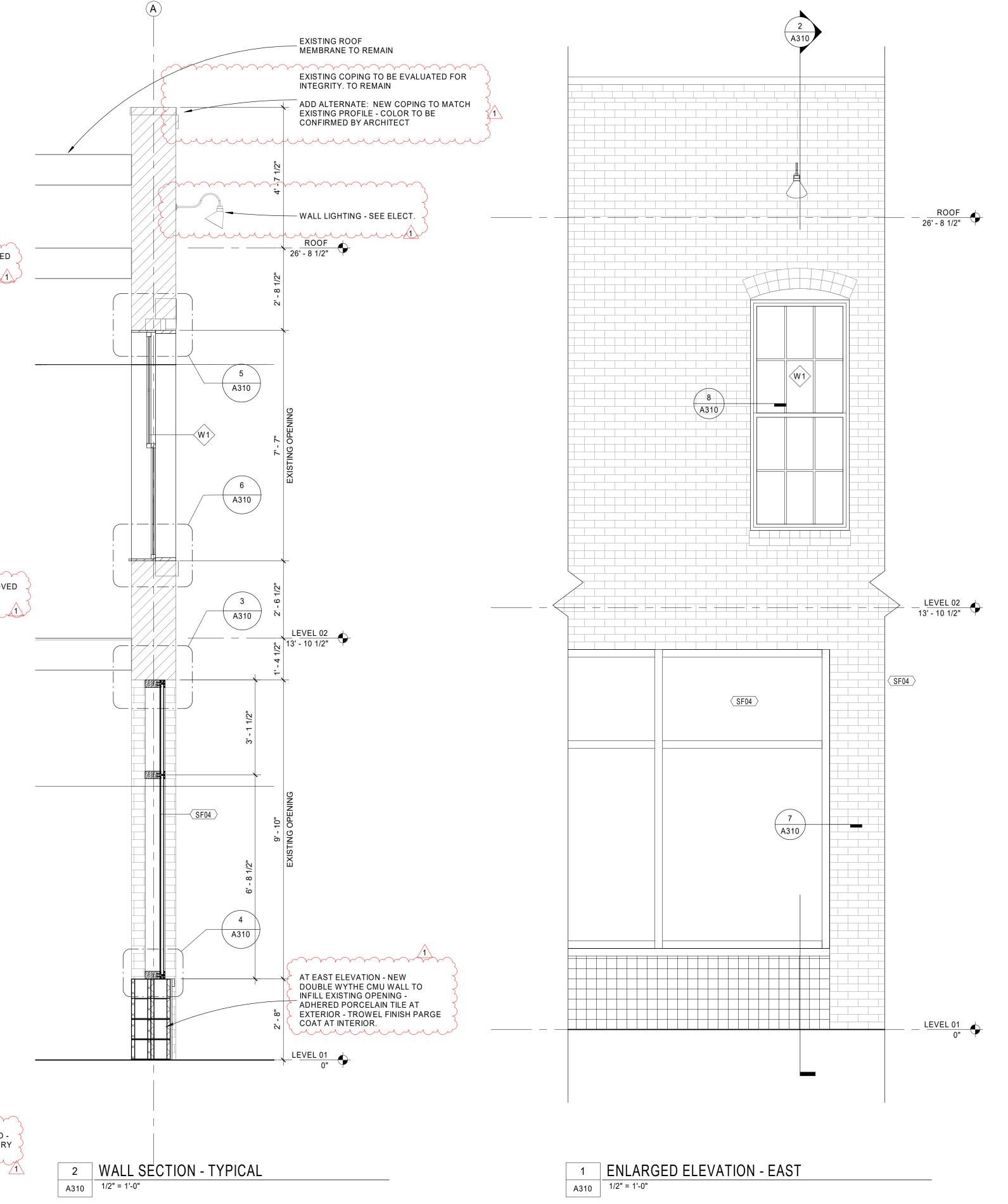
1. ALL SILL, HEAD, AND JAMB DETAILS SHOWN FOR REPRESENTATION AND PRICING. ACTUAL CONSTRUCTION DETAILS TO BE COORDINATED BETWEEN ARCHITECT AND GC UPON PRODUCT SELECTION AND DEMOLITION TO ENSURE PROPER INTEGRATION AND WATERPROOFING.

2. EXTERIOR 4X4 WALL TILE TO BE DALTILE - CLASSIC COLOR WHEEL COLLECTION - BLUE TONES, AS SELECTED BY ARCHITECT (OR SIMILAR)

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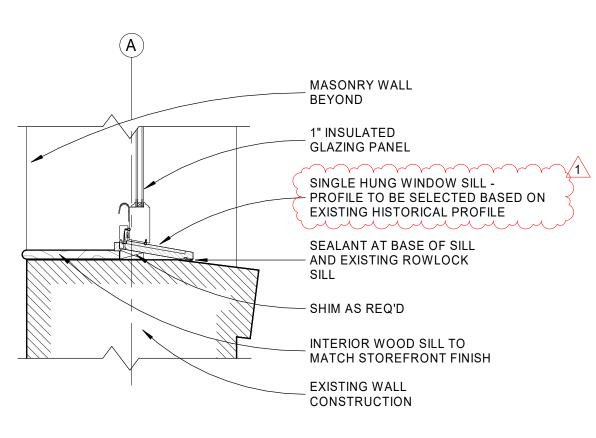


_____EXISTING MASONRY WALL - INTERIOR WOOD SILL BELOW - 1" INSULATED GLAZING SINGLE HUNG WINDOW SILL -PROFILE TO BE SELECTED BASED ON EXISTING HISTORICAL _ SEALANT AT DISSIMILAR MATERIALS, TYP. — EXISTING ROWLOCK SILL BELOW

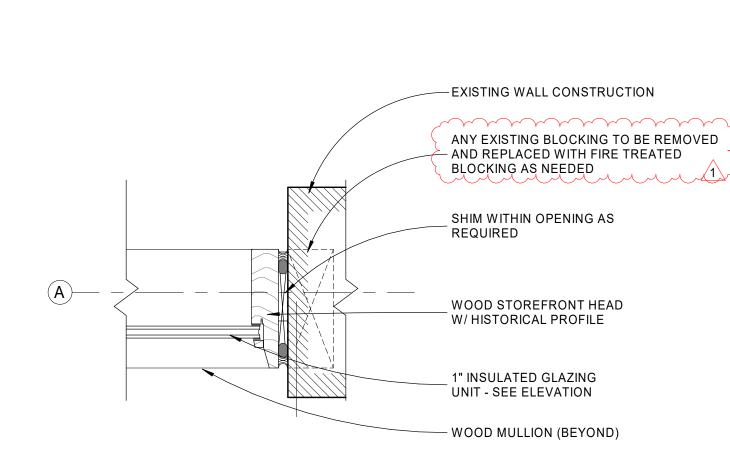
> 8 DETAIL - WINDOW JAMB A310 1 1/2" = 1'-0"

EXISTING WALL CONSTRUCTION REPLACE EXISTING TRIM -- MATCH PROFILE OF SINGLE HUNG WINDOW SILL -PROFILE TO BE SELECTED BASED ON EXISTING HISTORICAL PROFILE SEALANT AT DISSIMILAR MATERIALS, TYP. 1" INSULATED GLAZING PANEL _ MASONRY WALL BEYOND

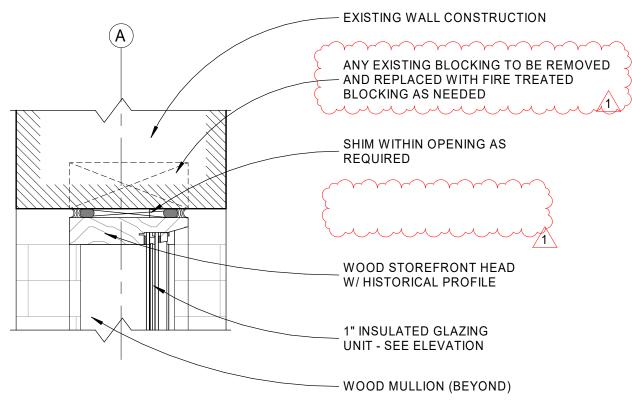
5 WINDOW HEAD DETAIL A310 1 1/2" = 1'-0"



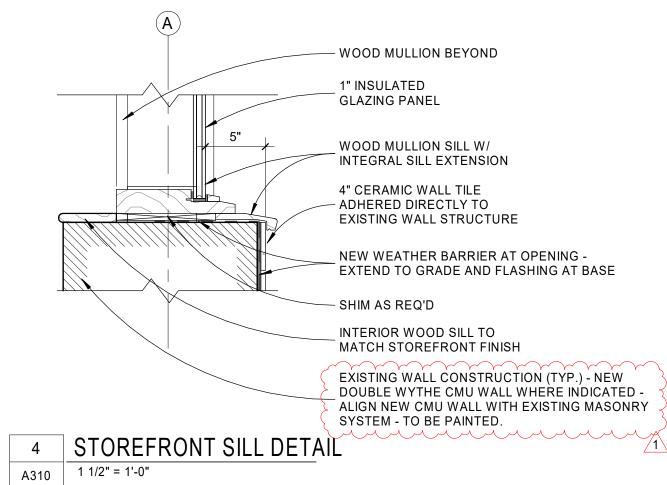
6 WINDOW SILL DETAIL A310 1 1/2" = 1'-0"



7 DETAIL - STOREFRONT JAMB A310 1 1/2" = 1'-0"



3 STOREFRONT HEAD DETAIL A310 1 1/2" = 1'-0"



RENOVATION 1125 BELMONT AVENUE

CHARLOTTE, NC 28205 PROJECT NO. 132.15925.00

PROJECT TEAM

PRINCIPAL IN CHARGE

EDDIE PORTIS

Designer PROJECT NAME

PROJECT MANAGER
NICHOLAS AULT

RED FRONT SHELL

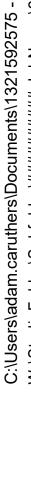
CONSTRUCTION

1 PERMIT DOCUMENTS 07/15/2021

DOCUMENTS

07/08/2021

ENLARGED ELEVATION + EXTERIOR DETAILS





SHEET GENERAL NOTES

- 1. ALL EXISTING WOOD TRIM AND MULLION PROFILES TO BE PRESERVED AND CATALOGUED PRIOR TO DEMOLITION FOR
- RECREATION OR SELECTION DURING CONSTRUCTION
- 2. VARIATIONS IN FLOOR LEVEL IN EXCESS OF 1/4" FOR EVERY 10'-0" SHALL BE LEVELED. LEVELING SHALL BE COMPLETED AND READY TO RECEIVE FLOORING AS SPECIFIED. VERIFY SLAB CONDITION.
- 3. PRE-PLAN CARPET SEAMING TO PROVIDE UNIFORM DIRECTION OF PATTERN AND LAY OF PILE. LOCATION OF SEAMS SHALL BE CENTERED UNDER DOORS AND WITHOUT SEAMS IN THE DIRECTION
- WALLS. FLOOR FINISH IN RESTROOM AND SERVICES ROOM SHALL BE SEALED CONCRETE, UNLESS OTHERWISE NOTED. PROVIDE A PRE-MOLDED BASE AT ALL INSIDE AND OUTSIDE CORNERS.

4. PROVIDE COVED, BASE TILE AT ALL RESTROOM AND SERVICE ROOM

- 5. INTERIOR WALL AND CEILING FINISHES SHALL HAVE A CLASS "A" FLAME SPREAD AND SMOKE DEVELOPMENT RATING IN ACCORDANCE WITH ASTM E 84.
- 6. MISCELLANEOUS GRILLES, PLATES, OR OTHER DEVICES SHALL BE PAINTED TO MATCH THE WALL OR CEILING IN WHICH THEY ARE

× TOILET ACCESSORIES LEGEND

GB1 TA GRAB BAR 36" GB2 TA GRAB BAR 42"

GB3 TA GRAB BAR 18" VERTICAL

SURFACE MOUNTED SOAP DISPENSOR SD TA SURFACE MOUNTED PAPER TOWER DISPENSER TPD TA SURFACE MOUNTED SINGLE ROLL TOILET PAPER

DISPENSER FRAMED MIRROR (24" W X 72" H)

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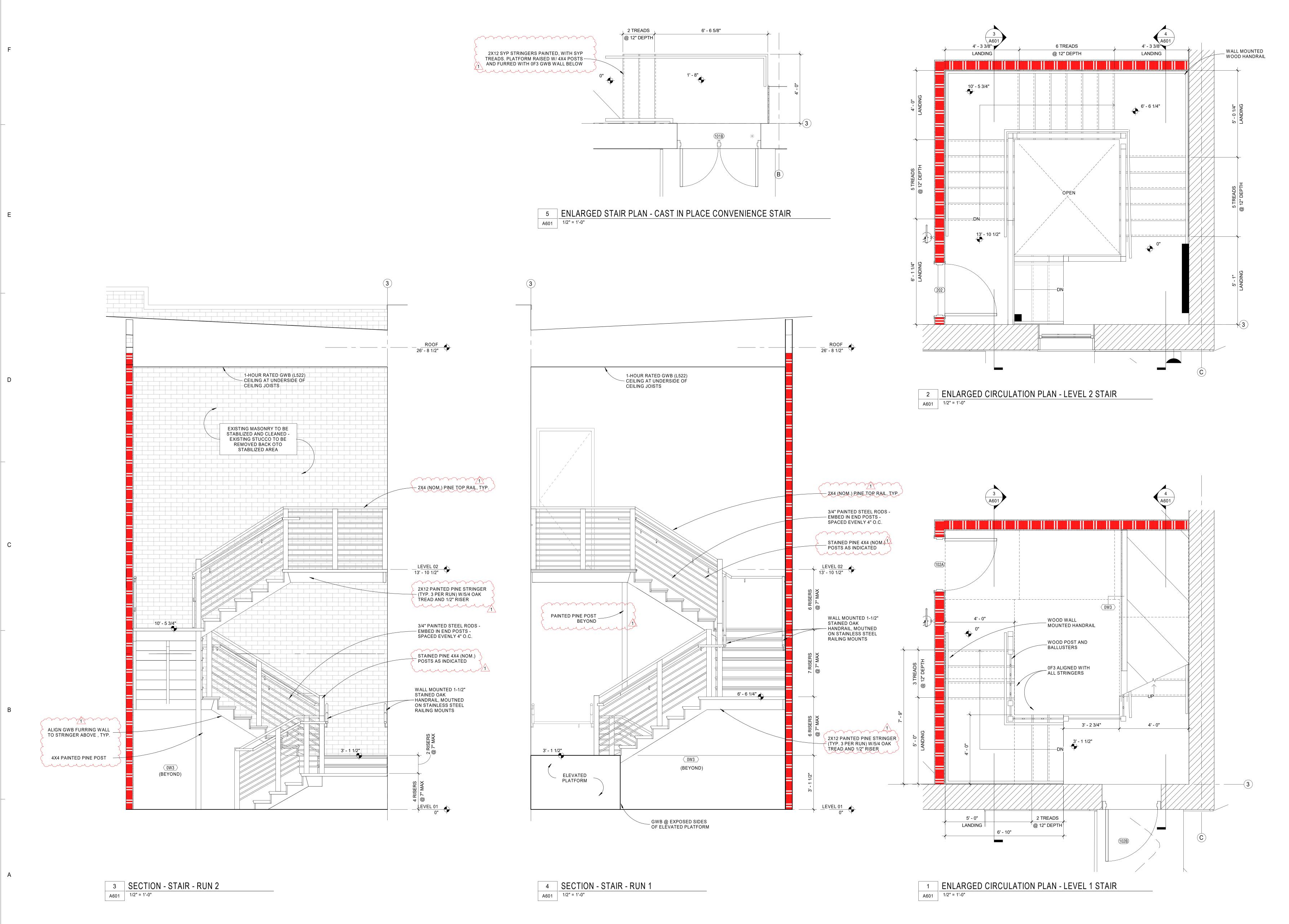
Designer PROJECT NAME

RED FRONT SHELL RENOVATION

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132.15925.00

ENLARGED TOILET PLANS AND ELEVATIONS





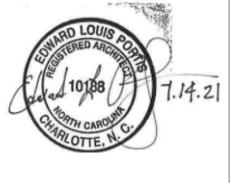
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SSUE DATE

REVISIONS
NO. REASON

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PROJECT MANAGER

PROJECT MANAGER
NICHOLAS AULT
DESIGN TEAM

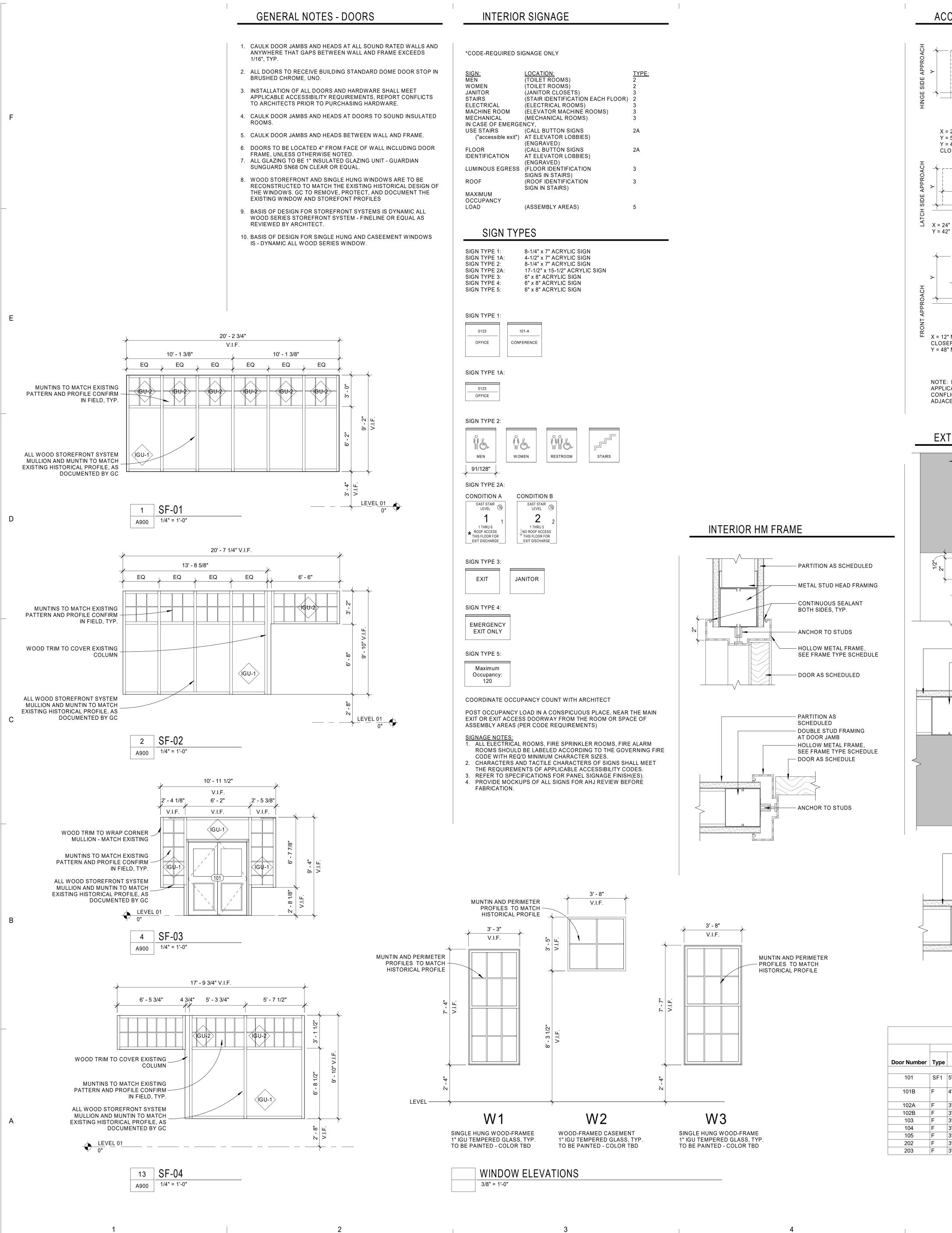
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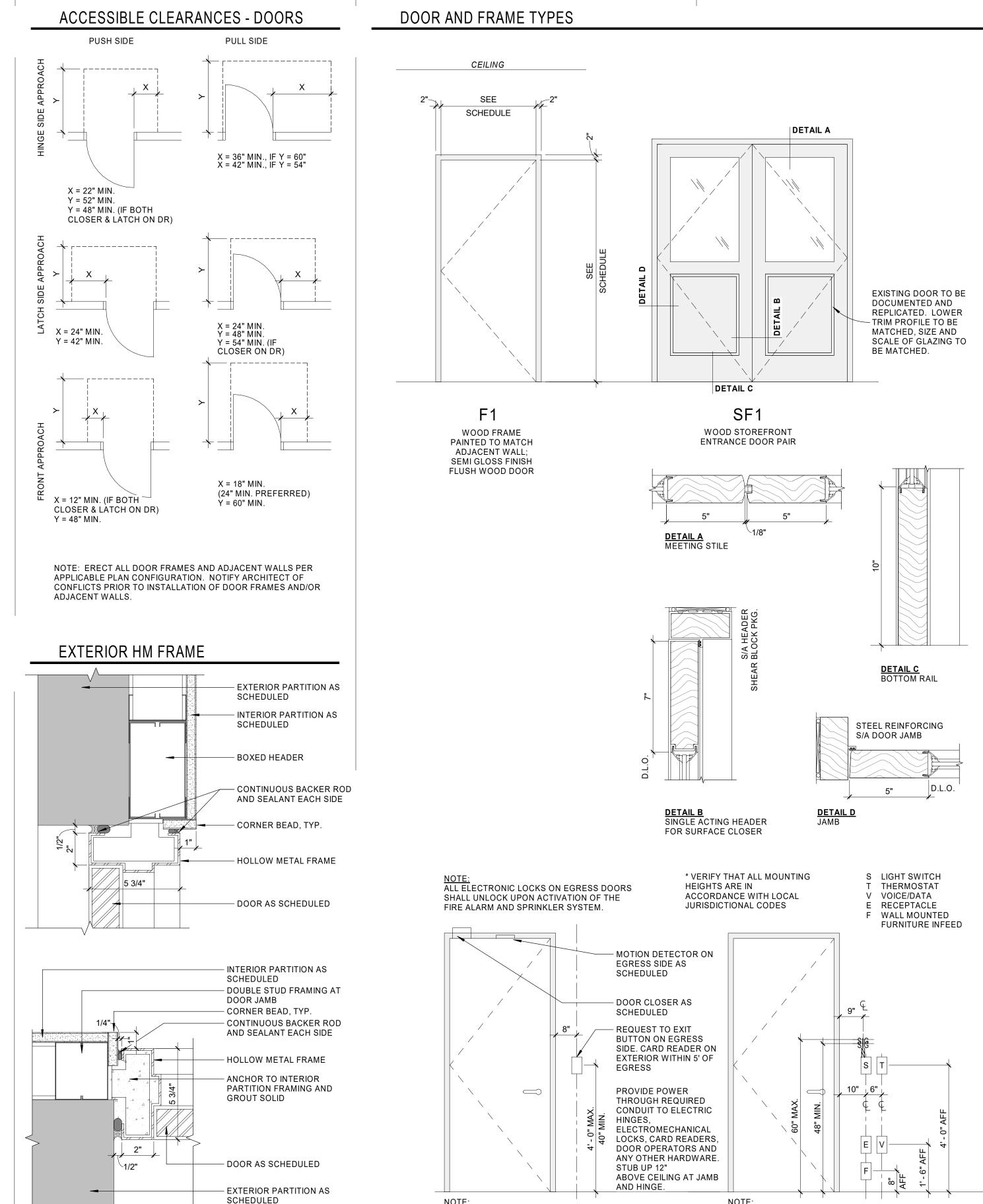
RED FRONT SHELL RENOVATION

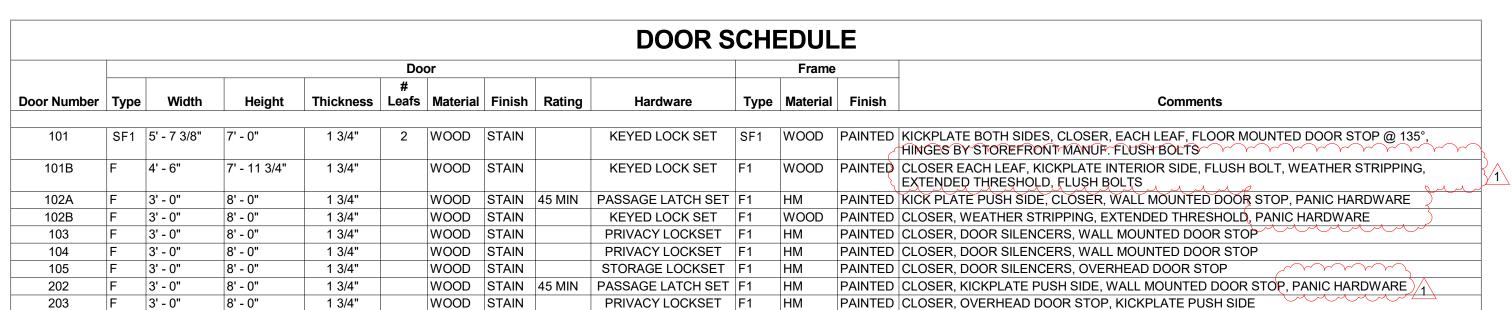
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VERTICAL CIRCULATION







NOTE: COORDINATE WITH SECURITY SYSTEM AND

SECURITY RISER DIAGRAM.

- PARTITION AS SCHEDULED

- DOUBLE STUD FRAMING AT

ALUMINUM FRAME w/ MITERED

DOOR JAMB - REVEAL TRIM

CORNERS

- SCHEDULED DOOR



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TYPICAL LOCATION FOR SPECIALTY DEVICES NEAR A

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NICHOLAS AULT

Designer

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1125 BELMONT AVENUE

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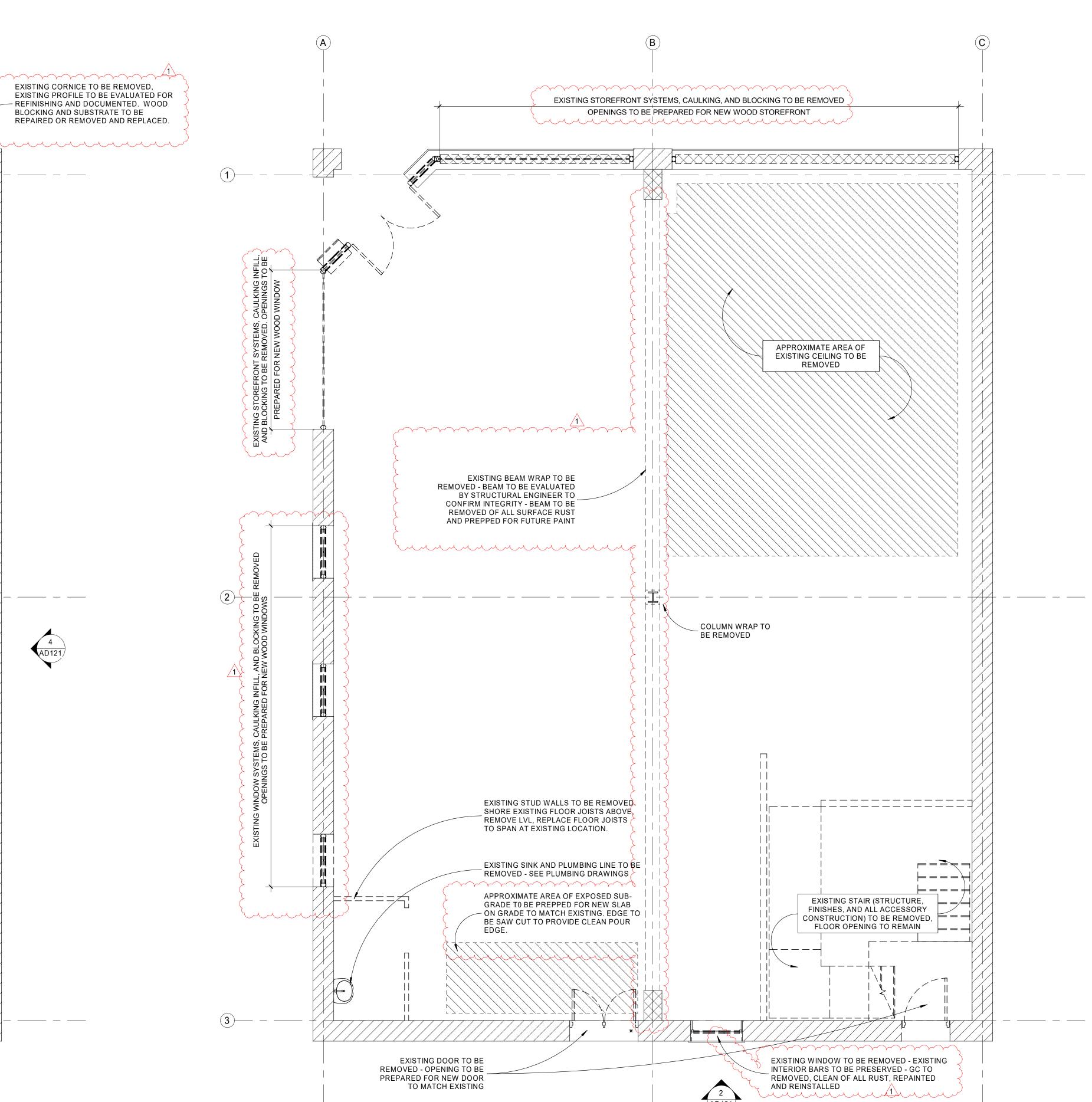
DOOR AND FRAME TYPES

EXISTING STOREFRONT SYSTEMS, CAULKING, AND BLOCKING TO BE REMOVED OPENINGS TO BE PREPARED FOR NEW WOOD STOREFRONT APPROXIMATE AREA OF EXISTING CEILING TO BE REMOVED EXISTING BEAM WRAP TO BE REMOVED - BEAM TO BE EVALUATED BY STRUCTURAL ENGINEER TO CONFIRM INTEGRITY - BEAM TO BE REMOVED OF ALL SURFACE RUST AND PREPPED FOR FUTURE PAINT munimuni p COLUMN WRAP TO BE REMOVED EXISTING STUD WALLS TO BE REMOVED.

SHORE EXISTING FLOOR JOISTS ABOVE
REMOVE LVL, REPLACE FLOOR JOISTS
TO SPAN AT EXISTING LOCATION. EXISTING SINK AND PLUMBING LINE TO BE REMOVED - SEE PLUMBING DRAWINGS 🦯 $\vdash - - - \vdash$ $\vdash = = = \neq$ APPROXIMATE AREA OF EXPOSED SUB-GRADE TO BE PREPPED FOR NEW SLAB FINISHES, AND ALL ACCESSORY ON GRADE TO MATCH EXISTING. EDGE TO CONSTRUCTION) TO BE REMOVED. ==BE SAW CUT TO PROVIDE CLEAN POUR FLOOR OPENING TO REMAIN ´╟═╶╤═╌═╫ EXISTING WINDOW TO BE REMOVED - EXISTING INTERIOR BARS TO BE PRESERVED - GC TO REMOVED, CLEAN OF ALL RUST, REPAINTED AND REINSTALLED EXISTING DOOR TO BE REMOVED - OPENING TO BE PREPARED FOR NEW DOOR
TO MATCH EXISTING

1 FLOOR PLAN - LEVEL 01

AD111 1/4" = 1'-0"



EXISTING CORNICE TO BE REMOVED,

BLOCKING AND SUBSTRATE TO BE

EXISTING PROFILE TO BE EVALUATED FOR

REFINISHING AND DOCUMENTED. WOOD

REPAIRED OR REMOVED AND REPLACED.

EXISTING WINDOW SYSTEMS, CAULKING INFILL, AND BLOCKING TO BE REMOVED

OPENINGS TO BE PREPARED FOR NEW WINDOWS

mumming manument

> EXISTING SUB FLOOR TO BE REMOVED AND REPLACED

> > COLUMN WRAP TO

BE REMOVED

TO BE CUT BACK TO BEARING \longrightarrow \models = = =

/|======|

 $\triangleright = = = = =$ $\models' = = = = =$ _ _ _ _

| |⊨ = = = =

EXISTING 'CUT' CEILING JOISTS

∣ |WALL ♥ STAIR OPENING

EXISTING STAIR (STRUCTURE, ==/==|

FLOOR OPENING TO REMAIN

FINISHES, AND ALL ACCESSORY

CONSTRUCTION) TO BE REMOVED,

 $\vdash = = = + \downarrow$

 $\models = = = \neq \downarrow$

EXISTING BEAM BEAM TO BE

REMOVED OF ALL EXISTING _
FINISHES AND SURFACE RUST AND PREPPED FOR FUTURE PAINT

EXISTING DRAIN LINE TO BE

EXISTING WOOD HEADERS TO BE REMOVED - AREA TO BE PREPARED FOR NEW STEEL LINTEL. BRICK TO BE RE-SET AND REPAIRED AS NECESSARY

╱┡═┈══┩╷

2 DEMOLITION PLAN - LEVEL 2

AD111 1/4" = 1'-0"

REMOVED TO LEVEL 1 SLAB —

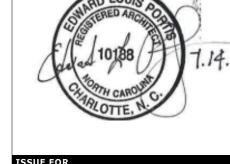
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RENOVATION

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DEMOLITION FLOOR PLAN

AD111

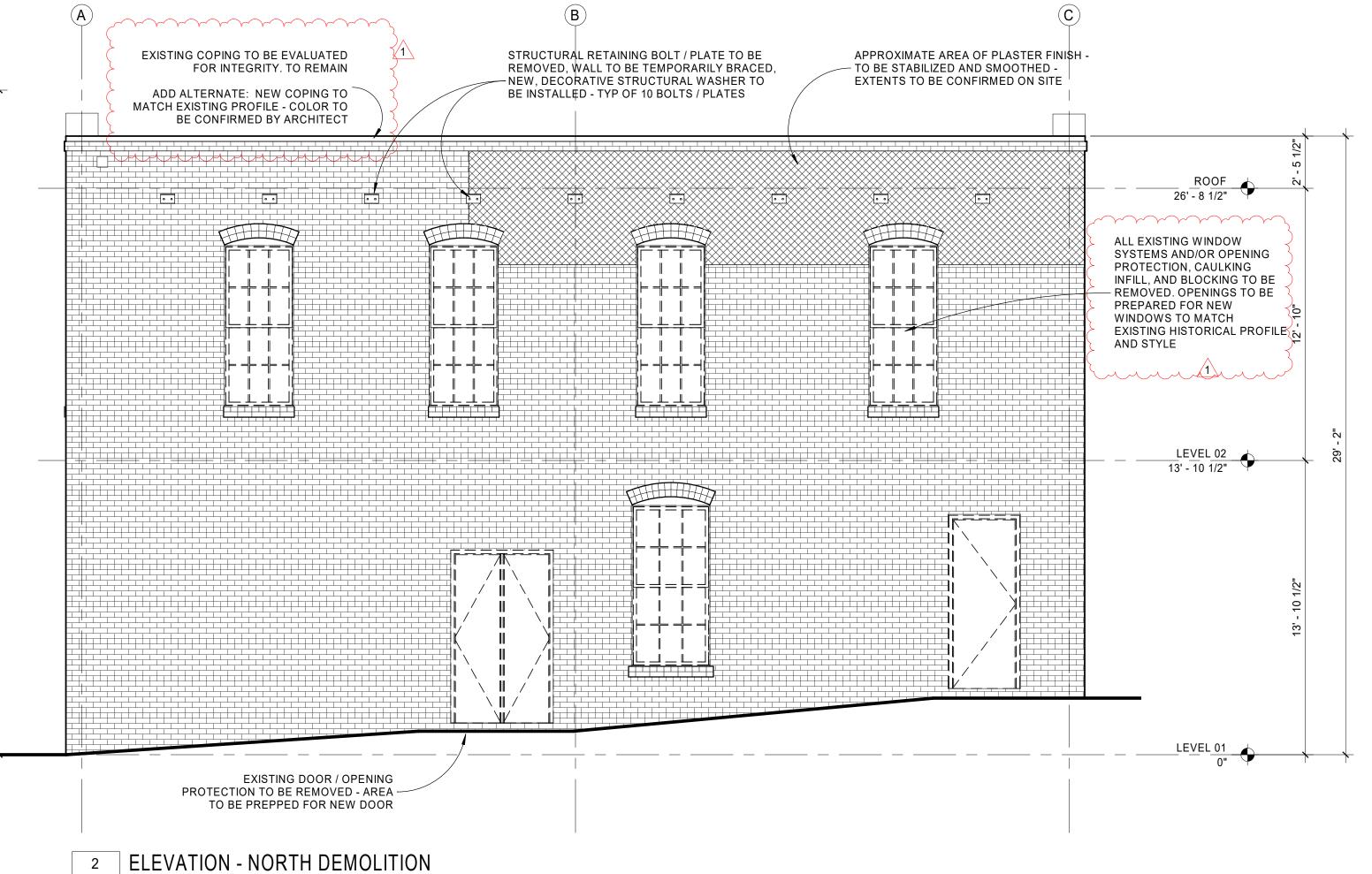


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EXISTING PROFILE - COLOR TO BE

CONFIRMED BY ARCHITECT

INTEGRITY. TO REMAIN

EXISTING SIGNAGE TO BE PRESERVED

AND RE-PAINTED TO MATCH EXISTING Ξ

COLOR, SIZE, AND STYLE

HISTORICAL PROFILE AND STYLE

EXISTING COPING TO BE EVALUATED FOR

ADD ALTERNATE: NEW COPING TO MATCH

EXISTING GRADE

APPROXIMATE AREA OF PLASTER FINISH -

EXISTING FACE BRICK TO BE CLEANED AND

PRESSURE WASHED - ALL PAINT TO BE REMOVED

AND MORTAR TO BE RE-POINTED AS NECESSARY

GC TO PERFORM AN INSPECTION OF EXISTING

BRICK - ALL WALL CRACKS 1/8" AND WIDER SHALL

BE ROUTED OUT AT LEAST 1-1/2" DEEP AND FILLED

WITH TYPE 'S' MORTAR

EXISTING CONSTRUCTION DOORS AND

REMOVED - OPENING TO BE PREPARED

STOREFRONT SYSTEM TO BE

FOR NEW STOREFRONT SYSTEM

TO BE STABILIZED AND SMOOTHED -

EXTENTS TO BE CONFIRMED ON SITE

APPROXIMATE AREA OF PLASTER FINISH - EXISTING GAS METER

AND BOLLARDS

TO BE STABILIZED AND SMOOTHED -

4 ELEVATION - WEST DEMOLITION

ALL EXISTING CERAMIC TILE TO BE REMOVED -

GC TO PERFORM VISUAL INSPECTION DURING

1 ELEVATION - EAST DEMOLITION

ALL TO BE REMOVED.

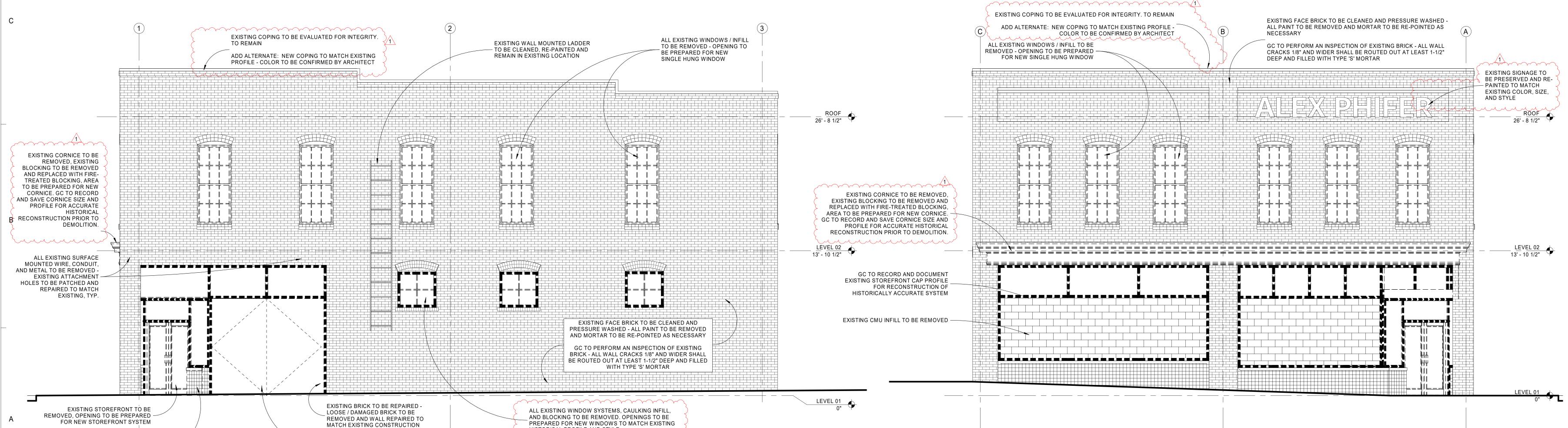
SUBSTRATE AND SCRATCH COAT TO BE REMOVED

AND PREPARED FOR NEW ADHERED TILE SYSTEM

DEMOLITION FOR MOLD, ROT, OR DETERIORATION.

AD121 1/4" = 1'-0"

EXTENTS TO BE CONFIRMED ON SITE



ROOF - 8 1/2"

EXISTING JUNCTION BOX AND ANCILLARY

CONDUIT / CABLE TO BE REMOVED AND

INFILLED WITH BRICK AND MORTAR TO

EXISTING CORNICE TO BE REMOVED,

EXISTING BLOCKING TO BE REMOVED AND

REPLACED WITH FIRE-TREATED BLOCKING.

ACCURATE HISTORICAL RECONSTRUCTION

LEVEL 02 13' - 10 1/2"

LEVEL 01

MATCH EXISTING WALL SYSTEM

AREA TO BE PREPARED FOR NEW

CORNICE SIZE AND PROFILE FOR

PRIOR TO DEMOLITION.

EXISTING WALK AND CURB

CORNICE. GC TO RECORD AND SAVE

CONSTRUCTION DOCUMENTS

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EDDIE PORTIS

NICHOLAS AULT

Designer

RED FRONT SHELL RENOVATION

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DEMOLITION **ELEVATIONS**

AD121

3 ELEVATION - SOUTH DEMOLITION