

**CONSTRUCTION
DOCUMENTS**

NODA MILL APARTMENTS

THE COMMUNITY
BUILDERS

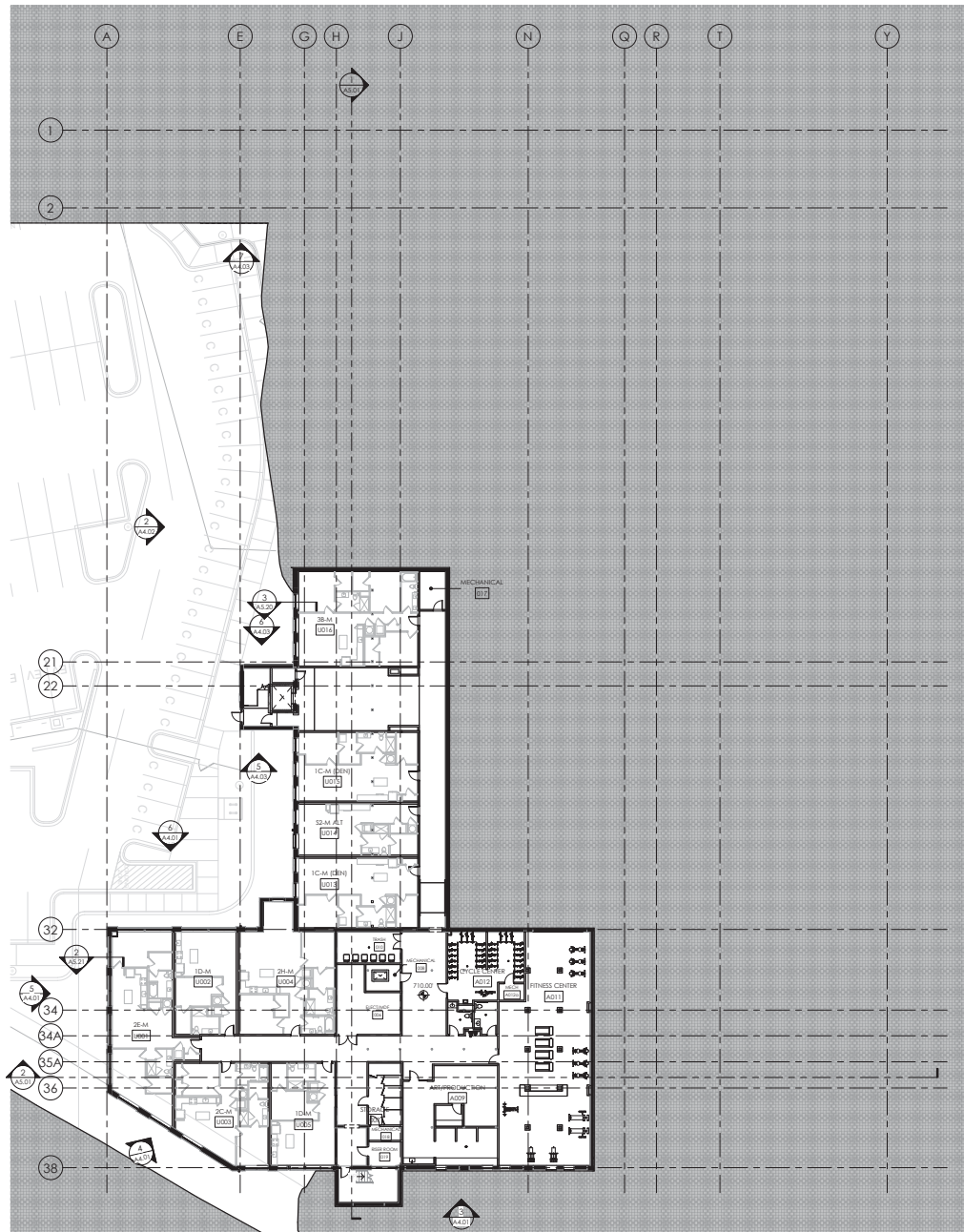


LOCATION / CHARLOTTE, NC
PROJECT # / 18FCP330
DATE / 05.11.2020
DRAWN / HS

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Revisions		
No.	Description	Date

**ARCHITECTURAL SITE
PLAN**



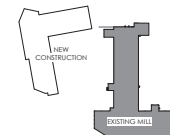
1
A1.00

BASEMENT

SCALE: 1/16" = 1'-0"

GENERAL NOTES

1. REFER TO GENERAL NOTES ON SHEET G6.01
2. REFER TO CIVIL PLANS FOR BUILDING ORIENTATION AND LOCATION ON SITE
3. SEE CIVIL DRAWINGS FOR ALL EXTERIOR HARDSCAPE LOCATIONS AND MATERIALS
4. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE, FACE OF EXISTING BRICK, OR FACE OF CMU UNLESS OTHERWISE NOTED. DOORS NOT DIMENSIONED ARE TYPICAL DISTANCE FROM ADJACENT STUD; SEE GENERAL NOTES
5. REFER TO ENLARGED BUILDING PLANS, AMENITY PLANS AND UNIT PLANS FOR ADDITIONAL DIMENSIONS, INFORMATION AND DETAILS
6. SPOT ELEVATIONS DEPICT FINISH FLOOR AT WOOD FRAMING, FINISH FLOOR AT EXISTING FLOORS, OR FINISH FLOOR AT CONCRETE SLABS
7. REFER TO CONSULTANT DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION



BEACHAM BUNCE + MANLEY ARCHITECTURE PLLC

1435 WEST MOREHEAD STREET
SUITE 160
CHARLOTTE, NC 28208
704.334.1716

WWW.BB+M-ARCH.COM

CONSTRUCTION DOCUMENTS

NODA MILL APARTMENTS

THE COMMUNITY BUILDERS



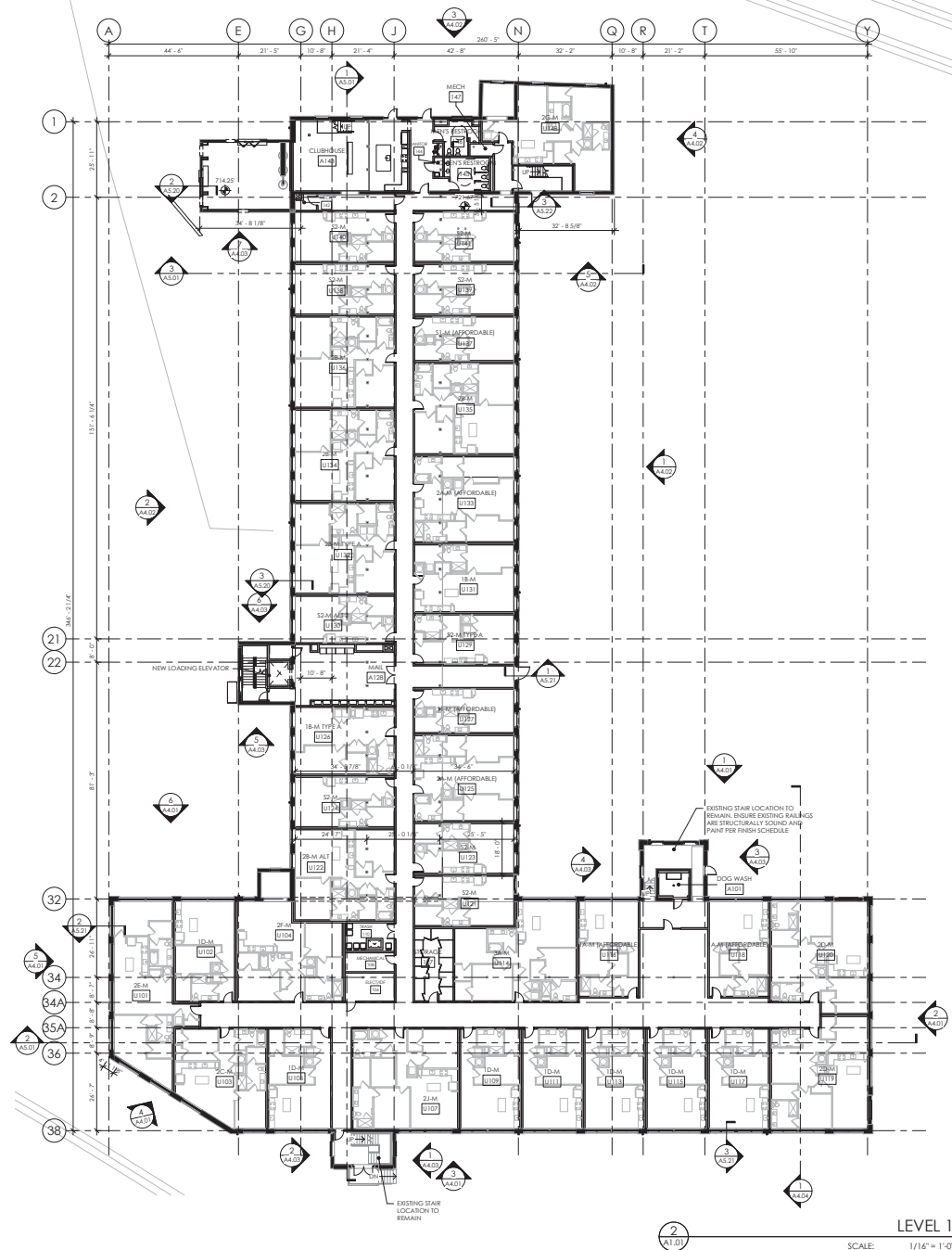
LOCATION / CHARLOTTE, NC
PROJECT # / 18FCP330
DATE / 09.11.2020
DRAWN / HS, PT

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Revisions		
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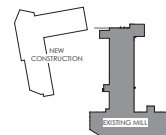
OVERALL BUILDING PLAN - BASEMENT

A1.00



GENERAL NOTES

1. REFER TO GENERAL NOTES ON SHEET G6.01
2. REFER TO CIVIL PLANS FOR BUILDING ORIENTATION AND LOCATION ON SITE
3. SEE CIVIL DRAWINGS FOR ALL EXTERIOR HARDSCAPE LOCATIONS AND MATERIALS
4. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE, FACE OF EXISTING BRICK, OR FACE OF CMU UNLESS OTHERWISE NOTED. DOORS NOT DIMENSIONED ARE TYPICAL DISTANCE FROM ADJACENT STUD; SEE GENERAL NOTES
5. REFER TO ENLARGED BUILDING PLANS, AMENITY PLANS AND UNIT PLANS FOR ADDITIONAL DIMENSIONS, INFORMATION AND DETAILS
6. SPOT ELEVATIONS DEPICT FINISH FLOOR AT WOOD FRAMING, FINISH FLOOR AT EXISTING FLOOR, OR FINISH FLOOR AT CONCRETE SLABS
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CONSTRUCTION DOCUMENTS

NODA MILL APARTMENTS

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BUILDERS



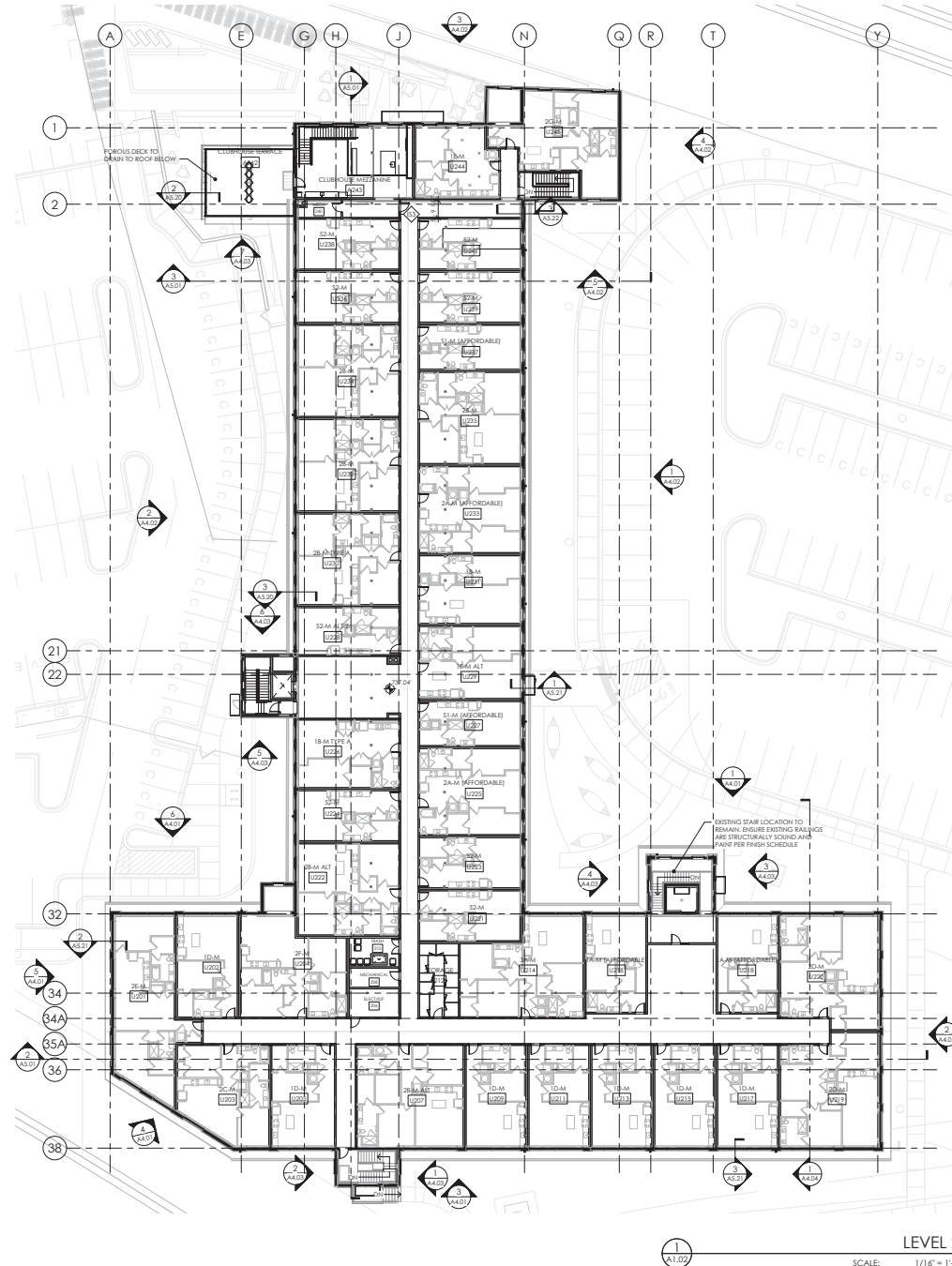
LOCATION / CHARLOTTE, NC
PROJECT # / 19FCP330
DATE / 09.11.2020
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OVERALL BUILDING PLAN - LEVEL 1

A1.01



- GENERAL NOTES**
1. REFER TO GENERAL NOTES ON SHEET G6.01
 2. REFER TO CIVIL PLANS FOR BUILDING ORIENTATION AND LOCATION ON SITE
 3. SEE CIVIL DRAWINGS FOR ALL EXTERIOR HARDSCAPE LOCATIONS AND MATERIALS
 4. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE, FACE OF EXISTING BRICK, OR FACE OF CMU UNLESS OTHERWISE NOTED. DOORS NOT DIMENSIONED ARE TYPICAL DISTANCE FROM ADJACENT STUD; SEE GENERAL NOTES
 5. REFER TO ENLARGED BUILDING PLANS, AMENITY PLANS AND UNIT PLANS FOR ADDITIONAL DIMENSIONS, INFORMATION AND DETAILS
 6. SPOT ELEVATIONS DEPICT FINISH FLOOR AT WOOD FRAMING, FINISH FLOOR AT EXISTING FLOORS, OR FINISH FLOOR AT CONCRETE SLABS
 7. REFER TO CONSULTANT DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION



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OVERALL BUILDING PLAN - LEVEL 2

A1.02

**CONSTRUCTION
DOCUMENTS**

NODA MILL APARTMENTS

THE COMMUNITY
BUILDERS



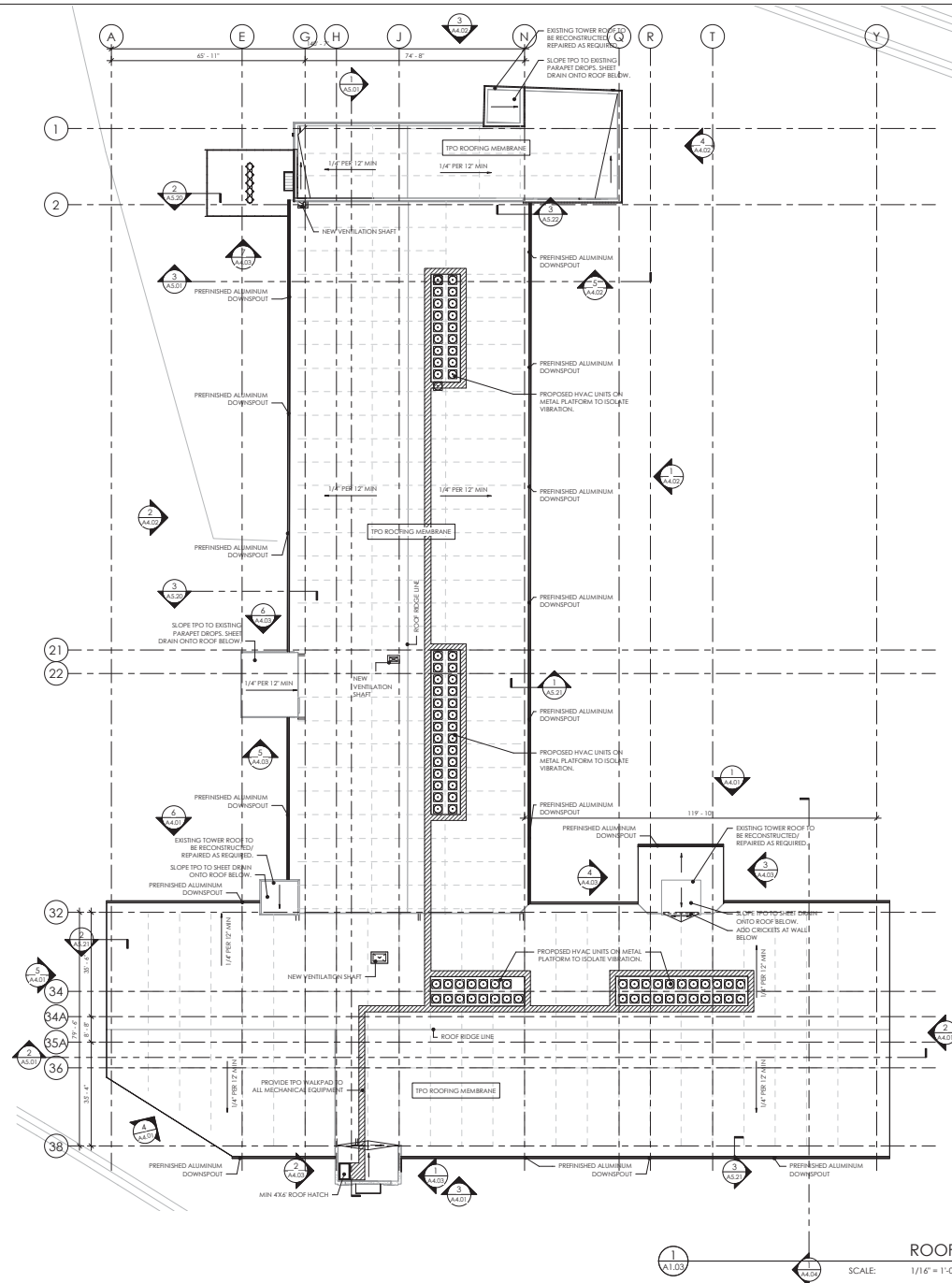
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PROJECT # / 18FCP330
DATE / 09.11.2020
DRAWN / HS, PT

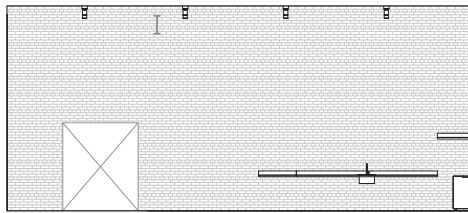
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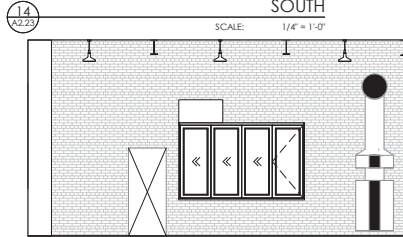
OVERALL ROOF PLAN

A1.03

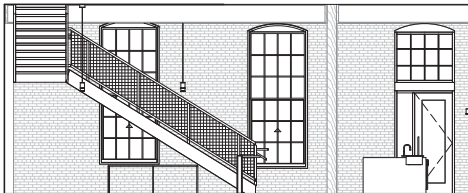




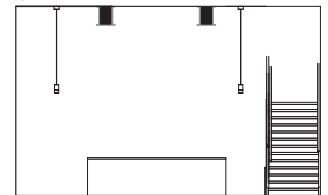
ELEVATION @ MEZZANINE PLAN
SOUTH



ELEVATION @ CLUB BOILER ROOM
PLAN NORTH



ELEVATION @ CLUB PLAN NORTH

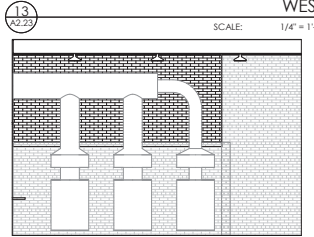


ELEVATION @ CLUB DRINK LEDGE
PLAN WEST

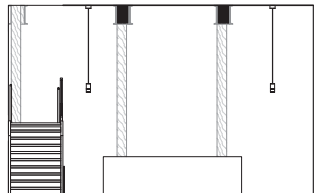
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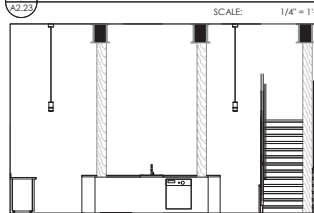
ELEVATION @ MEZZANINE PLAN
WEST



ELEVATION @ CLUB BOILER ROOM
PLAN EAST

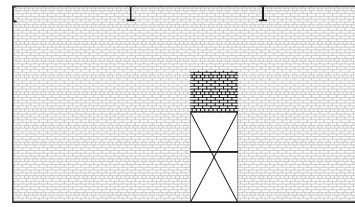


ELEVATION @ CLUB DRINK LEDGE
PLAN EAST

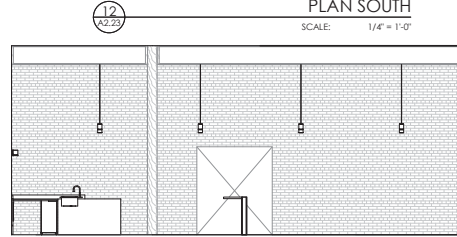


ELEVATION @ CLUB KITCHEN
ISLAND PLAN WEST

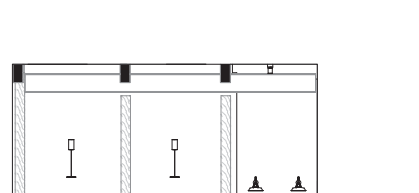
SCALE: 1/4" = 1'-0"



ELEVATION @ CLUB BOILER ROOM
PLAN SOUTH

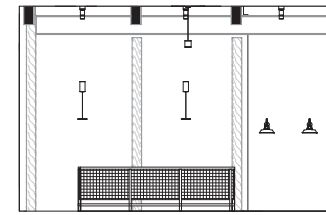


ELEVATION @ CLUB PLAN SOUTH

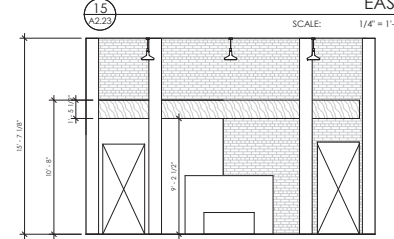


ELEVATION @ CLUB KITCHEN
ISLAND PLAN EAST

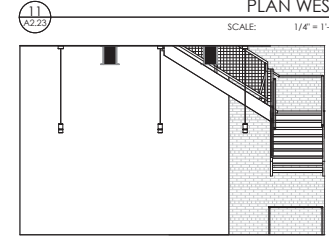
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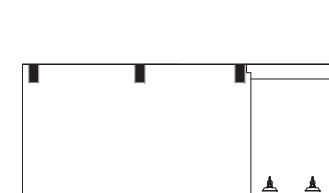
ELEVATION @ MEZZANINE PLAN
EAST



ELEVATION @ CLUB BOILER ROOM
PLAN WEST



ELEVATION @ CLUB PLAN WEST



ELEVATION @ CLUB KITCHEN

SCALE: 1/4" = 1'-0"

CONSTRUCTION
DOCUMENTS

NODA MILL APARTMENTS

THE COMMUNITY
BUILDERS

FCP

LOCATION / CHARLOTTE, NC
PROJECT # / 18FCP330
DATE / 08.11.2020
DRAWN / Author

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Revisions		
No.	Description	Date

LEVEL 1+2 -
CLUBHOUSE
ELEVATIONS

A2.23

**CONSTRUCTION
DOCUMENTS**

NODA MILL APARTMENTS

**THE COMMUNITY
BUILDERS**



LOCATION / CHARLOTTE, NC
PROJECT # / 19FCP330
DATE / 09.11.2020
DRAWN / Author

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Revisions		
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CLUB RENDERINGS

CLUB MEZZANINE + COFFEE BAR



Perforated metal railing with matte black guardrail and stained wood handrail.

CLUB MEZZANINE



Perforated metal railing with matte black guardrail and stained wood handrail.

CLUB LOWER LEVEL



PELLA WINDOWS FOLDING DOOR SYSTEM.

CLUB LOWER LEVEL LOUNGE



Perforated metal railing with matte black guardrail and stained wood handrail.

CLUB TERRACE

REFER TO ARCHITECTURE FOR FINISHES.



35-502

WD-508

**CONSTRUCTION
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NODA MILL APARTMENTS

THE COMMUNITY
BUILDERS



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DATE / 09.11.2020
DRAWN / Author

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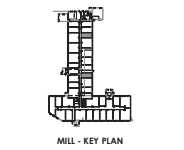
Revisions		
No.	Description	Date

WD-507

CLUB RENDERINGS

Revisions		
No.	Description	Date

UNIT S1-M (AFFORDABLE)



MILL - KEY PLAN

UNIT BATHROOM NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
F.O.C. = FACE OF STUD
F.O.C. = FACE OF CABINET
2. REFER TO ELEVATION FOR CABINET SIZING
3. CABINETS UNDER SINK SHALL BE REMOVABLE WHERE NOTED WITHOUT REMOVING THE COUNTERTOP. PROVIDE MIN. 30" WIDE BY 27" HIGH CLEAR OPENING.
4. EXTEND FLOOR AND WALL FINISHES UNDER ALL REMOVABLE CABINETS
5. REMOVABLE CABINETS ARE PROVIDED UNDER SINK (TYPE-A UNITS ONLY). PROVIDE UNDER COUNTER PLUMBING ENCLOSURE WITH REQUIRED KNEE AND TOE CLEARANCES
6. ALL APPLIANCES TO BE STAINLESS ENERGY STAR PER OWNER SPECIFICATIONS
7. TYPICAL UPPER CABINET IS 12" DEEP, 42" FLAT PANEL WITH LARGE PULL UNLESS OTHERWISE DIMENSIONED
8. CABINETS IN WET LOCATIONS (BASE LOCATIONS BELOW SINKS) TO BE PLYWOOD, NO MDF PERMITTED IN WET LOCATIONS
9. PROVIDE OFFSET CONTROLS AT TYPE-A BATHROOMS
10. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT WATER CLOSETS, SHOWERS AND TUBS
11. PROVIDE FLUSH CONTROL AT OPEN SIDE OF TOILET AT TYPE-A COMPLIANT BATHROOMS
12. PROVIDE A TOWEL BAR, HAND TOWEL RING, ROBE HOOK AND TOILET PAPER HOLDER AT EACH BATHROOM. VERIFY LOCATION WITH OWNER
13. PROVIDE TILE AT SHOWER WALLS. SEE INTERIOR DESIGN DRAWINGS FOR FINISH SCHEDULE

UNIT KITCHEN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
F.O.C. = FACE OF STUD
F.O.C. = FACE OF CABINET
2. REFER TO ELEVATION FOR CABINET SIZING
3. CABINETS IN WET LOCATIONS TO BE PLYWOOD, NO MDF PERMITTED IN WET LOCATIONS
4. CABINETS UNDER SINK SHALL BE REMOVABLE WHERE NOTED WITHOUT REMOVING THE COUNTERTOP. PROVIDE MIN. 30" WIDE BY 27" HIGH CLEAR OPENING.
5. EXTEND FLOOR AND WALL FINISHES UNDER ALL REMOVABLE CABINETS
6. REMOVABLE CABINETS ARE PROVIDED UNDER SINK. PROVIDE UNDER COUNTER PLUMBING ENCLOSURE WITH REQUIRED KNEE AND TOE CLEARANCES
7. SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR APPLIANCE SPECIFICATIONS
8. TYPICAL UPPER CABINET IS 12" DEEP, 42" FLAT PANEL WITH LARGE PULL UNLESS OTHERWISE DIMENSIONED
9. PROVIDE 1" COUNTERTOP OVERHANG MEASURED FROM FACE OF LOWER CABINET BOX
10. CABINET FINISH AT ALL EXPOSED FACES TO RECEIVE SAME FINISH AS CABINET FACE
11. SELECTED RANGE SHALL NOT STAND OUT MORE THAN 1" BEYOND COUNTERTOP TO MAINTAIN REQUIRED ACCESSIBLE CLEARANCE
12. SINK IS TO BE CENTERED IN CABINET BELOW. REFER TO MANUFACTURER CUTOFF TEMPLATE FOR PLACEMENT FROM EDGE OF COUNTERTOP

UNIT FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE
2. REFER TO BUILDING PLANS AND ELEVATIONS FOR CONFIGURATION OF EXTERIOR WINDOWS, DOORS, BALCONIES AND WALL TYPES
3. REFER TO BUILDING LIFE SAFETY PLANS FOR RATED WALL LOCATIONS
4. ALL DOOR JAMBS TO BE 1/2" FROM FACE OF JAMB TO FACE OF ADJACENT STUD OR CENTERED ON CLOSET UNLESS OTHERWISE NOTED
5. MAINTAIN CONTINUOUS U.S. RATING OF CEILINGING WALLS AT FIRE CHUTES
6. REFER TO SYMBOL LEGEND FOR GRAPHIC DEFINITION OF FLOOR FINISHES
7. WALLS AT BATHROOMS TO HAVE MOISTURE RESISTANT GYP BOARD
8. REFER TO INTERIOR DESIGN DRAWINGS FOR UNIT ENTRY DESIGN
9. REFER TO G-700 SERIES FOR ACCESSIBILITY STANDARDS AND CLEARANCE REQUIREMENTS
10. ELECTRICAL PANELS ARE TO BE PAINTED TO MATCH THE WALL COLOR. COORDINATE COLOR WITH OWNER AND INTERIORS
11. WINDOW OPERATING PARTS TO BE MAX. 48" ABOVE FFE. IN ALL TYPE-A UNITS PER SECTION 308 IN AND 117.1.2009

UNIT RCP NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD
2. CENTER ALL VANITY SCONCES OVER SINKS UNLESS OTHERWISE NOTED
3. ALL CEILINGS ARE FASTENED TO UNDERSIDE OF FLOOR/ROOF FRAMING UNLESS OTHERWISE NOTED
4. ALL CEILINGS ARE TO BE SMOOTH FINISHED. PAINTED GYPSUM BOARD UNLESS NOTED OTHERWISE
5. FIXTURES ARE TO BE CENTERED IN SPACE UNLESS OTHERWISE NOTED
6. SEE ELECTRICAL FOR FIXTURE TYPE
7. GC TO COORDINATE LIGHTING, VENTING, SPRINKLER AND OTHER CEILING - MOUNTED FIXTURE ALIGNMENT WITH OWNER ON EACH UNIT TYPE PRIOR TO CLOSING IN. OWNER REVIEW AND APPROVAL OF ALIGNMENT NEEDED BEFORE PROCEEDING
8. ALL FIXTURES ARE DIMENSIONED CENTER TO CENTER OR CENTER TO FACE OF STUD
9. COORDINATE BATH EXHAUST WITH ELECTRICAL AND MECHANICAL DRAWINGS
10. PROVIDE 9" OF A.F.F. DROPPED GYPSUM BOARD CEILING AT BATHROOMS AND CLOSETS WHERE CEILING HEIGHTS ARE HIGHER THAN 10'-0"
11. COORDINATE CEILING FAN DOWNWARD LENGTH SO FAN BLADES ARE 4" MINIMUM BELOW BEAMS

UNIT SHELVING LEGEND:

18/15-12	(1) 12" DEEP WIRE SHELF W/ ROD AT 72" A.F.F.
28/25-12	(1) 12" DEEP WIRE SHELF W/ ROD AT 72" A.F.F.
	(1) 12" DEEP WIRE SHELF W/ ROD AT 36" A.F.F.
45-12	(4) 12" DEEP WIRE SHELF SPACED EVENLY
45-BWD	(4) 8" 12" OR 14" DEEP OR CORNER PAINTED WOOD SHELVES SPACED EVENLY
45-12WD	
45-16WD	

UNIT RCP LEGEND:

	PENDANT
	EXHAUST FAN
	RECESSED CAN
	FLUSH-MOUNTED CEILING LIGHT FIXTURE
	WALL SCONCE (UNIT ENTRY)
	VANITY SCONCE FIXTURE
	CEILING FAN

UNITS AT BASEMENT AND LEVEL 1:
SMOOTH FINISH PAINTED GYPSUM BOARD CEILING; MOISTURE RESISTANT OVER SHOWER/TUB

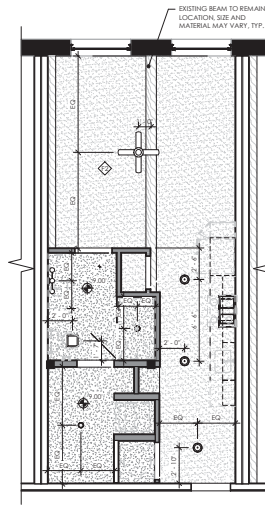
UNITS AT LEVEL 2: EXISTING WOOD DECKING TO REMAIN EXPOSED. PROVIDE DROPPED CEILING AT BATHROOMS AND CLOSETS; MOISTURE RESISTANT OVER SHOWER/TUB

UNIT FLOOR MATERIAL LEGEND:

	LVT WOOD-LOOK PLANK FLOORING
--	------------------------------

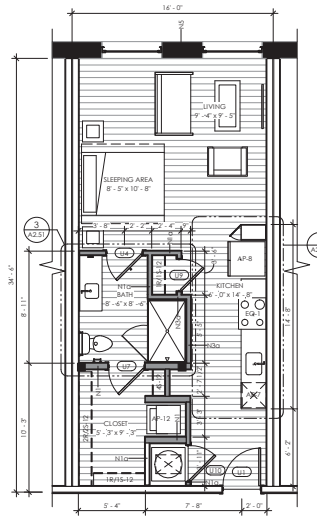
UNIT WALL LEGEND:

	WALL TO EXTEND FROM FLOOR SURFACE TO UNDERSIDE OF EXISTING DECKING AND/OR BEAMS
	TYP. WALL HEIGHT 8'-0" EXCEPT AT CLOSET SPACES WITH STORAGE ABOVE. SEE DETAILS



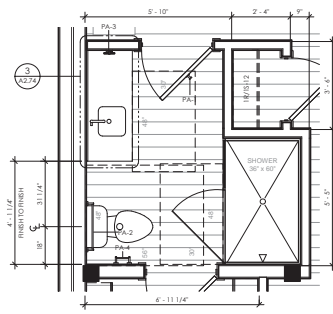
UNIT S1-M RCP

SCALE: 1/4" = 1'-0"



UNIT S1-M FLOOR PLAN

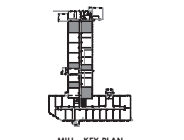
SCALE: 1/4" = 1'-0"



UNIT S1-M BATHROOM PLAN

SCALE: 1/2" = 1'-0"

Revisions		
No.	Description	Date



UNIT KITCHEN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
F.O.C. = FACE OF STUD
F.O.C. = FACE OF CABINET
2. REFER TO ELEVATION FOR CABINET SIZING
3. CABINETS IN WET LOCATIONS TO BE PLYWOOD, NO MDF PERMITTED IN WET LOCATIONS.
4. CABINETS UNDER SINK SHALL BE REMOVABLE WHERE NOTED WITHOUT REMOVING THE COUNTERTOP. PROVIDE MIN. 30" WIDE BY 27" HIGH CLEAR OPENING.
5. EXTEND FLOOR AND WALL FINISHES UNDER ALL REMOVABLE CABINETS.
6. IF REMOVABLE CABINETS ARE PROVIDED UNDER SINK, PROVIDE UNDER COUNTER PLUMBING ENCLOSURE WITH REQUIRED KNEE AND TOE CLEARANCES.
7. SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR APPLIANCE SPECIFICATIONS.
8. TYPICAL UPPER CABINET IS 12" DEEP, 42" FLAT PANEL WITH LARGE FULL UNLESS OTHERWISE DIMENSIONED.
9. PROVIDE 1" COUNTERTOP OVERHANG MEASURED FROM FACE OF LOWER CABINET BOX.
10. CABINET FINISH AT ALL EXPOSED FACES TO RECEIVE SAME FINISH AS CABINET FACE.
11. SELECTED RANGE SHALL NOT STAND OUT MORE THAN 1" BEYOND COUNTERTOP TO MAINTAIN REQUIRED ACCESSIBLE CLEARANCE.
12. SINK IS TO BE CENTERED IN CABINET BOWL. REFER TO MANUFACTURER CUTOFF TEMPLATE FOR PLACEMENT FROM EDGE OF COUNTERTOP.

UNIT BATHROOM NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
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4. EXTEND FLOOR AND WALL FINISHES UNDER ALL REMOVABLE CABINETS.
5. IF REMOVABLE CABINETS ARE PROVIDED UNDER SINK (TYPE A UNITS ONLY), PROVIDE UNDER COUNTER PLUMBING ENCLOSURE WITH REQUIRED KNEE AND TOE CLEARANCES.
6. ALL APPLIANCES TO BE STAINLESS STEEL PER OWNER SPECIFICATIONS.
7. TYPICAL UPPER CABINET IS 12" DEEP, 42" FLAT PANEL WITH LARGE FULL UNLESS OTHERWISE DIMENSIONED.
8. CABINETS IN WET LOCATIONS (BASE LOCATIONS BELOW SINK) TO BE PLYWOOD, NO MDF PERMITTED IN WET LOCATIONS.
9. PROVIDE OFFSET CONTROLS AT TYPE-A BATHRUIM.
10. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT WATER CLOSETS, SHOWERS AND TUBS.
11. PROVIDE FLUSH CONTROL AT OPEN SIDE OF TOILET AT TYPE-A COMPLIANT BATHROOMS.
12. PROVIDE A TOWEL BAR, HAND TOWEL RING, ROBE HOOK AND TOILET PAPER HOLDER AT EACH BATHROOM. VERIFY LOCATION WITH OWNER.
13. PROVIDE TILE AT SHOWER WALLS. SEE INTERIOR DESIGN DRAWINGS FOR FINISH SCHEDULE.

UNIT FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
2. REFER TO BUILDING PLANS AND ELEVATIONS FOR CONFIGURATION OF EXTERIOR WINDOWS, DOORS, BALCONIES AND WALL TYPES.
3. REFER TO BUILDING LIFE SAFETY PLANS FOR RATED WALL LOCATIONS.
4. ALL DOOR JAMBS TO BE 5 1/2" FROM FACE OF JAMB TO FACE OF ADJACENT STUD OR CENTERED ON UNLESS OTHERWISE DIMENSIONED OTHERWISE.
5. MAINTAIN CONTINUOUS 1/8" RATING OF DEMISING WALLS AT FURCH CHITS.
6. REFER TO SYMBOL LEGEND FOR GRAPHIC DEFINITION OF FLOOR FINISHES.
7. WALLS AT BATHROOMS TO HAVE MOISTURE RESISTANT GYP BOARD.
8. REFER TO INTERIOR DESIGN DRAWINGS FOR UNIT ENTRY DESIGN.
9. REFER TO G-700 SERIES FOR ACCESSIBILITY STANDARDS AND CLEARANCE REQUIREMENTS.
10. ELECTRICAL PANELS ARE TO BE PAINTED TO MATCH THE WALL COLOR. COORDINATE COLOR WITH OWNER AND INTERIORS.
11. WINDOW OPERATING PARTS TO BE MAX. 48" ABOVE FFE. IN ALL TYPE-A UNITS PER SECTION 308 IN AND 117.1.2009.

UNIT RCP NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD
2. CENTER ALL VANITY SCONCES OVER SINKS UNLESS OTHERWISE DIMENSIONED OTHERWISE
3. ALL CEILINGS ARE FASTENED TO UNDERSIDE OF FLOOR/ROOF FRAMING UNLESS NOTED OTHERWISE
4. ALL CEILINGS ARE TO BE SMOOTH FINISHED, PAINTED GYPSUM BOARD UNLESS NOTED OTHERWISE
5. FIXTURES ARE TO BE CENTERED IN SPACE UNLESS OTHERWISE DIMENSIONED OTHERWISE
6. SEE ELECTRICAL FOR FIXTURE TYPE
7. GC TO COORDINATE LIGHTING, VENTING, SPRINKLER AND OTHER CEILING - MOUNTED FIXTURE ALIGNMENT WITH OWNER ON EACH UNIT TYPE PRIOR TO CLOSING IN. OWNER REVIEW AND APPROVAL OF ALIGNMENT NEEDED BEFORE PROCEEDING.
8. ALL FIXTURES ARE DIMENSIONED CENTER TO CENTER OR CENTER TO FACE OF STUD.
9. COORDINATE BATH EXHAUST WITH ELECTRICAL AND MECHANICAL DRAWINGS.
10. PROVIDE 9" F.A.F.F. DROPPED GYPSUM BOARD CEILING AT BATHROOMS AND CLOSETS WHERE CLOSET HEIGHTS ARE HIGHER THAN 10'-0".
11. COORDINATE CEILING FAN DOWNWARD LENGTH SO FAN BLADES ARE 4" MINIMUM BELOW BEAMS.

UNIT SHELVING LEGEND:

18/15-12	(1) 12" DEEP WIRE SHELF W/ ROD AT 72" A.F.F.
28/25-12	(1) 12" DEEP WIRE SHELF W/ ROD AT 72" A.F.F.
45-12	(4) 12" DEEP WIRE SHELF SPACED EVENLY
45-8WD 45-12WD 45-16WD	(4) 8", 12" OR 16" DEEP OR CORNER PAINTED WOOD SHELVES SPACED EVENLY

UNIT RCP LEGEND:

	PENDANT
	EXHAUST FAN
	RECESSED CAN
	FLUSH-MOUNTED CEILING LIGHT FIXTURE
	WALL SCONCE (UNIT ENTRY)
	VANITY SCONCE (BATH)
	CEILING FAN

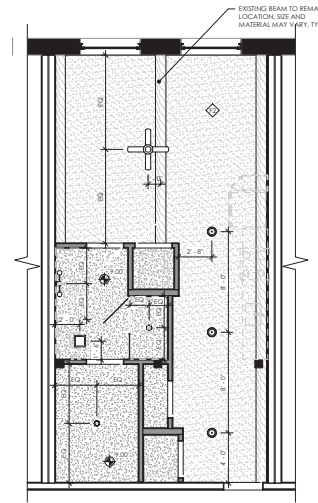
- UNITS AT BASEMENT AND LEVEL 1:
SMOOTH FINISH PAINTED GYPSUM BOARD CEILING; MOISTURE RESISTANT OVER SHOWERS/TUBS
- UNITS AT LEVEL 2: EXISTING WOOD DECKING TO REMAIN EXPOSED. PROVIDE DROPPED CEILING AT BATHROOMS AND CLOSETS; MOISTURE RESISTANT OVER SHOWERS/TUBS

UNIT FLOOR MATERIAL LEGEND:

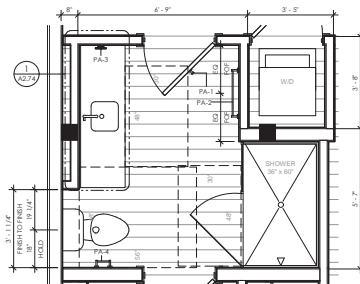
- LVT WOOD-LOOK PLANK FLOORING

UNIT WALL LEGEND:

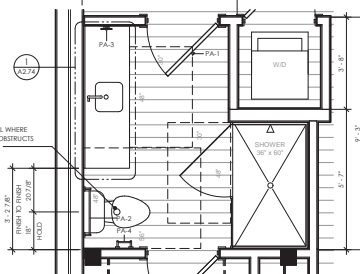
- WALL TO EXTEND FROM FLOOR SURFACE TO UNDERSIDE OF EXISTING DECKING AND/OR BEAMS.
- TYP. WALL HEIGHT 8'-0" EXCEPT AT CLOSET SPACES WITH STORAGE ABOVE. SEE DETAILS



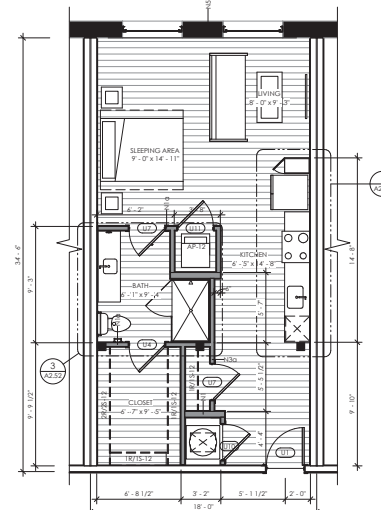
UNIT S2-M RCP
SCALE: 1/4" = 1'-0"



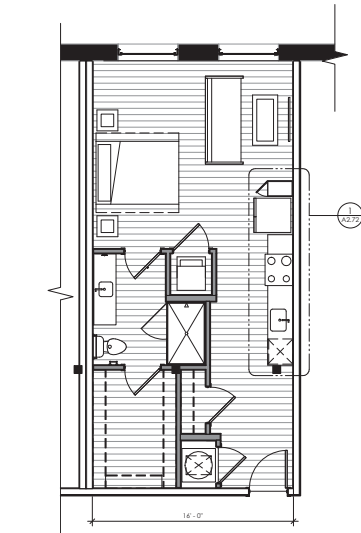
UNIT S2-M ALT BATH PLAN
SCALE: 1/2" = 1'-0"



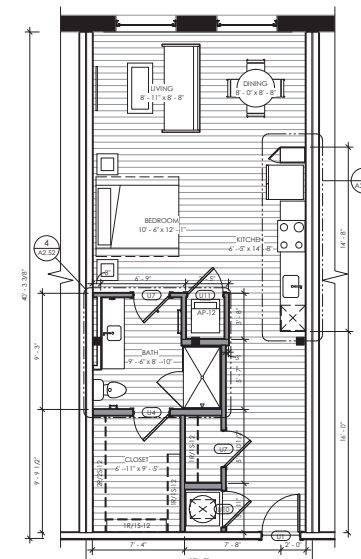
UNIT S2-M BATHROOM PLAN
SCALE: 1/2" = 1'-0"



UNIT S2-M FLOOR PLAN
SCALE: 1/4" = 1'-0"



UNIT S2-M ALT-2 FLOOR PLAN
SCALE: 1/4" = 1'-0"



UNIT S2-M ALT FLOOR PLAN
SCALE: 1/4" = 1'-0"

Revisions		
No.	Description	Date



UNIT KITCHEN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
F.O.C. = FACE OF STUD
F.O.C. = FACE OF CABINET
2. REFER TO ELEVATION FOR CABINET SIZING
3. CABINETS IN WET LOCATIONS TO BE PLYWOOD, NO MDF PERMITTED IN WET LOCATIONS.
4. CABINETS UNDER SINK SHALL BE REMOVABLE WHERE NOTED WITHOUT REMOVING THE COUNTERTOP. PROVIDE MIN. 30" WIDE BY 27" HIGH CLEAR OPENING.
5. EXTEND FLOOR AND WALL FINISHES UNDER ALL REMOVABLE CABINETS
6. IF REMOVABLE CABINETS ARE PROVIDED UNDER SINK, PROVIDE UNDER COUNTER PLUMBING ENCLOSURE WITH REQUIRED KNEE AND TOE CLEARANCES
7. SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR APPLIANCE SPECIFICATIONS.
8. TYPICAL UPPER CABINET IS 12" DEEP, 42" FLAT PANEL WITH LARGE FULL UNLESS OTHERWISE DIMENSIONED
9. PROVIDE 1" COUNTERTOP OVERHANG MEASURED FROM FACE OF LOWER CABINET BOX
10. CABINET FINISH AT ALL EXPOSED FACES TO RECEIVE SAME FINISH AS CABINET FACE
11. SELECTED RANGE SHALL NOT STAND OUT MORE THAN 1" BEYOND COUNTERTOP TO MAINTAIN REQUIRED ACCESSIBLE CLEARANCE.
12. SINK IS TO BE CENTERED IN CABINET BELOW. REFER TO MANUFACTURER CUTOUT TEMPLATE FOR PLACEMENT FROM EDGE OF COUNTERTOP.

UNIT BATHROOM NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
F.O.C. = FACE OF STUD
F.O.C. = FACE OF CABINET
2. REFER TO ELEVATION FOR CABINET SIZING
3. CABINETS UNDER SINK SHALL BE REMOVABLE WHERE NOTED WITHOUT REMOVING THE COUNTERTOP. PROVIDE MIN. 30" WIDE BY 27" HIGH CLEAR OPENING.
4. EXTEND FLOOR AND WALL FINISHES UNDER ALL REMOVABLE CABINETS
5. IF REMOVABLE CABINETS ARE PROVIDED UNDER SINK (TYPE-A UNITS ONLY), PROVIDE UNDER COUNTER PLUMBING ENCLOSURE WITH REQUIRED KNEE AND TOE CLEARANCES
6. ALL APPLIANCES TO BE STAINLESS STEEL STAR PER OWNER SPECIFICATIONS
7. TYPICAL UPPER CABINET IS 12" DEEP, 42" FLAT PANEL WITH LARGE FULL UNLESS OTHERWISE DIMENSIONED
8. CABINETS IN WET LOCATIONS (BASE LOCATIONS BELOW SINKS) TO BE PLYWOOD, NO MDF PERMITTED IN WET LOCATIONS.
9. PROVIDE OFFSET CONTROLS AT TYPE-A BATHRUBS
10. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT WATER CLOSETS, SHOWERS AND TUBS.
11. PROVIDE FLUSH CONTROLS AT OPEN SIDE OF TOILET AT TYPE-A COMPLIANT BATHROOMS.
12. PROVIDE A TOWEL BAR, HAND TOWEL RING, ROBE HOOK AND TOILET PAPER HOLDER AT EACH BATHROOM. VERIFY LOCATION WITH OWNER.
13. PROVIDE TILE AT SHOWER WALLS. SEE INTERIOR DESIGN DRAWINGS FOR FINISH SCHEDULE.

UNIT FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE
2. CENTER ALL VANITY SCISSORS OVER SINKS UNLESS DIMENSIONED OTHERWISE
3. ALL CEILINGS ARE FASTENED TO UNDERSIDE OF FLOOR/ROOF FRAMING UNLESS NOTED OTHERWISE
4. ALL CEILINGS ARE TO BE SMOOTH FINISHED, PAINTED OPTIMUM BOARD UNLESS NOTED OTHERWISE
5. FIXTURES ARE TO BE CENTERED IN SPACE UNLESS DIMENSIONED OTHERWISE
6. SEE ELECTRICAL FOR FIXTURE TYPE
7. GC TO COORDINATE LIGHTING, VENTING, SPRINKLER AND OTHER CEILING - MOUNTED FIXTURE ALIGNMENT WITH OWNER ON EACH UNIT TYPE PRIOR TO CLOSING IN. OWNER REVIEW AND APPROVAL OF ALIGNMENT NEEDED BEFORE PROCEEDING.
8. ALL FIXTURES ARE DIMENSIONED CENTER TO CENTER OR CENTER TO FACE OF STUD.
9. COORDINATE BATH EXHAUST WITH ELECTRICAL AND MECHANICAL DRAWINGS.
10. PROVIDE 9" AT A.F.F. DROPPED OPTIMUM BOARD CEILING AT BATHROOMS AND CLOSETS WHERE CEILING HEIGHTS ARE HIGHER THAN 10'-0".
11. COORDINATE CEILING FAN DOWNROD LENGTH SO FAN BLADES ARE 4" MINIMUM BELOW BEAMS.

UNIT RCP NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD
2. CENTER ALL VANITY SCISSORS OVER SINKS UNLESS DIMENSIONED OTHERWISE
3. ALL CEILINGS ARE FASTENED TO UNDERSIDE OF FLOOR/ROOF FRAMING UNLESS NOTED OTHERWISE
4. ALL CEILINGS ARE TO BE SMOOTH FINISHED, PAINTED OPTIMUM BOARD UNLESS NOTED OTHERWISE
5. FIXTURES ARE TO BE CENTERED IN SPACE UNLESS DIMENSIONED OTHERWISE
6. SEE ELECTRICAL FOR FIXTURE TYPE

UNIT SHELVING LEGEND:

18/15-12	(1) 12" DEEP WIRE SHELF W/ ROD AT 72" A.F.F.
28/25-12	(1) 12" DEEP WIRE SHELF W/ ROD AT 72" A.F.F.
45-12	(1) 12" DEEP WIRE SHELF W/ ROD AT 36" A.F.F.
45-8WD	(4) 12" DEEP WIRE SHELF SPACED EVENLY
45-12WD	(4) 8" 12" OR 14" DEEP OR CORNER PAINTED WOOD SHELVES SPACED EVENLY
45-16WD	(4) 8" 12" OR 14" DEEP OR CORNER PAINTED WOOD SHELVES SPACED EVENLY

UNIT RCP LEGEND:

	PENDANT
	EXHAUST FAN
	RECESSED CAN
	FLUSH-MOUNTED CEILING LIGHT FIXTURE
	WALL SCONCE (UNIT ENTRY)
	VANITY SCONCE FIXTURE
	CEILING FAN

UNITS AT BASEMENT AND LEVEL 1:
SMOOTH FINISH PAINTED OPTIMUM BOARD CEILING; MOISTURE RESISTANT OVER SHOWER/TUBS

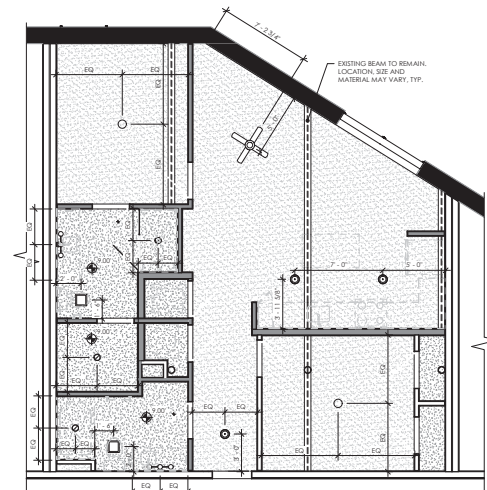
UNITS AT LEVEL 2: EXISTING WOOD DECKING TO LEVEL 2 EXISTING WOOD DECKING; PROVIDE DROPPED CEILING AT BATHROOMS AND CLOSETS; MOISTURE RESISTANT OVER SHOWER/TUBS

UNIT FLOOR MATERIAL LEGEND:

	LVT WOOD-LOOK PLANK FLOORING
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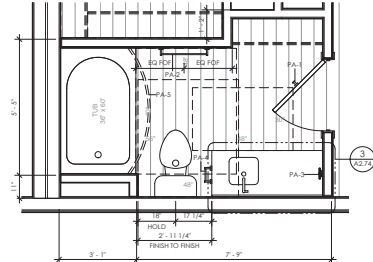
UNIT WALL LEGEND:

	WALL TO EXTEND FROM FLOOR SURFACE TO UNDERSIDE OF EXISTING DECKING AND/OR BEAMS
	TYP. WALL HEIGHT 8'-0" EXCEPT AT CLOSET SPACES WITH STORAGE ABOVE, SEE DETAILS



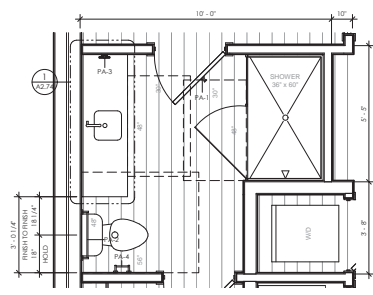
UNIT 2C-M RCP

SCALE: 1/4" = 1'-0"



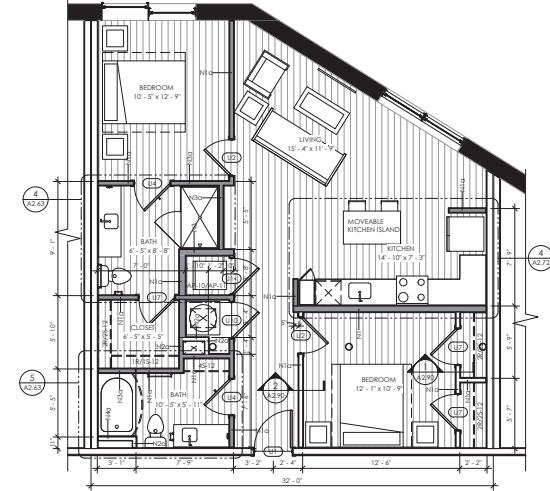
UNIT 2C-M BATH PLAN B

SCALE: 1/2" = 1'-0"



UNIT 2C-M BATH PLAN A

SCALE: 1/2" = 1'-0"

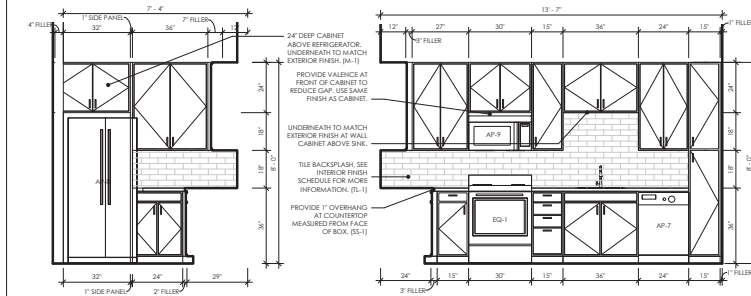


UNIT 2C-M FLOOR PLAN

SCALE: 1/4" = 1'-0"

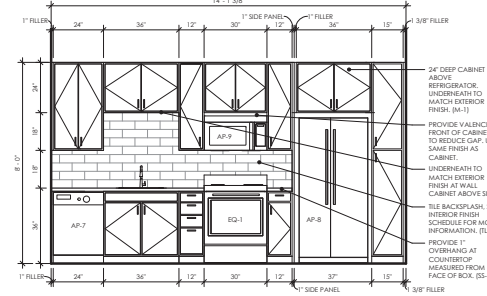
UNIT KITCHEN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
F.O.S. = FACE OF STUD
F.O.C. = FACE OF CABINET
2. REFER TO ELEVATION FOR CABINET SIZING
3. CABINETRY IN WET LOCATIONS TO BE PLYWOOD, NO MDF PERMITTED IN WET LOCATIONS.
4. CABINETRY UNDER SINK SHALL BE REMOVABLE WHERE NOTED WITHOUT REMOVING THE COUNTERTOP. PROVIDE MIN. 30" WIDE BY 27" HIGH CLEAR OPENING.
5. EXTEND FLOOR AND WALL FINISHES UNDER ALL REMOVABLE CABINETRY
6. IF REMOVABLE CABINETRY IS PROVIDED UNDER SINK, PROVIDE UNDER COUNTER PLUMBING ENCLOSURE WITH REQUIRED KNEE AND TOE CLEARANCES
7. SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR APPLIANCE SPECIFICATIONS.
8. TYPICAL UPPER CABINET IS 12" DEEP, 42" FLAT PANEL WITH LARGE PULL UNLESS OTHERWISE DIMENSIONED.
9. PROVIDE 1" COUNTERTOP OVERHANG MEASURED FROM FACE OF LOWER CABINET BOX.
10. CABINET FINISH AT ALL EXPOSED FACES TO RECEIVE SAME FINISH AS CABINET FACE.
11. SELECTED RANGE SHALL NOT STAND OUT MORE THAN 1" BEYOND COUNTERTOP TO MAINTAIN REQUIRED ACCESSIBLE CLEARANCE.
12. SINK IS TO BE CENTERED IN CABINET BELOW. REFER TO MANUFACTURER CUTOUT TEMPLATE FOR PLACEMENT FROM EDGE OF COUNTERTOP.

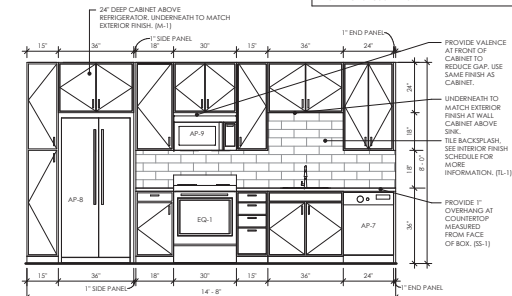


5
A2.72
KITCHEN C - ELEVATION 1
SCALE: 1/2" = 1'-0"

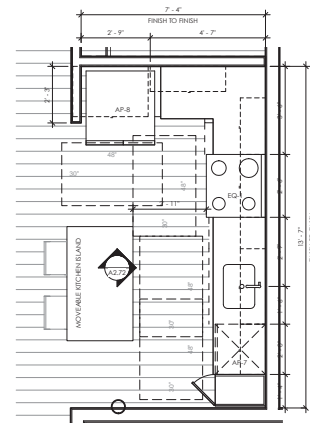
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A2.72
KITCHEN C - ELEVATION 2
SCALE: 1/2" = 1'-0"



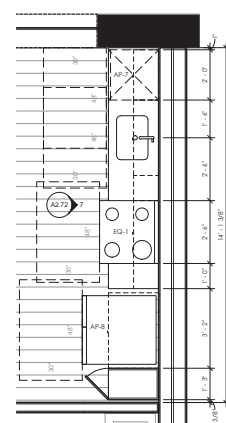
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A2.72
KITCHEN B - ELEVATION 1
SCALE: 1/2" = 1'-0"



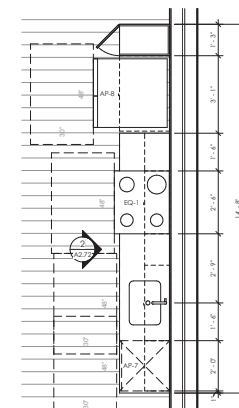
2
A2.72
KITCHEN A - ELEVATION 1
SCALE: 1/2" = 1'-0"



4
A2.72
KITCHEN FLOOR PLAN - TYPE C
SCALE: 1/2" = 1'-0"



3
A2.72
KITCHEN FLOOR PLAN - TYPE B
SCALE: 1/2" = 1'-0"



1
A2.72
KITCHEN FLOOR PLAN - TYPE A
SCALE: 1/2" = 1'-0"

CONSTRUCTION DOCUMENTS

NODA MILL APARTMENTS

THE COMMUNITY BUILDERS



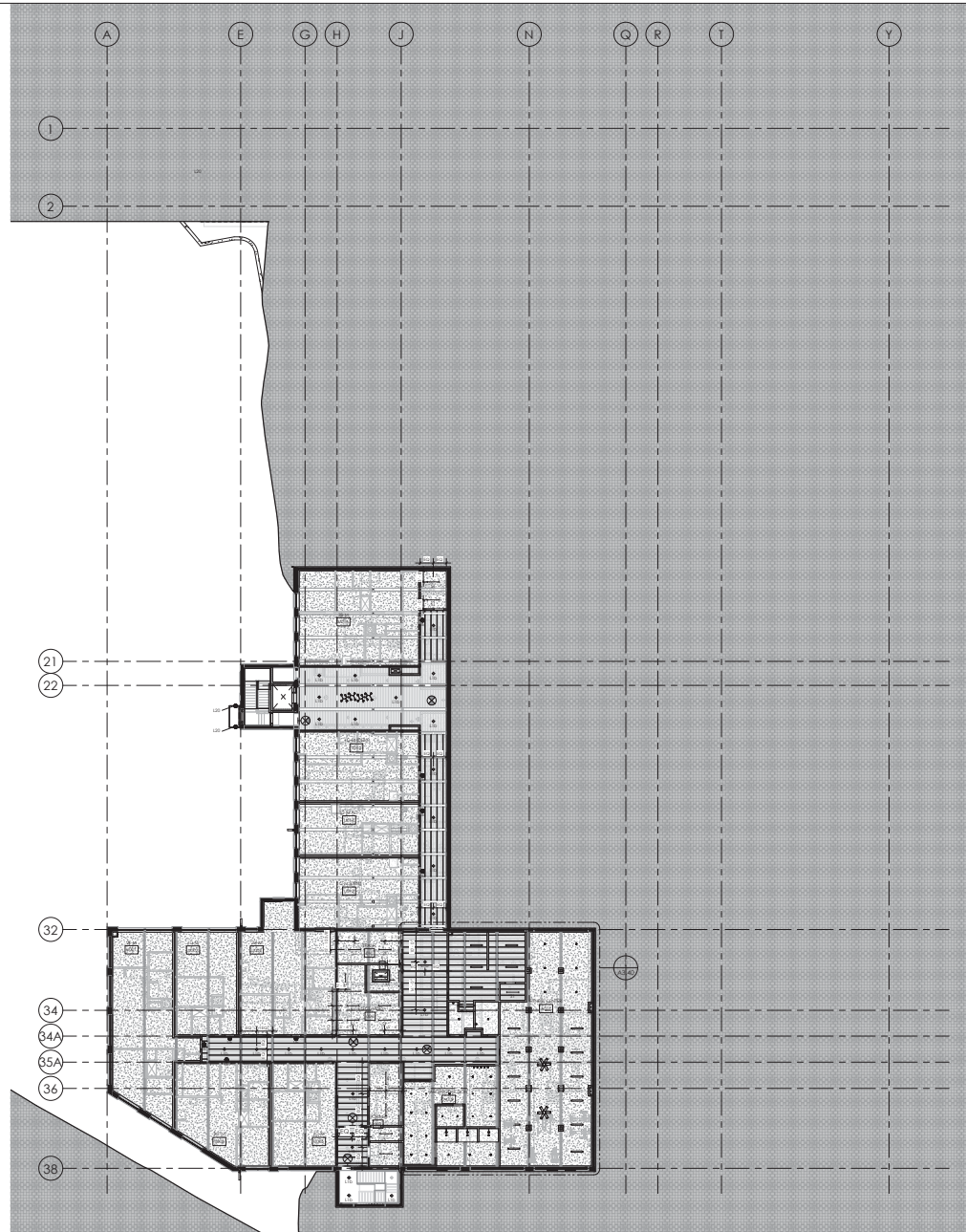
LOCATION # CHARLOTTE, NC
PROJECT # 18FCP330
DATE / 05.11.2020
DRAWN / HS

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Revisions		
No.	Description	Date

UNIT KITCHEN TYPE A, B & C - PLAN AND ELEVATIONS

A2.72



1
A3.00

REFLECTED CEILING PLAN - BASEMENT

SCALE: 1/16" = 1'-0"

GENERAL NOTES

1. ALL AREAS MUST BE FIELD VERIFIED AS REQUIRED, DO NOT SCALE THE DRAWINGS.
2. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING SCHEDULE, SPECIFICATIONS, CIRCUITING AND STAIR LIGHTING.
3. REFER TO MECHANICAL DRAWINGS FOR DIFFUSER LOCATIONS, DUCTWORK LAYOUTS AND SCHEDULES. IF A CONFLICT OCCURS BETWEEN ENGINEERING AND INTERIOR DRAWINGS NOTIFY THE DESIGN ARCHITECT BY A STUDY MARKER.
4. INTERIOR REFLECTED CEILING PLAN DIMENSIONS ARE FROM FINISH FACE OF GYPSUM BOARD WALLS TO CENTER OF LIGHT FIXTURE, UNLESS NOTED OTHERWISE.
5. ALL FIXTURES ARE CENTERED IN SPACE, UNLESS NOTED OTHERWISE.
6. ALL DIMENSIONS ARE PLUMBINGS PROVIDED FOR REFERENCE ONLY. GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
7. GENERAL CONTRACTOR TO SCHEDULE A MEETING WITH DESIGN ARCHITECT AT BUILDING SITE TO COORDINATE ALL FINAL DECORATIVE PENDANT LIGHT MOUNTING HEIGHTS.
8. GENERAL CONTRACTOR TO VERIFY FINAL MOUNTING HEIGHTS OF ALL LIGHT FIXTURES PRIOR TO CUTTING ANY CABLE LENGTHS OR STEPS.
9. SEE UNIT PLANS FOR UNIT ROPS.
10. ALL FIXTURES IN CORRIDOR ARE TO ALIGN WITH ADJACENT TEGRA AVIATION.
11. REFER TO ENGINEERING DRAWINGS FOR LIGHTING SPECIFICATIONS + ADDITIONAL INFORMATION.
12. ALL CORRIDOR LIGHT FIXTURES ARE TO BE ON A MOTION SENSOR. REFER TO ELECTRICAL CENTER CORRIDOR PENDANTS BETWEEN CORRIDOR WALLS AND EXISTING BEAMS, AS SHOWN, TYP.

CORRIDOR RCP LEGEND

- GWB CEILING - SEE PLANS FOR HEIGHTS
- EXISTING WOOD DECOR TO REMAIN

RCP LIGHTING LEGEND

EXTERIOR

- EXTERIOR LED RETAIL SIGNAGE SCIENCE
- EXTERIOR LED UNIT PATIO SCIENCE
- EXTERIOR LED STRING LIGHTS
- EXTERIOR LED RLM SCIENCE
- EXTERIOR LED UP-DOWN SCIENCE
- EXTERIOR LED VAPORTIGHT FIXTURE

CORRIDORS

- TYP. CORRIDOR PENDANT
- TYP. CORRIDOR SCIENCE
- LED PLUCK LIGHT

AMENITY

- SURFACE MOUNTED CAN LIGHT
- AMENITY PENDANT
- AMENITY PENDANT

CONSTRUCTION DOCUMENTS

NODA MILL APARTMENTS

THE COMMUNITY BUILDERS



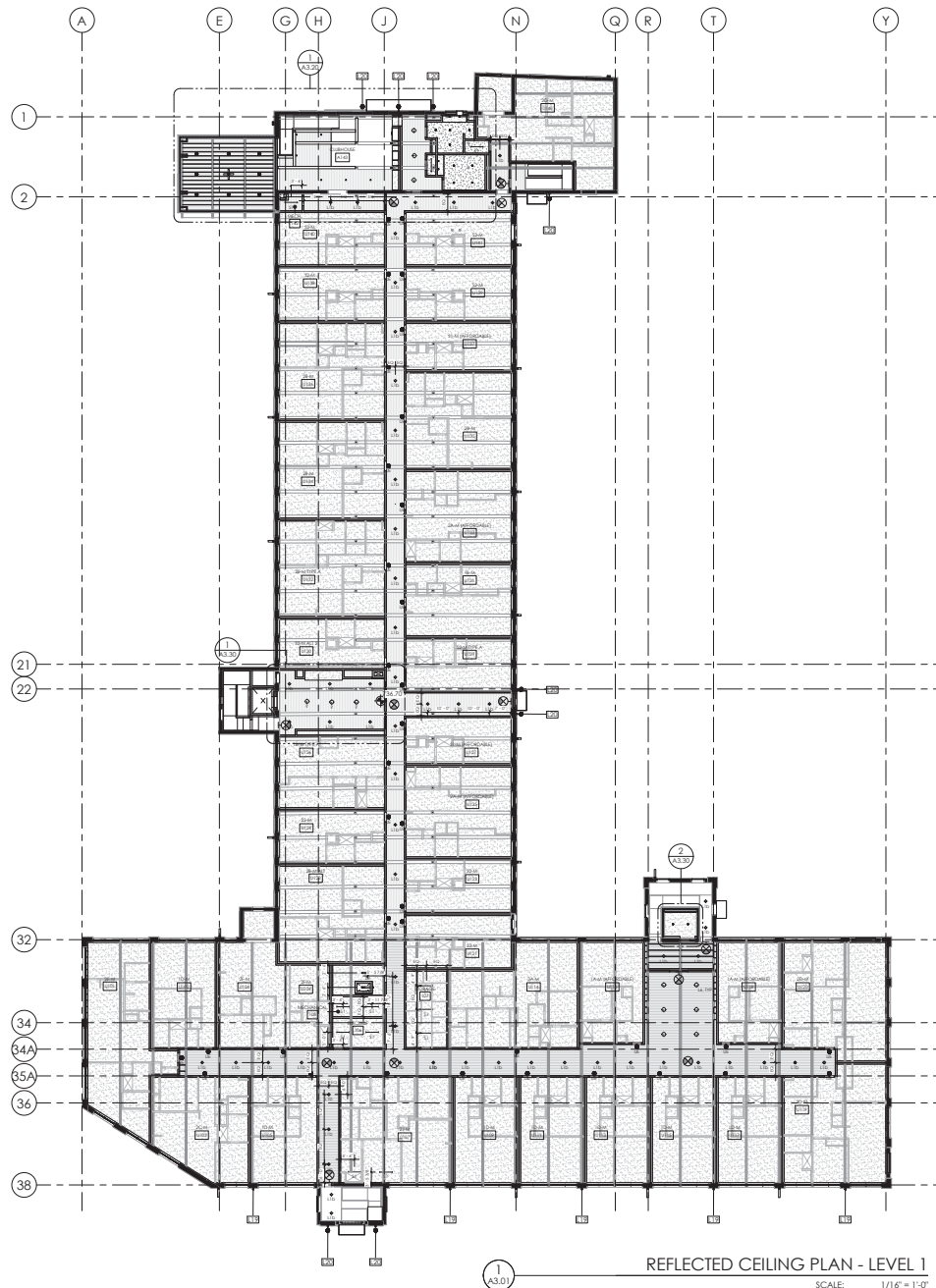
LOCATION / CHARLOTTE, NC
PROJECT # / 18FCP330
DATE / 05.11.2020
DRAWN / Author

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Revisions		
No.	Description	Date

OVERALL RCP - BASEMENT

A3.00



GENERAL NOTES

1. ALL AREAS MUST BE FIELD VERIFIED AS REQUIRED, DO NOT SCALE THE DRAWINGS.
2. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING SCHEDULE, SPECIFICATIONS, CIRCUITING AND STAIR LIGHTING.
3. REFER TO MECHANICAL DRAWINGS FOR DIFFUSER LOCATIONS, DUCTWORK LAYOUTS AND SCHEDULES. IF A CONFLICT OCCURS BETWEEN ENGINEERING AND INTERIOR DRAWINGS NOTIFY THE DESIGN ARCHITECT IN A WRITTEN MANNER.
4. INTERIOR REFLECTED CEILING PLAN DIMENSIONS ARE FROM FINISH FACE OF GYPSUM BOARD WALLS TO CENTER OF LIGHT FIXTURE, UNLESS NOTED OTHERWISE.
5. ALL FIXTURES ARE CENTERED IN SPACE, UNLESS NOTED OTHERWISE.
6. ALL DIMENSIONS ARE PLUMBINGS PROVIDED FOR REFERENCE ONLY. GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
7. GENERAL CONTRACTOR TO SCHEDULE A MEETING WITH DESIGN ARCHITECT AT BUILDING SITE TO COORDINATE ALL FINAL DECORATIVE PENDANT LIGHT MOUNTING HEIGHTS.
8. GENERAL CONTRACTOR TO VERIFY FINAL MOUNTING HEIGHTS OF ALL LIGHT FIXTURES PRIOR TO CUTTING ANY CABLE LENGTHS OR STEMS.
9. SEE UNIT PLANS FOR UNIT ROPS.
10. ALL FIXTURES IN CORRIDOR ARE TO ALIGN WITH ADJACENT TEGRA AVIATION.
11. REFER TO ENGINEERING DRAWINGS FOR LIGHTING SPECIFICATIONS + ADDITIONAL INFORMATION.
12. ALL CORRIDOR LIGHT FIXTURES ARE TO BE ON A MOTION SENSOR. REFER TO ELECTRICAL.
13. CENTER CORRIDOR PENDANTS BETWEEN CORRIDOR WALLS AND EXISTING BEAMS, AS SHOWN, TYP.

CORRIDOR RCP LEGEND

- GWB CEILING - SEE PLANS FOR HEIGHTS
- EXISTING WOOD DECOR TO REMAIN

RCP LIGHTING LEGEND

EXTERIOR

- EXTERIOR LED RETAIL SIGNAGE SCIENCE
- EXTERIOR LED UNIT PATIO SCIENCE
- EXTERIOR LED STRING LIGHTS
- EXTERIOR LED RLM SCIENCE
- EXTERIOR LED UP-DOWN SCIENCE
- EXTERIOR LED VAPORTIGHT FIXTURE

CORRIDORS

- TYP. CORRIDOR PENDANT
- TYP. CORRIDOR SCIENCE
- LED PLUCK LIGHT

AMENITY

- SURFACE MOUNTED CAN LIGHT
- AMENITY PENDANT
- AMENITY PENDANT

CONSTRUCTION DOCUMENTS

NODA MILL APARTMENTS

THE COMMUNITY BUILDERS



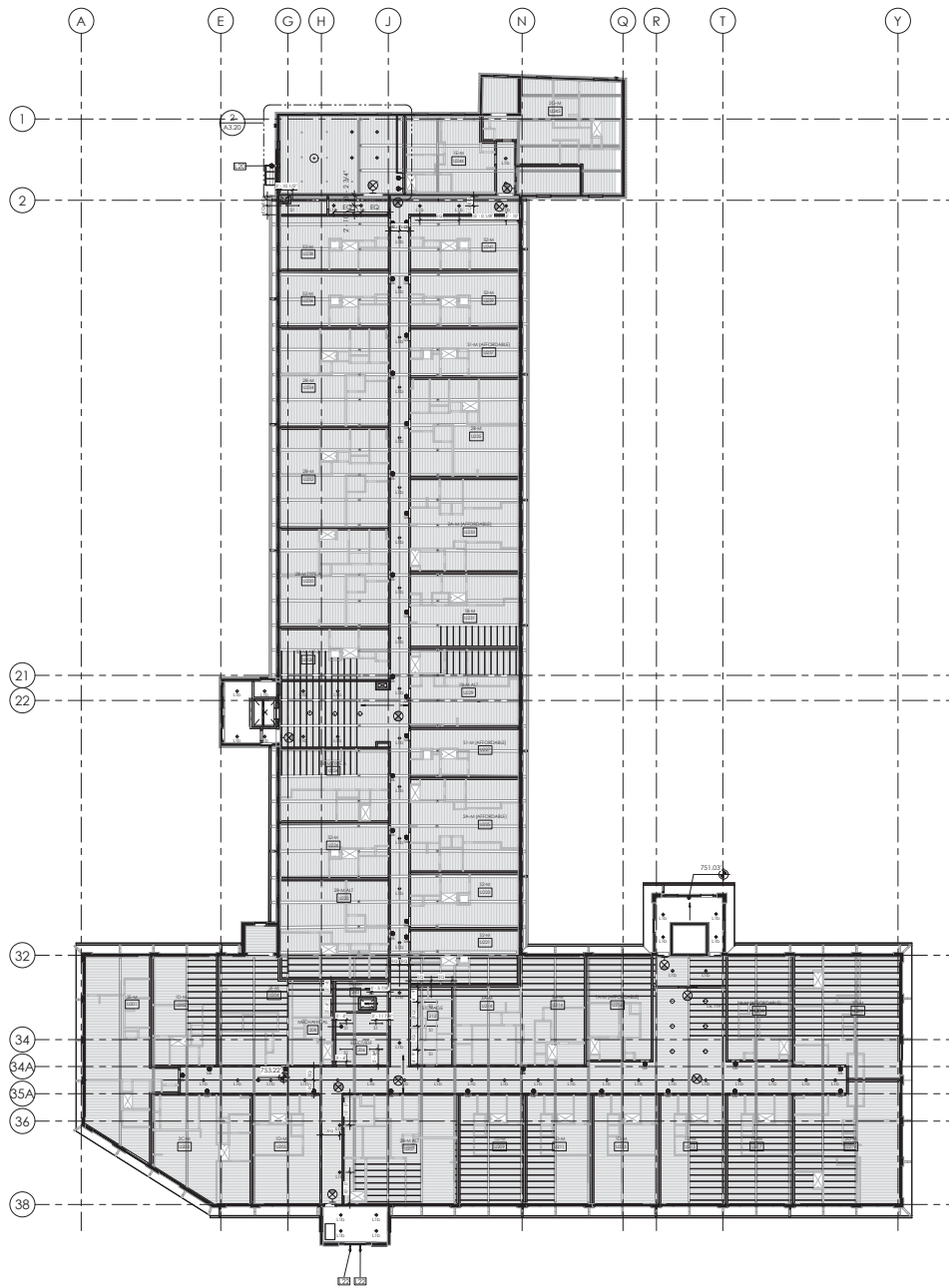
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PROJECT # / 18FCP330
DATE / 09.11.2020
DRAWN / Author

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Revisions		
No.	Description	Date

OVERALL RCP - LEVEL 1

A3.01



1
A3.02

REFLECTED CEILING PLAN - LEVEL 2
SCALE: 1/16" = 1'-0"

GENERAL NOTES

1. ALL AREAS MUST BE FIELD VERIFIED AS REQUIRED, DO NOT SCALE THE DRAWINGS.
2. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING SCHEDULE, SPECIFICATIONS, CIRCUITING AND STAIR LIGHTING.
3. REFER TO MECHANICAL DRAWINGS FOR DIFFUSER LOCATIONS, DUCTWORK LAYOUTS AND SCHEDULES. IF A CONFLICT OCCURS BETWEEN ENGINEERING AND INTERIOR DRAWINGS NOTIFY THE DESIGN ARCHITECT IN A TIMELY MANNER.
4. INTERIOR REFLECTED CEILING PLAN DIMENSIONS ARE FROM FINISH FACE OF GYPSUM BOARD WALLS TO CENTER OF LIGHT FIXTURE, UNLESS NOTED OTHERWISE.
5. ALL FIXTURES ARE CENTERED IN SPACE, UNLESS NOTED OTHERWISE.
6. ALL DIMENSIONS ARE PLUMBINGS PROVIDED FOR REFERENCE ONLY. GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
7. GENERAL CONTRACTOR TO SCHEDULE A MEETING WITH DESIGN ARCHITECT AT BUILDING SITE TO COORDINATE ALL FINAL DECORATIVE PENDANT LIGHT MOUNTING HEIGHTS.
8. GENERAL CONTRACTOR TO VERIFY FINAL MOUNTING HEIGHTS OF ALL LIGHT FIXTURES PRIOR TO CUTTING ANY CABLE LENGTHS OR STEPS.
9. SEE UNIT PLANS FOR UNIT RCPs.
10. ALL FIXTURES IN CORRIDOR ARE TO ALIGN WITH ADJACENT EQUAL AVAILABILITY.
11. REFER TO ENGINEERING DRAWINGS FOR LIGHTING SPECIFICATIONS + ADDITIONAL INFORMATION.
12. ALL CORRIDOR LIGHT FIXTURES ARE TO BE ON A MOTION SENSOR. REFER TO ELECTRICAL CENTER CORRIDOR PENDANTS BETWEEN CORRIDOR WALLS AND EXISTING BEAMS, AS SHOWN, TYP.

CORRIDOR RCP LEGEND

- GWB CEILING - SEE PLANS FOR HEIGHTS
- EXISTING WOOD DECOR TO REMAIN

RCP LIGHTING LEGEND

- EXTERIOR**
- EXTERIOR LED RETAIL SIGNAGE SCIENCE
 - EXTERIOR LED UNIT PATIO SCIENCE
 - EXTERIOR LED STRING LIGHTS
 - EXTERIOR LED RLM SCIENCE
 - EXTERIOR LED UP-DOWN SCIENCE
 - EXTERIOR LED VAPORTIGHT FIXTURE
- CORRIDOR**
- TYP. CORRIDOR PENDANT
 - TYP. CORRIDOR SCIENCE
 - LED PLUCK LIGHT
- AMENITY**
- SURFACE MOUNTED CAN LIGHT
 - AMENITY PENDANT
 - AMENITY PENDANT

CONSTRUCTION DOCUMENTS

NODA MILL APARTMENTS

THE COMMUNITY BUILDERS

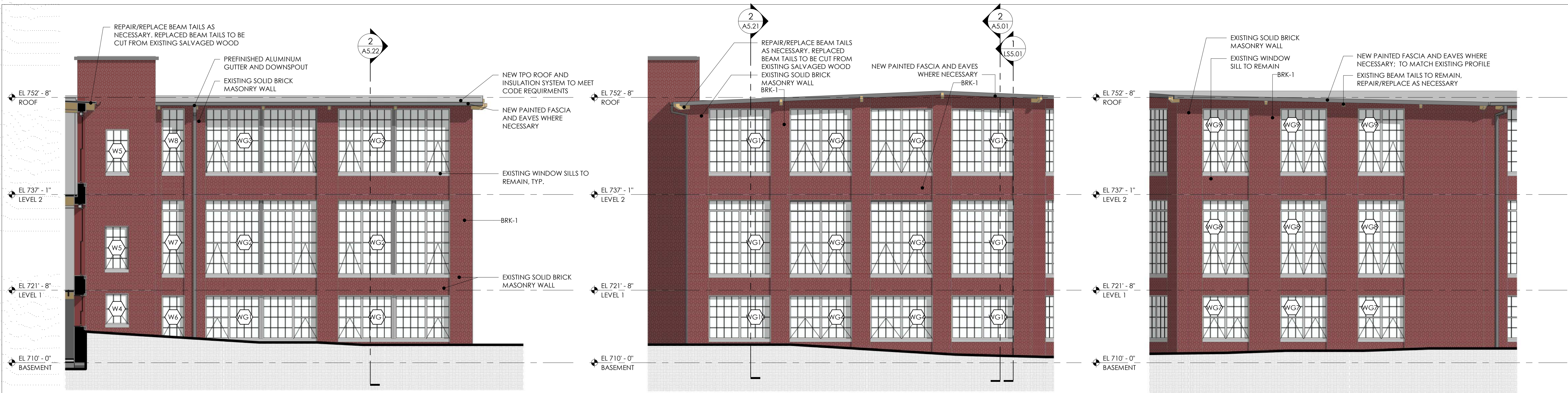


LOCATION / CHARLOTTE, NC
PROJECT # / 18FCP330
DATE / 09.11.2020
DRAWN / Author

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Revisions		
No.	Description	Date

OVERALL RCP - LEVEL 2



- GENERAL NOTES**
1. TERRACE RAILING TO BE PAINTED STEEL, FINISH COLOR TO BE APPROVED BY OWNER AND ARCHITECT.
 2. WINDOW TRIM TO MATCH COLOR OF SURROUNDING PANEL.
 3. PROVIDE VERTICAL CONTROL JOINTS AT NEW MASONRY VENEER AT CHANGES IN WALL HEIGHT, NEAR CORNERS ON RETURN WALL 2'-0" BACK FROM FACE OF MAIN VENEER, AT INSIDE CORNER OF SETBACKS, AT OFFSETS, AND ALIGNED WITH VERTICAL EDGES OF WINDOWS. PROVIDE HORIZONTAL CONTROL JOINTS AT LOOSE LINTEL, EXTEND IN 1/4" PAST EDGE OF LINTEL.
 4. BRICK CONTROL JOINTS ARE TO BE FREE OF MORTAR AND PROVIDED WITH BACKER ROD AND SEALANT.
 5. REFERENCE A6.20, A6.22, AND A6.32 FOR ALL HEAD, JAMB, SILL DETAILS.
 6. SIGNAGE SHOWN FOR LOCATION PURPOSES ONLY. FINAL SIGNAGE TO BE DETERMINED.
 7. REPOINT EXISTING BRICK MORTAR AS NEEDED.

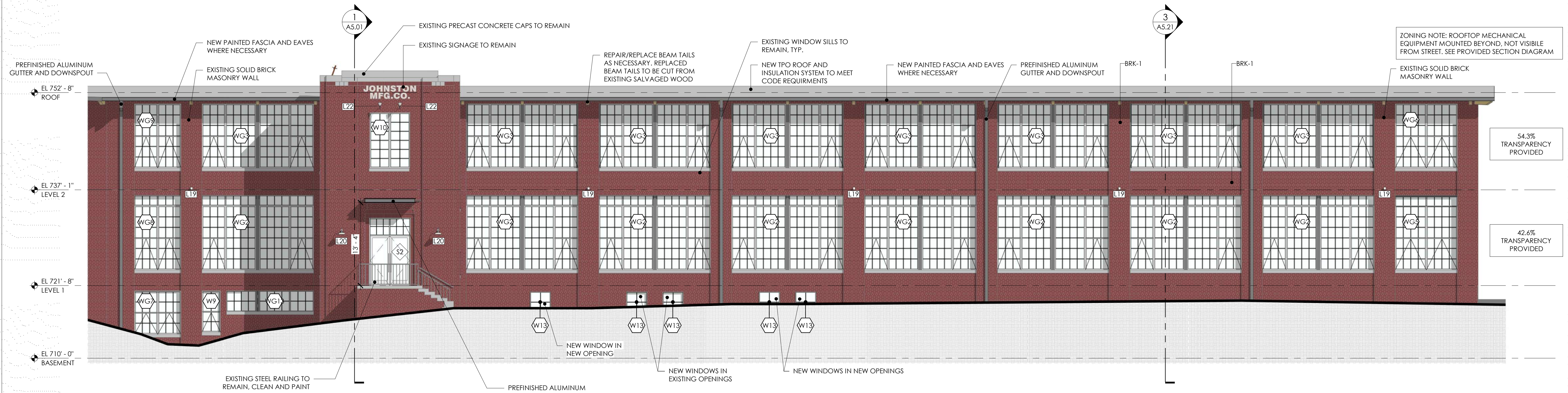
- MATERIAL LEGEND:**
- BRK-1: EXISTING BRICK TO REMAIN
 - BRK-2: NEW MODULAR BRICK INFILL
 - MTL-1: PERFORATED ALUMINUM METAL PANELS
 - R-1: MESH STYLE METAL RAILING
 - LA: UP-DOWN NARROW BEAM LED LIGHT FIXTURE
 - LB: RLM LED WALL SCONCE
 - LC: GOOSENECK LED WALL SCONCE

- ZONING REQUIREMENTS**
- ZONING: TOD-CC
- PERMITTED USES: COMMERCIAL, RESIDENTIAL, OR INSTITUTIONAL
- MAXIMUM BUILDING HEIGHT:**
- ALLOWED: 90'
PROPOSED: 44'-6"
- MAXIMUM BUILDING LENGTH ALONG A FRONTAGE:**
- ALLOWED: 400'
PROVIDED: 36TH ST. - 240'
- EXTERIOR FACADE:**
1. WINDOWS AND DOORS PROVIDE FOR AT LEAST 60%/25% (RESIDENTIAL) AT N. DAVIDSON STREET GROUND FLOOR; 25% AT ALL UPPER FLOORS.
 2. THE MAXIMUM CONTIGUOUS AREA WITHOUT WINDOWS OR DOORS ON ANY FLOOR SHALL NOT EXCEED MAX. 20 FT. IN HEIGHT AND MAX. 20 FT. IN LENGTH.
 3. FACADES OVER 150 FEET IN LENGTH SHALL INCORPORATE PROJECTIONS OR RECESSES A MINIMUM OF 2 FEET IN DEPTH.
 4. PROMINENT ENTRIES WILL BE LOCATED EVERY 75' MAX. ON N. DAVIDSON (MAIN STREET).

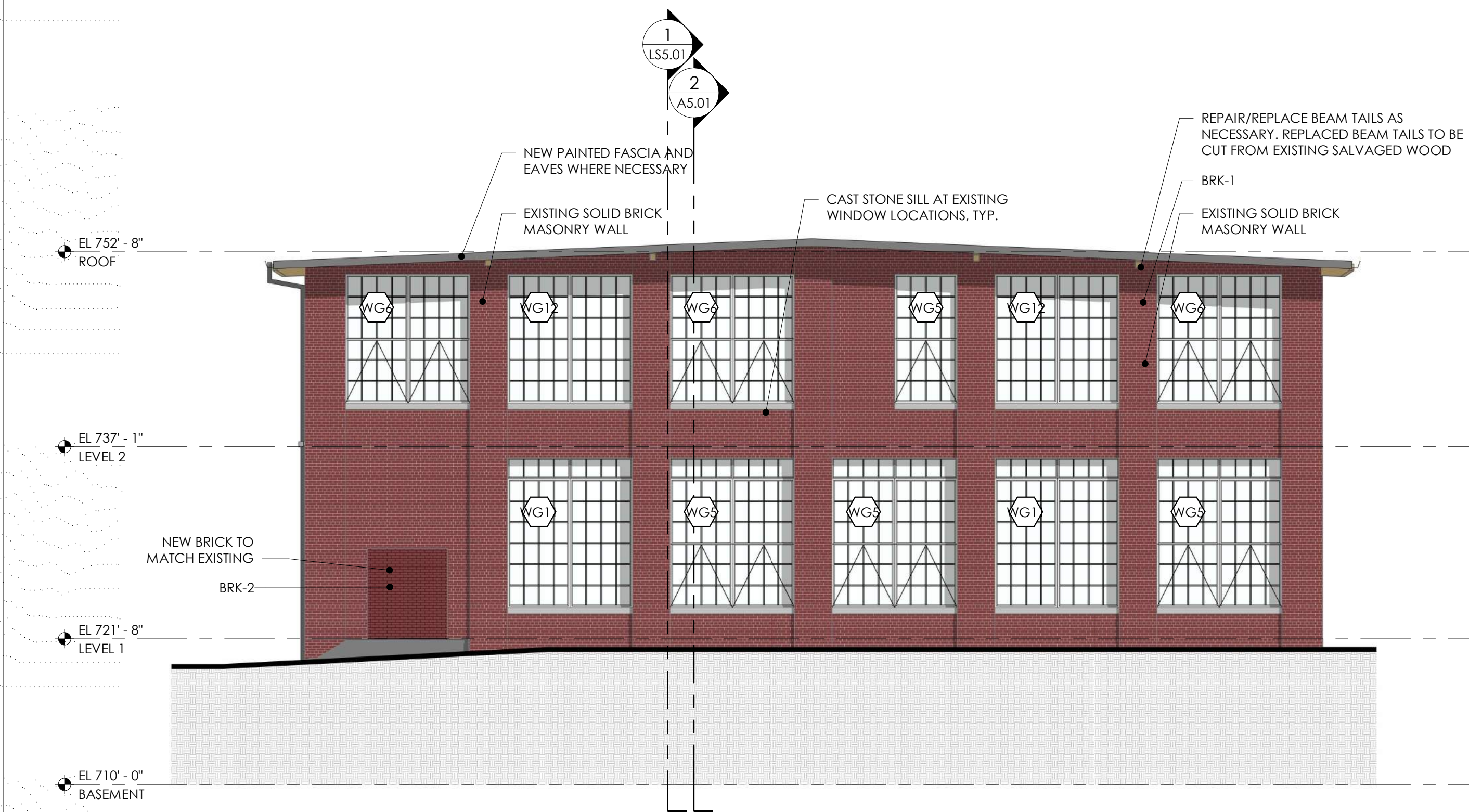
6 ELEVATION - SOUTH WING - NORTH 2
SCALE: 1/8" = 1'-0"

5 ELEVATION - SOUTH WING - WEST
SCALE: 1/8" = 1'-0"

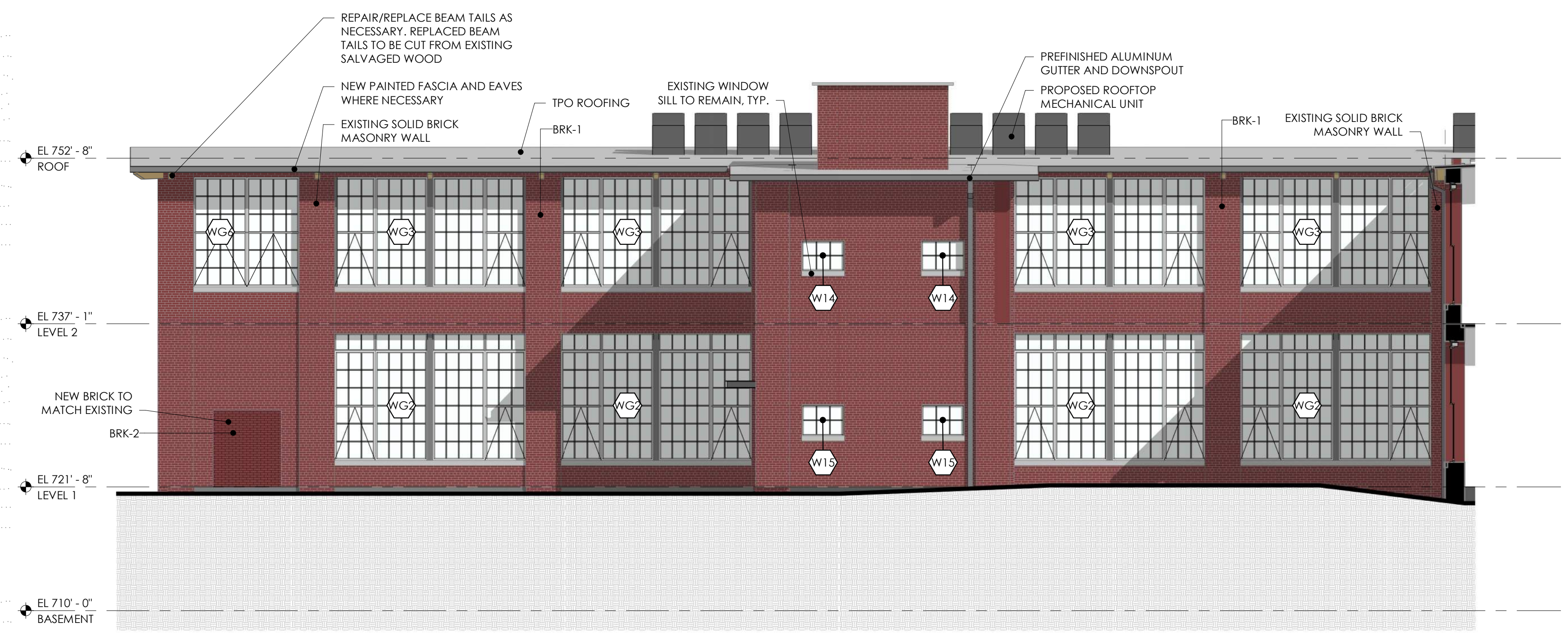
4 ELEVATION - SOUTH WING - SOUTHWEST
SCALE: 1/8" = 1'-0"



3 ELEVATION - SOUTH WING - SOUTH
SCALE: 1/8" = 1'-0"



2 ELEVATION - SOUTH WING - EAST
SCALE: 1/8" = 1'-0"



1 ELEVATION - SOUTH WING - NORTH 1
SCALE: 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS

NODA MILL APARTMENTS

THE COMMUNITY BUILDERS

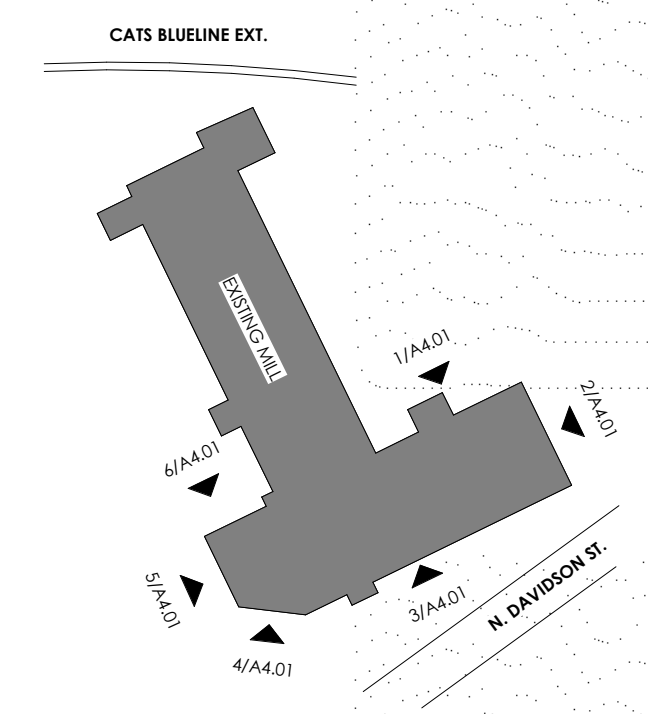


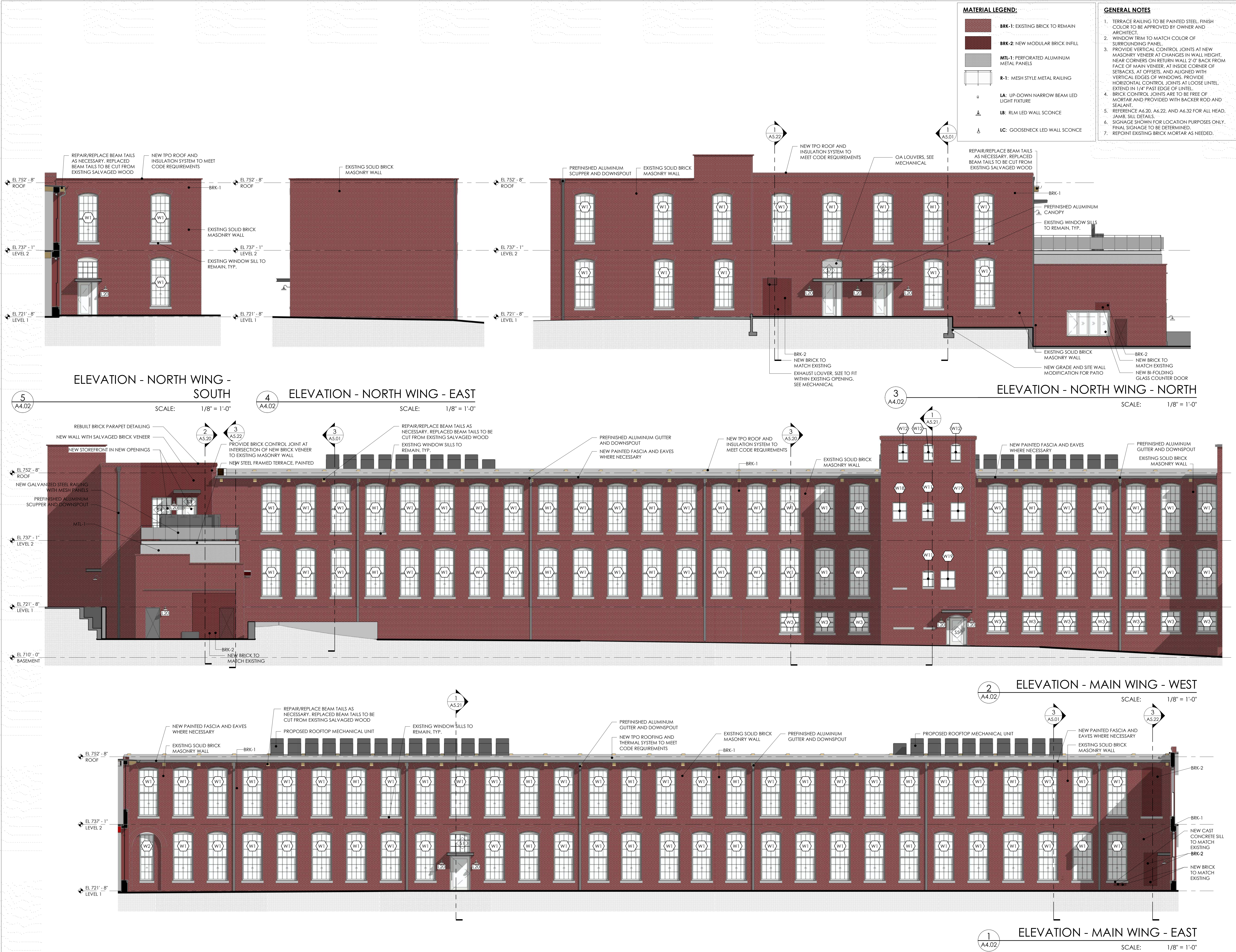
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PROJECT # / 19FCP330
DATE / 09.11.2020
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BUILDING ELEVATIONS - SOUTH WING





BB+M
ARCHITECTURE

BEACHAM BUNCE + MANLEY ARCHITECTURE PLLC

1435 WEST MOREHEAD STREET
SUITE 160
CHARLOTTE, NC 28208
704.334.1716

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CONSTRUCTION DOCUMENTS

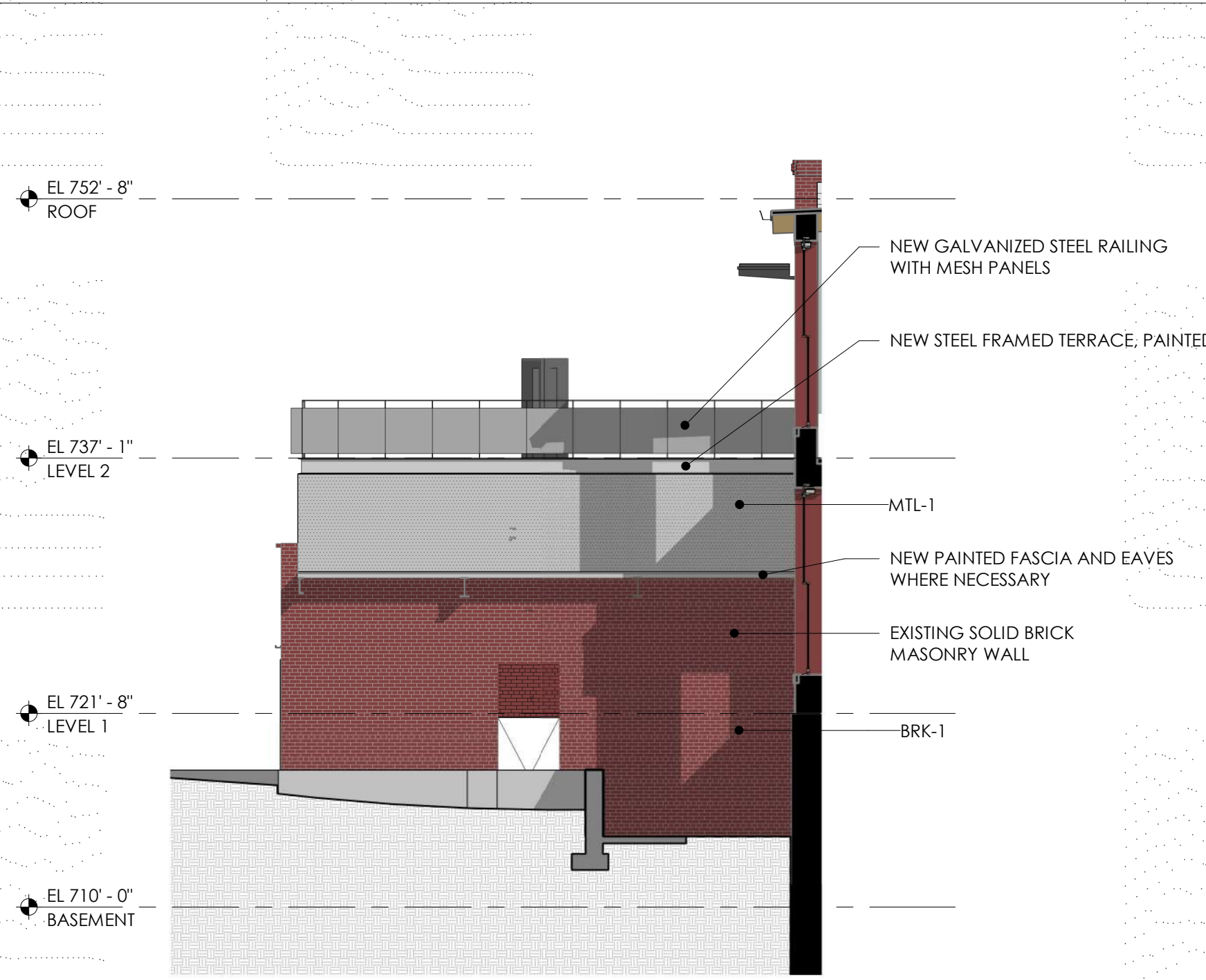
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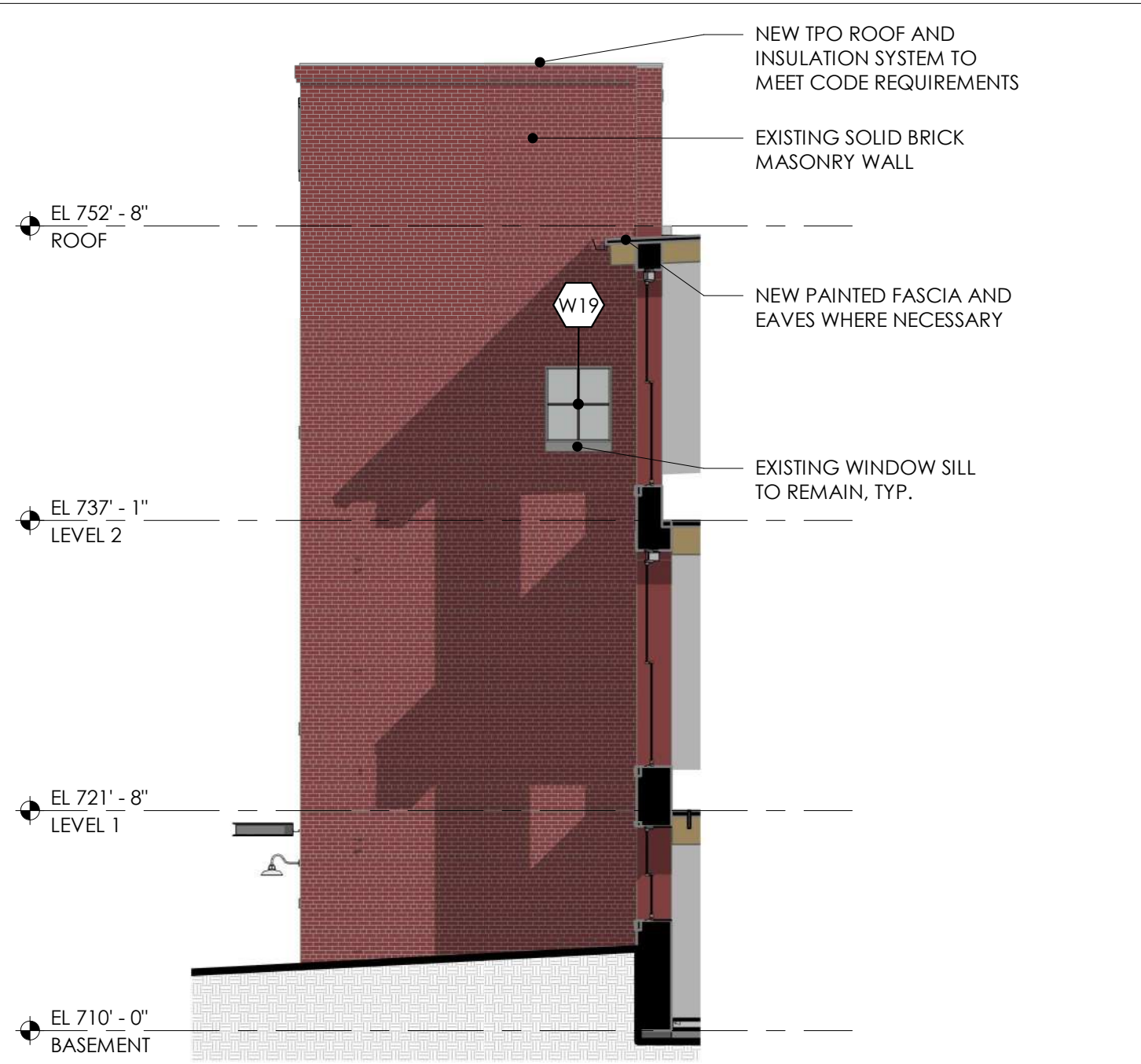
ELEVATION - BOILER ROOM - SOUTH

SCALE: 1/8" = 1'-0"



ELEVATION - MAIN TOWER - NORTH

SCALE: 1/8" = 1'-0"



ELEVATION - MAIN TOWER - SOUTH

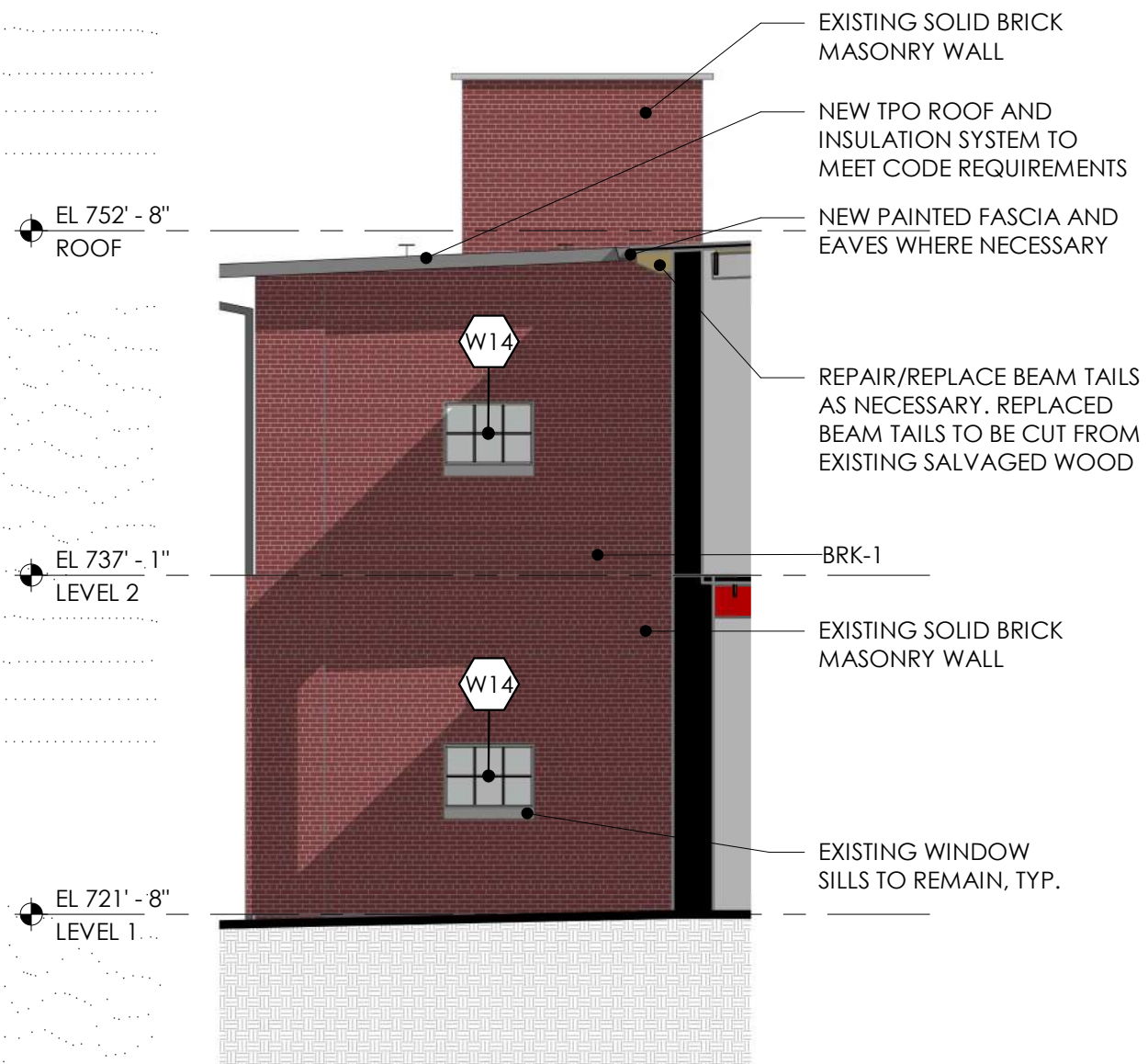
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. TERRACE RAILING TO BE PAINTED STEEL, FINISH COLOR TO BE APPROVED BY OWNER AND ARCHITECT.
2. WINDOW TRIM TO MATCH COLOR OF SURROUNDING PANEL.
3. PROVIDE VERTICAL CONTROL JOINTS AT NEW MASONRY VENEER AT CHANGES IN WALL HEIGHT, NEAR CORNERS ON RETURN WALL 2'-0" BACK FROM FACE OF MAIN VENEER, AT INSIDE CORNER OF SETBACKS, AT OFFSETS, AND ALIGNED WITH VERTICAL EDGES OF WINDOWS, PROVIDE HORIZONTAL CONTROL JOINTS AT LOOSE LINTEL, EXTEND IN 1/4" PAST EDGE OF LINTEL.
4. BRICK CONTROL JOINTS ARE TO BE FREE OF MORTAR AND PROVIDED WITH BACKER ROD AND SEALANT.
5. REFERENCE A6.20, A6.22, AND A6.32 FOR ALL HEAD, JAMB, SILL DETAILS.
6. SIGNAGE SHOWN FOR LOCATION PURPOSES ONLY. FINAL SIGNAGE TO BE DETERMINED.
7. REPOINT EXISTING BRICK MORTAR AS NEEDED.

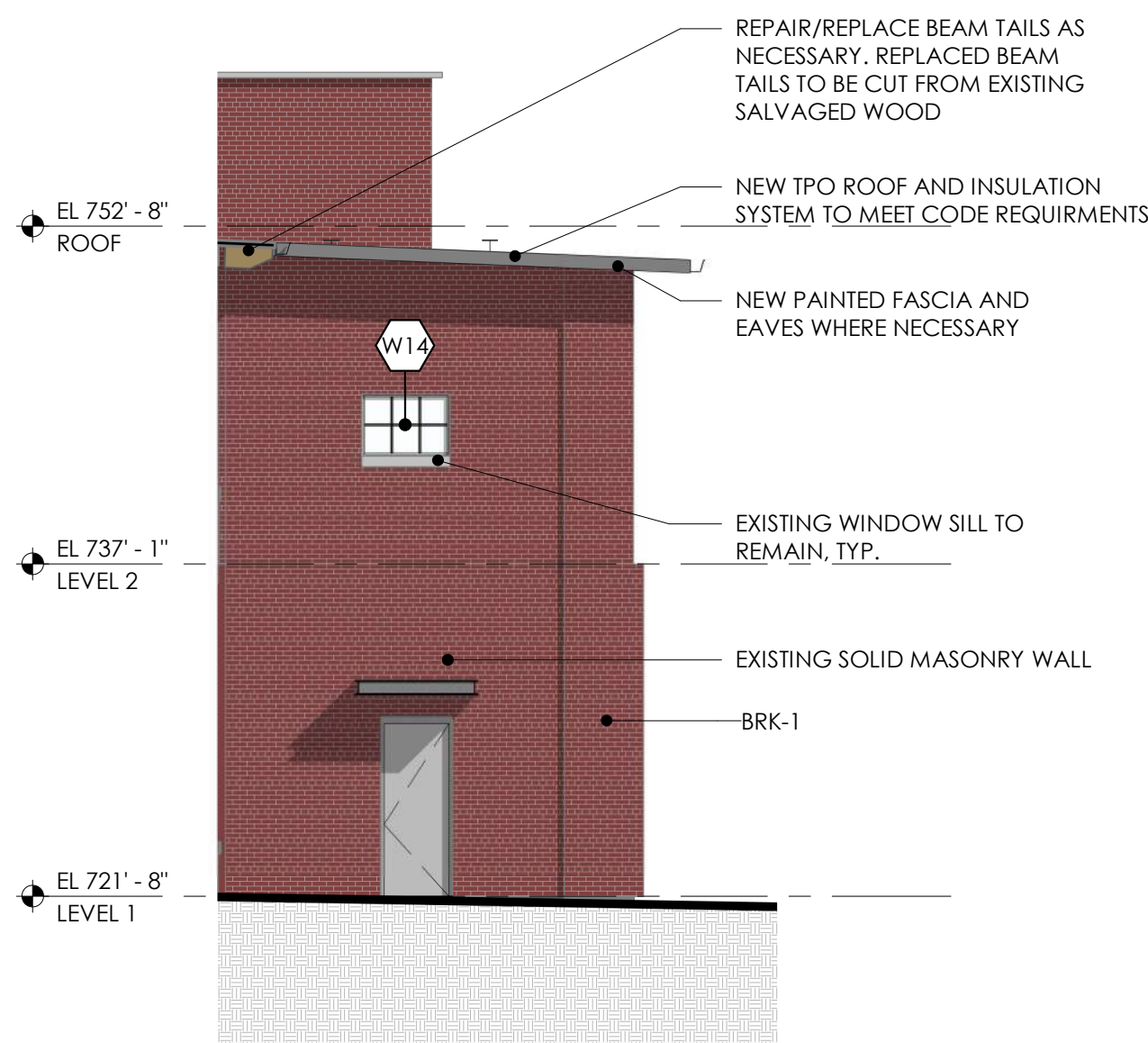
MATERIAL LEGEND:

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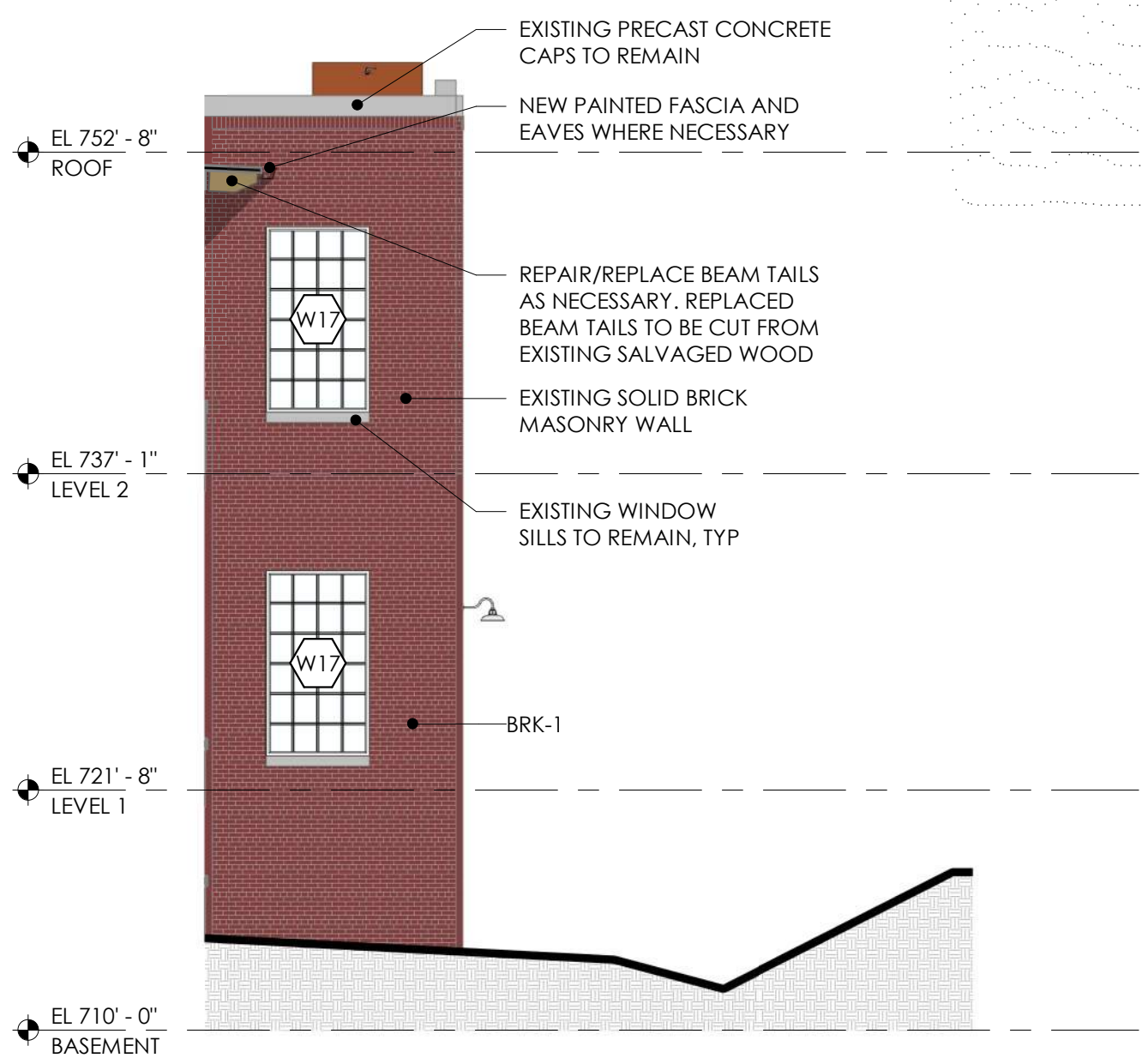
ELEVATION - EAST TOWER - WEST

SCALE: 1/8" = 1'-0"



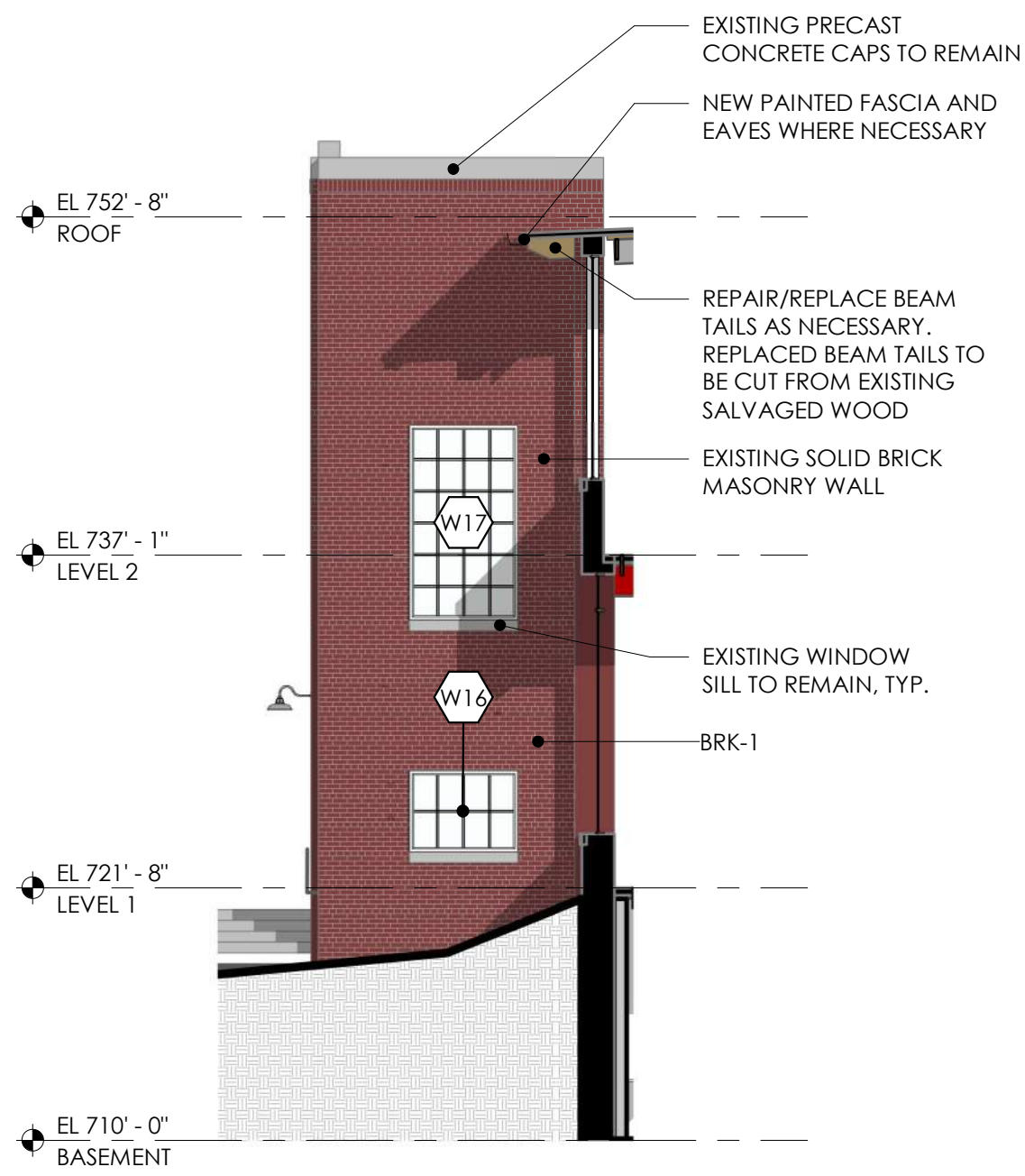
ELEVATION - EAST TOWER - EAST

SCALE: 1/8" = 1'-0"



ELEVATION - SOUTH TOWER - WEST

SCALE: 1/8" = 1'-0"



ELEVATION - SOUTH TOWER - EAST

SCALE: 1/8" = 1'-0"

CONSTRUCTION
DOCUMENTS

NODA MILL APARTMENTS

THE COMMUNITY
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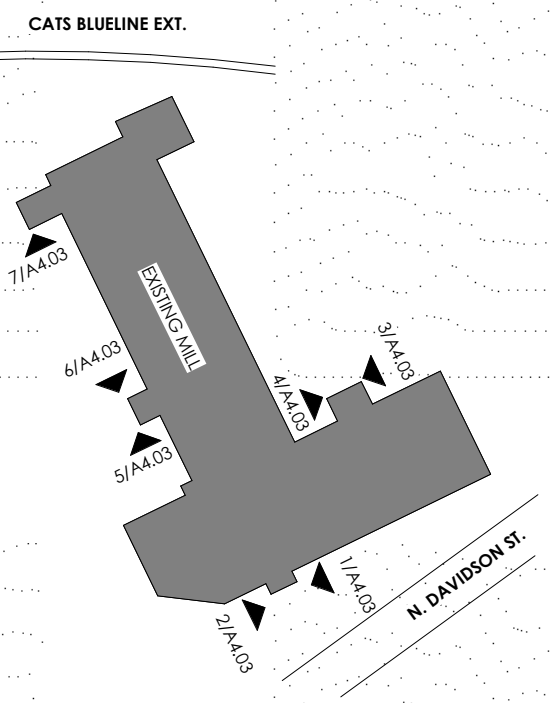


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BUILDING ELEVATIONS -
TOWERS



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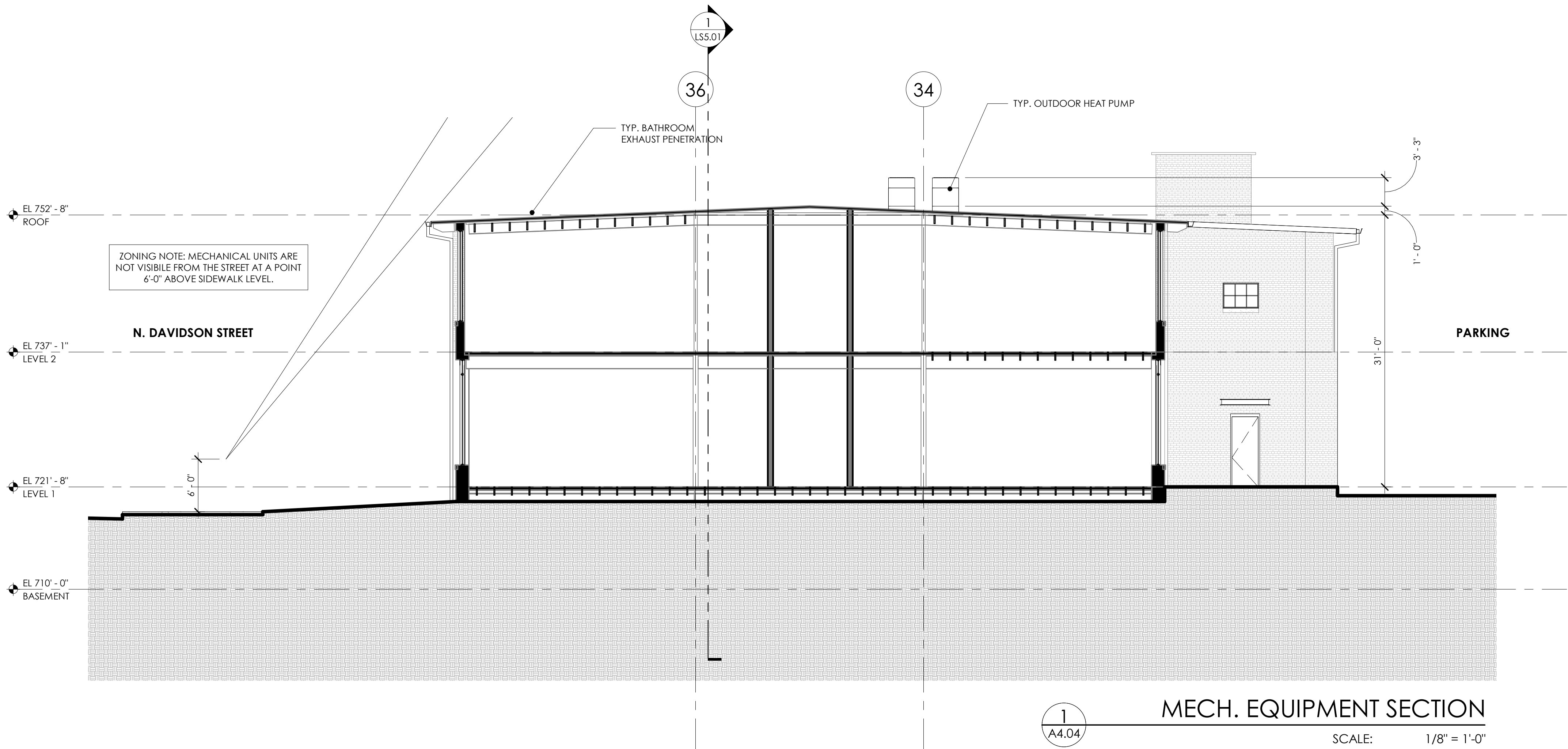


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MECHANICAL
EQUIPMENT VISIBILITY
DIAGRAMS



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SITE ELEVATIONS



2
A4.10

SITE ELEVATION - NORTH DAVIDSON

SCALE: 1/16" = 1'-0"



1
A4.10

SITE ELEVATION - 36TH STREET

SCALE: 1/16" = 1'-0"

**CONSTRUCTION
DOCUMENTS**

NODA MILL APARTMENTS

THE COMMUNITY
BUILDERS



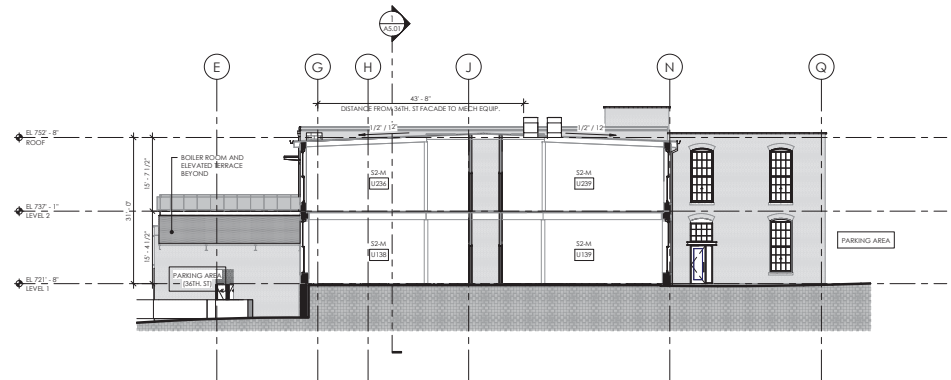
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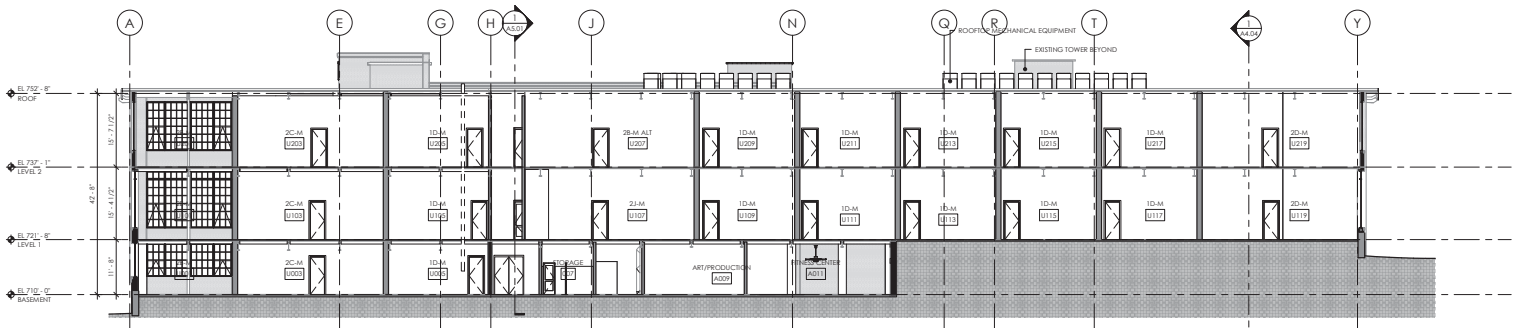
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No.	Description	Date

BUILDING SECTIONS

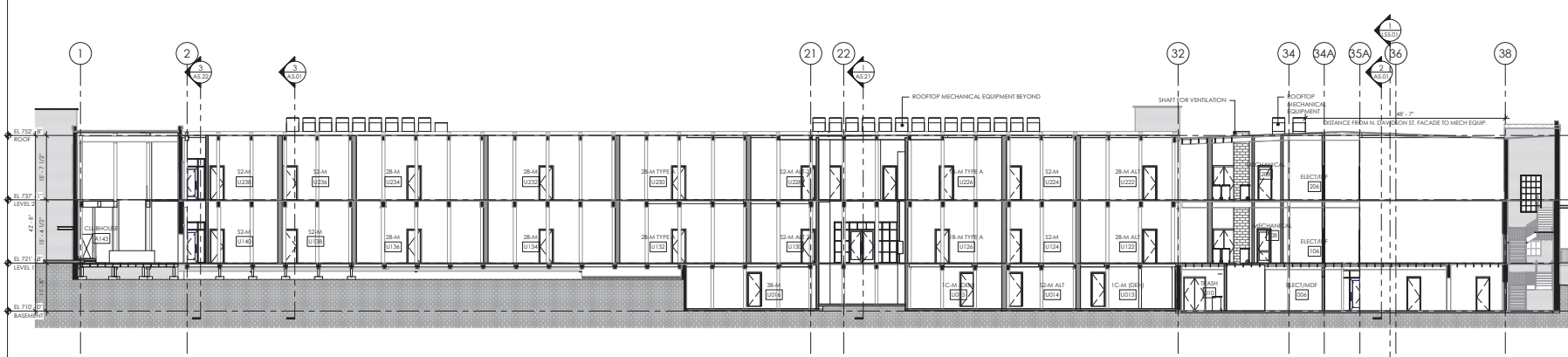
A5.01



BUILDING SECTION C
SCALE: 3/32" = 1'-0"



BUILDING SECTION B
SCALE: 3/32" = 1'-0"



BUILDING SECTION A
SCALE: 3/32" = 1'-0"

**CONSTRUCTION
DOCUMENTS**

NODA MILL APARTMENTS

THE COMMUNITY
BUILDERS



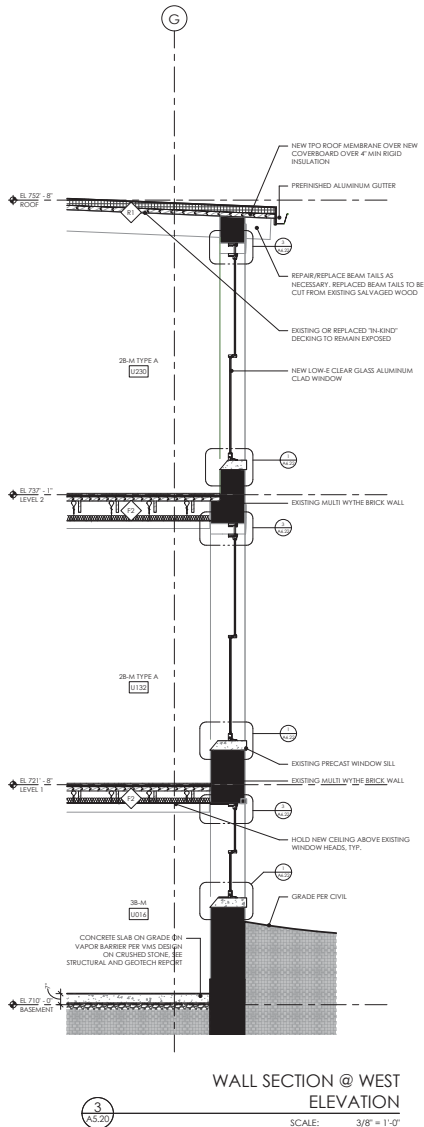
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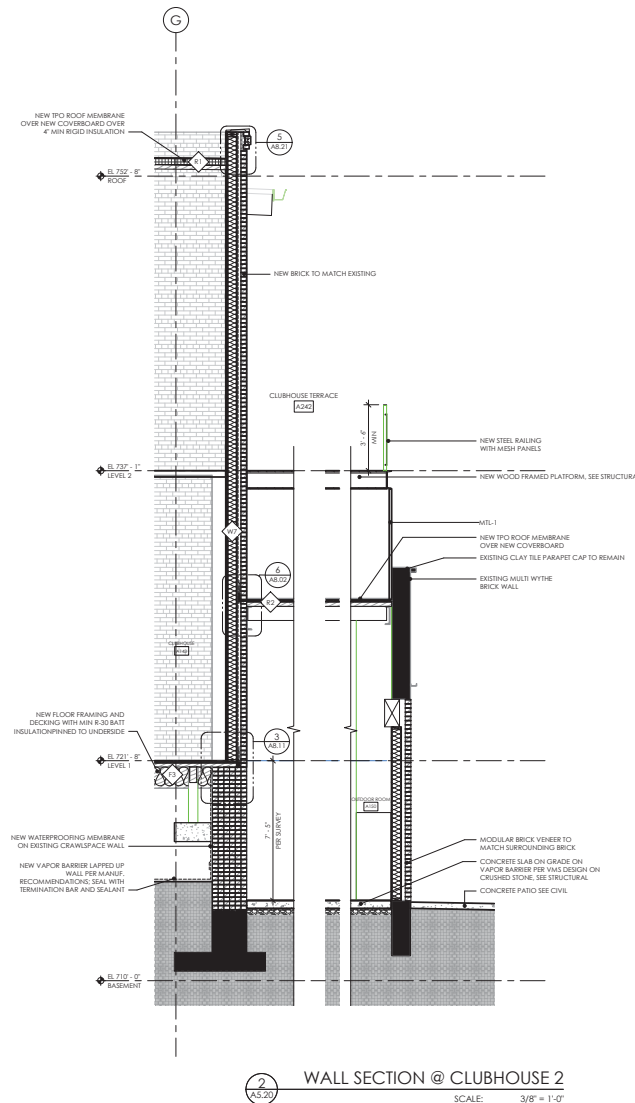
WALL SECTIONS

A5.20



**WALL SECTION @ WEST
ELEVATION**

SCALE: 3/8" = 1'-0"



WALL SECTION @ CLUBHOUSE 2

SCALE: 3/8" = 1'-0"

**CONSTRUCTION
DOCUMENTS**

NODA MILL APARTMENTS

THE COMMUNITY
BUILDERS



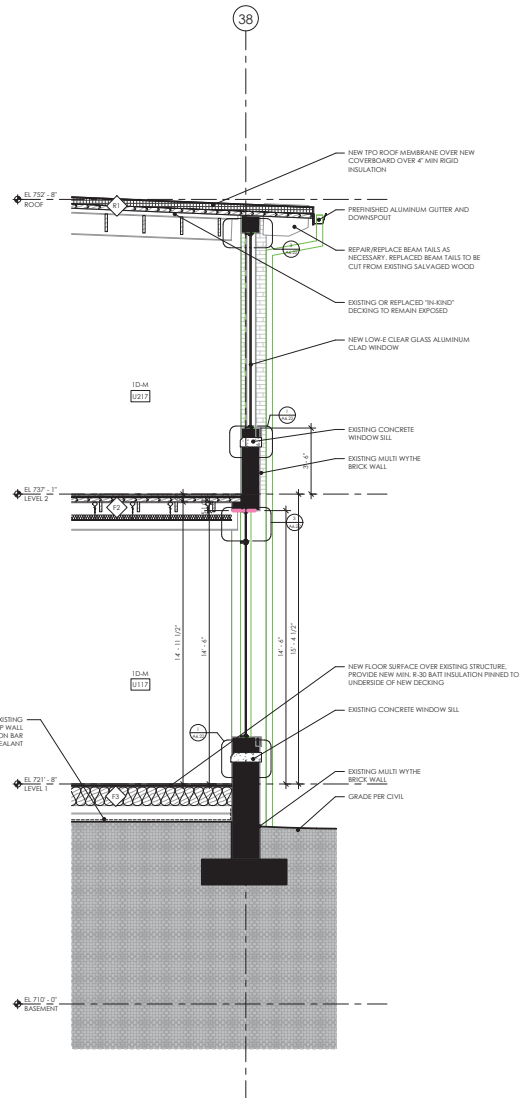
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WALL SECTIONS

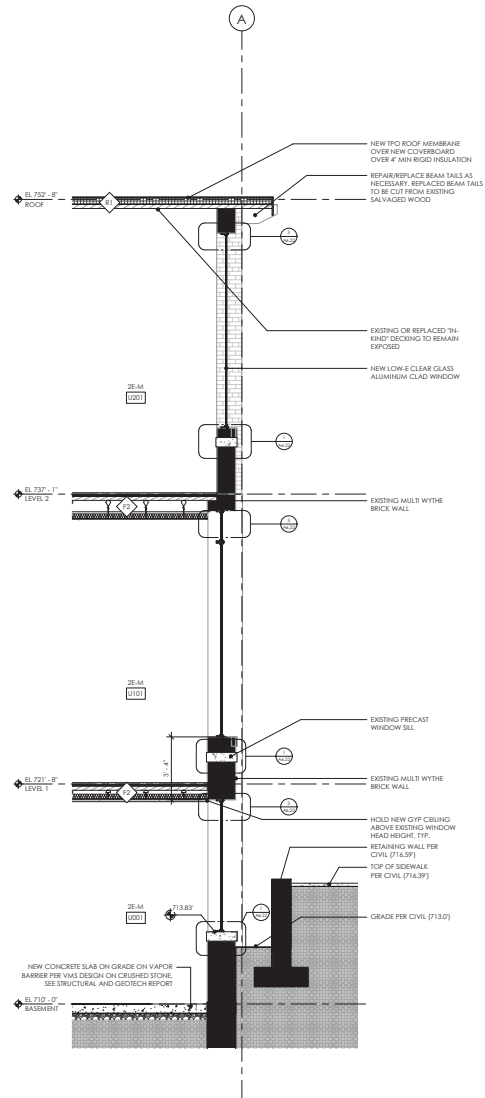
A5.21



WALL SECTION @ SOUTH
ELEVATION

3
A5.21

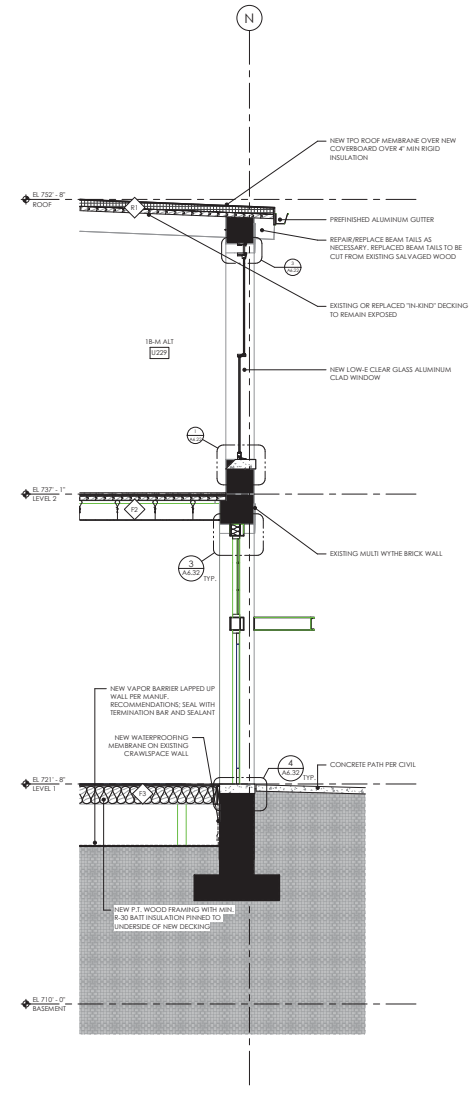
SCALE: 3/8" = 1'-0"



WALL SECTION @ WEST
ELEVATION 2

2
A5.21

SCALE: 3/8" = 1'-0"



WALL SECTION @ EAST ELEVATION

1
A5.21

SCALE: 3/8" = 1'-0"

**CONSTRUCTION
DOCUMENTS**

NODA MILL APARTMENTS

THE COMMUNITY
BUILDERS



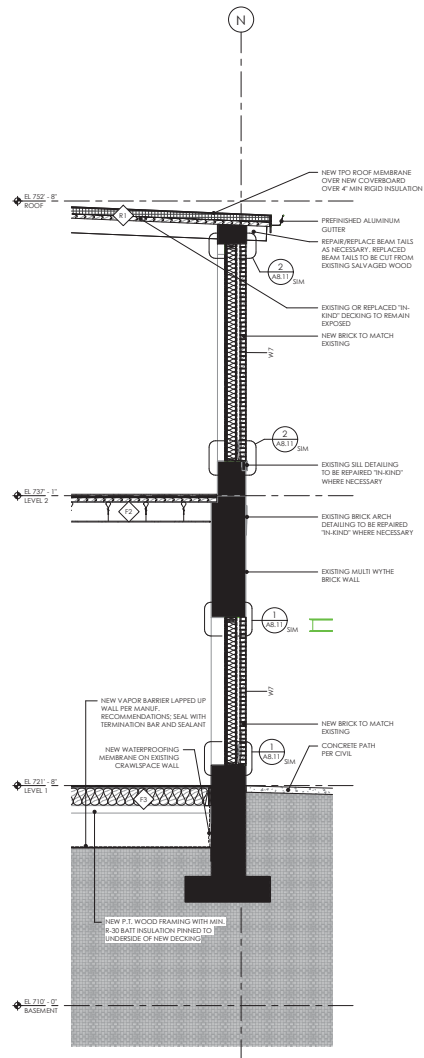
LOCATION / CHARLOTTE, NC
PROJECT # / 19FCP330
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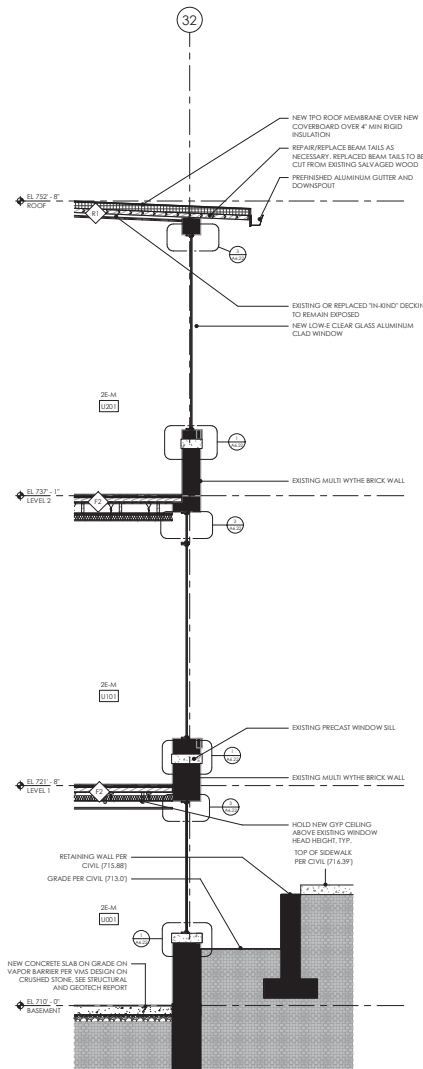
WALL SECTIONS

A5.22



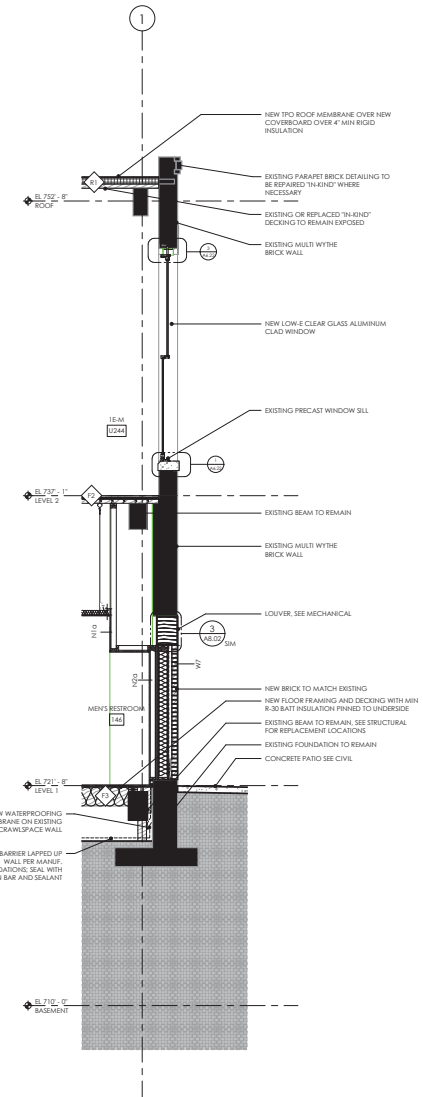
WALL SECTION @ EAST ELEVATION

3
A5.22 SCALE: 3/8" = 1'-0"



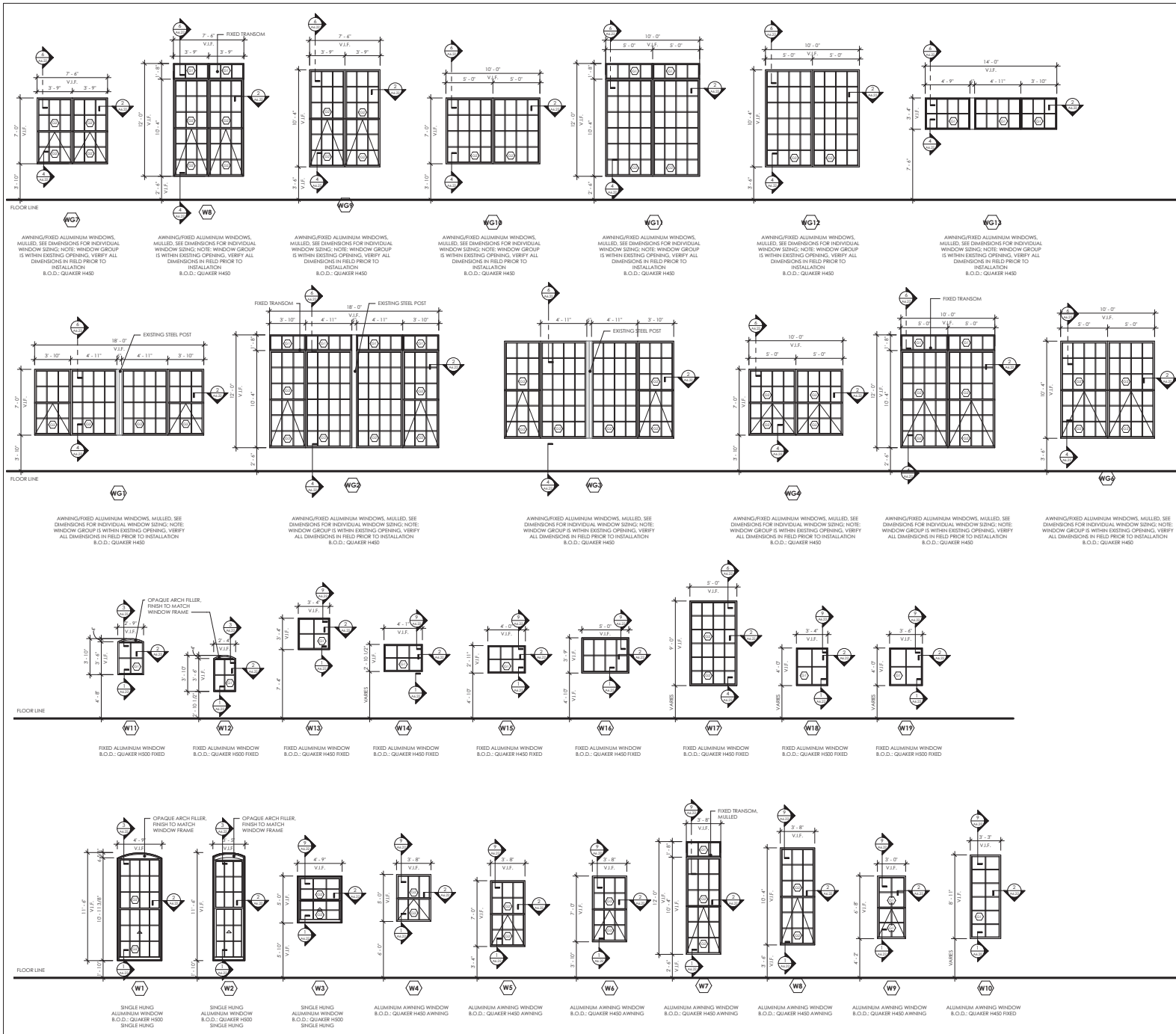
WALL SECTION @ NORTH
ELEVATION

2
A5.22 SCALE: 3/8" = 1'-0"



WALL SECTION @ CLUBHOUSE 3

1
A5.22 SCALE: 3/8" = 1'-0"



GENERAL NOTES:

1. INSULATED GLASS TO MEET SPECIFIC LOW-E GLASS RATING FACTOR & SHGC VALUES AS SPECIFIED IN CONSTRUCTION REPORT OR EQUIVALENT.
2. WINDOW OPERATING PARTS TO BE MAX. 48" ABOVE FEE. IN ALL TYPE-A UNITS PER SECTION 308 IN AHS 117.1.2009
3. WINDOW MFG. TO PROVIDE OPERATING CONTROL DEVICE WHERE REQUIRED (SUCH AS WINDOW LAMINAR) PER SECTION 015.4 & 015.5 IN NCBC 2018
4. WINDOW MFG. TO COMPLY WITH PRESSURE RATINGS AS SPECIFIED IN SECTION 1709.3, NCBC 2018
5. ALL WINDOWS FACING POOL, COURTYARD AT LEVEL 1 TO BE SHATTERPROOF, LOCKABLE AND NORMALLY CLOSED. PROVIDE TRAVEL LIMITER FOR THESE WINDOWS.

WINDOW BASIS OF DESIGN NOTES:

BASIS OF DESIGN: QUAKER H450 OR H450 SERIES (SEE WINDOW TYPE)
 MATERIAL: ALUMINUM
 FINISH: WHITE RYLAN
 OPERATION: SINGLE HUNG OR FIXED
 MOUNTING: INSULATED DIVIDED LITES WITHOUT SPACER
 - SEE DETAILS FOR PROFILES
 - ALUMINUM EXTERIOR, ALUMINUM INTERIOR

STOREFRONT BASIS OF DESIGN NOTES:

BASIS OF DESIGN: KAWNEER 451
 MATERIAL: ALUMINUM
 FINISH: BONE WHITE PERMANALUX
 MOUNTING: SINGLE DIVIDED LITES WITHOUT SPACER
 - SEE PROFILE PER MANUF.
 - ALUMINUM

GLAZING LEGEND:

- 1. CLEAR LOW-E INSULATED GLASS: DOUBLE PANE
 BASIS OF DESIGN: CARDINAL LITE 366
- 2. CLEAR LOW-E TEMPERED & INSULATED GLASS: DOUBLE PANE
 BASIS OF DESIGN: CARDINAL LITE 366
- 3. INTERIOR CLEAR GLASS
 1/4" SINGLE PANE
- 4. INTERIOR CLEAR TEMPERED GLASS
 1/4" SINGLE PANE
- 5. INTERIOR FIRE RATED CLEAR TEMPERED GLASS
 1/4" SINGLE PANE

CONSTRUCTION DOCUMENTS

NODA MILL APARTMENTS

THE COMMUNITY BUILDERS



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WINDOW ELEVATIONS

GENERAL NOTES

1. ALL STAIR WALLS ARE PAINTED CMU, UNLESS NOTED OTHERWISE. EXPOSED CMU TO RECEIVE DAMP-PROOFING.
2. STAIRS SHOULD PROVIDE SLIP RESISTANCE.
3. STAIR NOSING TO HAVE 1/2" RADIUS MAX.
4. IF RISER IS SLOPED, ANGLE OF 30 DEGREES OFF VERTICAL IS THE MAXIMUM ALLOWED.
5. LEADING 2" OF THE TREAD SHALL HAVE CONTRASTING COLOR TO THE REST OF THE TREAD. IF TREADS ARE CONCRETE THEN THE ABRASIVE SHOULD BE AS DARK AS POSSIBLE, SUCH AS BLACK, DARK BROWN, ETC.
6. THE LEADING EDGE OF STAIR NOSING SHALL EXTEND PAST THE TREAD BELOW 1.25" MAX.
7. ALL RAILINGS ARE STEEL, PAINTED.
8. VERIFY FINAL LEVEL HEIGHTS WITH ARCHITECT PRIOR TO MANUFACTURE.

CONSTRUCTION DOCUMENTS

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THE COMMUNITY BUILDERS

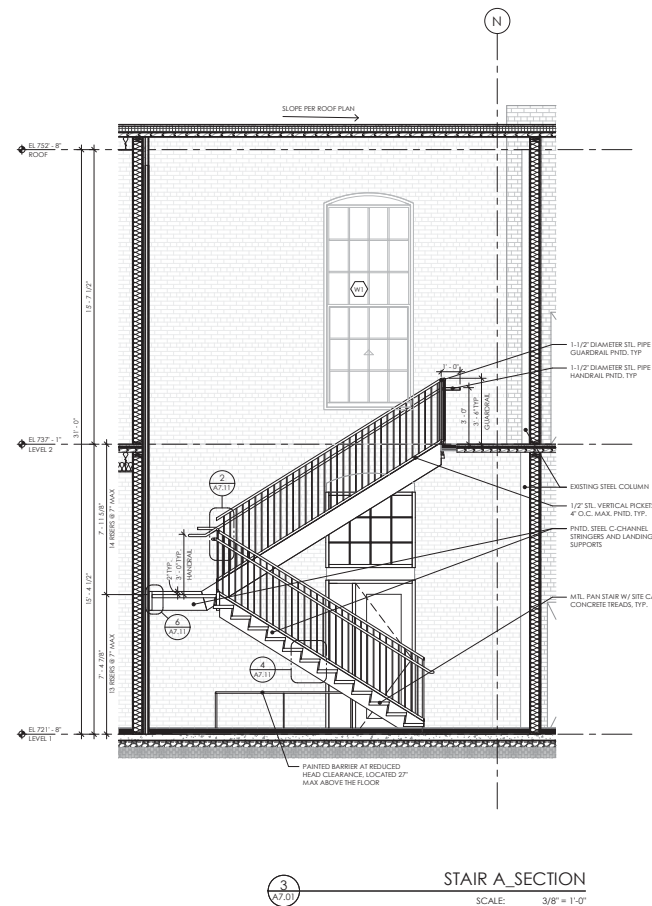


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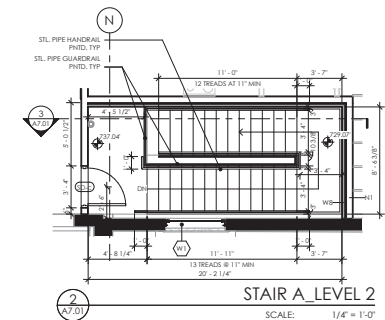
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STAIR A - PLANS AND SECTION



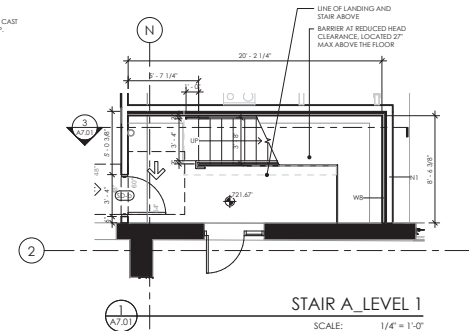
STAIR A_SECTION

SCALE: 3/8" = 1'-0"



STAIR A_LEVEL 2

SCALE: 1/4" = 1'-0"



STAIR A_LEVEL 1

SCALE: 1/4" = 1'-0"