

PLAZA END TRACE
HOME OWNERS ASSOCIATION

ARCHITECTURAL
DESIGN GUIDELINES

TABLE OF CONTENTS

DESCRIPTION	PAGE NO.
INTRODUCTION	3
NEW, ADDITION, AND/OR REMODELING CONSTRUCTION GUIDELINES	5
OUTDOOR STRUCTURE GUIDELINES	7
REAR YARD FENCE GUIDELINES	9
PLAY EQUIPMENT GUIDELINES	11
SATELLITE RECEIVER (DISH) GUIDELINES	13
GENERAL IMPROVEMENTS, LANDSCAPE & MAINTENANCE GUIDELINES.....	13
LIST OF RECOMMENDED PLANT SPECIES	19
EXHIBIT A - FENCING	
EXHIBIT B - ARCHITECTURAL REQUEST FORM	

**PLAZA END TRACE – HOME OWNERS ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE**

INTRODUCTION

The Architectural Control Committee (ACC) is providing the attached Architectural Design Guidelines (“Guidelines”) in accordance with that Declaration of Covenants, Easements, Conditions and Restrictions (“Declaration”), for purposes of establishing and maintaining exterior design elements throughout Plaza End Trace (PET). This document should be filed with the homeowners’ copy of the Declaration received at closing. It is the responsibility of each homeowner to pass along the Declaration and Guidelines to any future buyer of their home at Plaza End Trace.

It is important to note that the Guidelines are applicable to most all future building exterior and property improvements as well as to homeowner improvements that were not previously submitted and approved. Homebuilder improvements that have been previously approved by the Declarant or Classica Homes prior to the adopted date may be excluded from these Guidelines.

PET has impervious restrictions on all home sites. This limits the amount of non porous surfaces that can be installed on each home site. (Non porous surfaces include; home additions adding additional footprint, driveways, patios, hardscaping features, etc.) It is the responsibility of the homeowners to verify that they are not exceeding their allotted impervious area with any improvement. The ACC may require a survey be submitted with each improvement request that shows the new impervious area not exceeding the approved impervious area for each home site.

These Guidelines will be utilized by the ACC to evaluate and approve/disapprove property alterations and/or improvements throughout the community. Homeowners should use these Guidelines in planning changes to their property that will require ACC review.

- Design:** The design or style of improvements should attempt to enhance the natural setting of the community and compliment any community design elements. Improvements must be sensitive to adjacent properties as well as the community as a whole.
- Constraints:** Planning for improvements should include identifying any limitations or regulations applicable to a lot such as utility easements. Some of these constraints are indicated on the Record Plat and/or the Lot/Home site Survey.
- Submittals:** Submittals must be complete and include a completed “ACC Review Request Form” along with the requested documentation for review. Most submittals for lot improvements will require a copy of the “Lot Survey” indicating the location of the improvements. Submittals for building additions or improvements should include elevation views of the building. Partial or incomplete submittals will be returned without review. Additional information may be requested by the ACC as may be deemed necessary for review.
- ACC Review:** Properly completed submittals will be reviewed in a timely manner by the ACC. Improvements should not be undertaken without receiving a response or approval from their request. In many cases, it is necessary to inspect the lot

**PLAZA END TRACE – HOME OWNERS ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE**

and surrounding conditions as part of the review process. Any improvements installed without prior written approval shall be considered in violation and subject to fines and penalties. Any improvements not conforming to the guidelines in effect at the time shall be considered in violation and subject to fines and penalties.

Existing

Violations:

Any property improvement requests may be declined, denied or otherwise not considered in the event there exists unapproved improvements or identified violations on the subject property. It will be necessary for the applicant to submit all improvements for review and/or resolve any violations with the ACC prior to any subsequent reviews.

Variances

& Appeal:

Variances from the Guidelines may be granted in the event of unique conditions or extenuating circumstances as determined and approved by the ACC. Granting of a variance shall not constitute any changes to the Guidelines nor set a precedent for future decisions of the ACC.

Remedy:

The Declaration provides for the remedy of non-conforming improvements and violations on individual lots by means of removal, fines and/or liens on the property. All costs for remedy shall be the responsibility of the lot owner.

Agency

Approval:

Depending on the type and/or location of the improvement, approval may be required by various governmental agencies. Approval for improvements by the ACC does not imply, constitute or waive any agency review requirements.

**PLAZA END TRACE – HOME OWNERS ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE**

**SUBJECT: NEW, ADDITION, AND/OR REMODELING CONSTRUCTION
GUIDELINES**

General: New construction, additions or remodeling improvements may include a room addition, screened porch, deck, in-ground lap pool, hot tub/spa, patio, walk, drive addition, etc. All such (and similar) improvements must be submitted to, and approved by the ACC.

Materials: All materials shall match existing house including siding, trim, shingles, roof pitch, etc. as well as finish and color. The material (and color) must be submitted and approved by the ACC.

Colors: All exterior components shall have finish materials and color matching the existing house.

- Decks may be left the natural wood color, stained or painted to match the house with ACC approval.

Location: All improvements (other than landscaping) shall either be attached to the house or located in the rear yard.

- No home addition may extend beyond the building setbacks shown on the survey.
- Room additions, decks, lap pools, hot tubs and spas shall not extend outside of the rear corners (side walls) of the house.

Deck: New decks must be attached to the house or be an extension of an existing deck. All existing decks shall be improved to match current deck requirements as a condition of approval for deck additions.

Sun Room/

Screen Porch: Sun rooms and porches shall be attached to, and integrated into the existing house. A minimum 8” height (above floor) perimeter skirt (stone, brick, etc.) must be provided for slab on grade structures/additions. All components must match the existing house (excluding screens).

Pools/

Hot Tubs: In-ground lap pools and hot tubs are allowed with approval by the ACC. Above ground pools are not allowed. Hot tubs must be located on, or integrated into a deck system or patio. Pool coping and stone, paver or concrete decking IS IMPERVOIUS AREA and therefore counts towards the total impervious area on your home site. Pools, hot tubs/spas and other improvements must be screened from view from streets, open space areas and adjacent lots

**PLAZA END TRACE – HOME OWNERS ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE**

- Screening: Foundation planting beds at the house shall be extended to include room additions, decks, etc.
- The minimum buffer/screen shall consist of a single row of evergreen shrubs planted at a spacing of 4-feet on center with an installed height of 24-inches above grade and a minimum mature height of 4-feet. It is recommended that a mixture of evergreen and deciduous shrubs and trees be used for screening purposes. Existing plantings may be applied to the screening requirements.
 - No trees with a caliper greater than 2-inches may be removed during construction without ACC approval. Fines or remediation may be assessed to the homeowner for trees removed without approval. Caliper measurements shall be taken from 6 inches above grade at the trunk. All screen plantings must be located on the lot with the requested improvement.
- Debris: All construction debris shall be collected on daily basis and placed in appropriate containers or hauled off. Debris may only be placed at curb for pick-up for a period not exceeding 24 hours. Hazardous, toxic and similar materials must be secured at all times.
- Submittal: Please submit a Review Request Form, the location of the new construction drawn on your lot survey of the property, house elevation views indicating the location, heights, roof lines, etc. of the house and the proposed addition (if applicable), the location of the landscaping, and a list of plants to be installed to fulfill the buffer/screen requirement. Construction documents may be required depending on the nature of construction.

**PLAZA END TRACE – HOME OWNERS ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE**

SUBJECT: OUTDOOR STRUCTURE GUIDELINES

- General:** Outdoor structure improvement guidelines apply to pergolas, arbors and other similar free-standing Accessory structures. All such (and similar) improvements must be submitted to, and approved by the ACC.
- Materials:** Materials shall either be natural in nature or match the house including siding, trim, shingles, etc. and finish/color. Roofs are to be multi-pitched. Structures attached or integrated into the house shall have **doors** similar to the house or in the event the house is all brick, all siding material (and color) must be submitted and approved by the ACC.
- Location:** Rear Yard;
- All outdoor structures shall be attached to, or located directly behind the house, not outside rear corners. Outdoor structures on corner lots must be located away from the side street, not beyond the midpoint of the back of the house.
- Skirting:** If any side of an outdoor structure exceeds 12” off the ground, siding or skirting is required.
- Utilities:** All utilities including electric, water, and/or sewer must be underground and must adhere to standard building codes.
- Screening:** All freestanding outdoor structures shall be screened from view from adjacent lots, streets and common open space. A foundation planting bed shall be extended or added to all structures attached or incorporated into the house.
- The minimum buffer/screen shall consist of a single row of evergreen shrubs planted at a spacing of 4-feet on center with an installed height of 24-inches above grade and a minimum mature height of 4-feet. It is recommended that a mixture of evergreen and deciduous shrubs and trees be used for screening purposes. Existing plantings may be applied to the screening requirements.
 - No trees with a caliper greater than 2-inches may be removed during construction without ACC approval. Fines or remediation may be assessed to the homeowner for trees removed without approval. Caliper measurements shall be taken from 6 inches above grade at the trunk.
 - All screen plantings must be located on the lot with the requested improvement.

**PLAZA END TRACE – HOME OWNERS ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE**

- Prohibited:** Outbuildings, Storage Sheds, Gazebos, and Tree Houses.
- Debris:** All construction debris shall be collected on daily basis and placed in appropriate containers or hauled off. Debris may only be placed at curb for pick-up for a period not exceeding 24 hours. Hazardous, toxic and similar materials must be secured at all times.
- Submittal:** Please submit a Review Request form, elevation views or photograph of the structure including roof, the location of the structure drawn on your lot survey of the property, the location and type of any required landscape screening and a list of all materials and finishes.

SUBJECT: REAR YARD FENCE GUIDELINES

General: Fences should perform the functions of privatizing spaces, and providing security with minimal visual impact, thus maintaining the sense of openness throughout the community. Additional fence setbacks or limitations may be imposed upon Lots abutting Common Open Space or other natural areas. All fences additions must match existing fencing and must be approved by the ACC as to the location.

Recommended: Design recommendations

- Gates must match fence.
- There may be only two gates per lot.
- A single gate may have the maximum width of 3 feet.
- All sections of fence shall match.
- Black or Dark Bronze aluminum fence at 48” or 54” tall is preferred.
- Fences shall be constructed with the decorative side facing out (if applicable).

Fence locations: Rear/Side Yard

- Fences located in the side yard may only extend as close to the front of the lot as the mid point of the side of the house. Exception: A fence may be located within 10’ of the front of the house only for the purpose of containing a side entry service door to the garage.
- Side yard fences at corner lots must align with, and may not extend beyond the rear corner of the house.
- Fences located over utility easements are subject to removal as may be necessary for access or maintenance as allowed by the easement.

Screening:

- All sections of fence that front a street or private drive shall have a landscape buffer/screen installed on the street side of the fence (corner lots). The minimum buffer/screen shall consist of a single row of evergreen shrubs planted at a spacing of 4-feet on center with an installed height of 24-inches above grade and are to have a minimum mature height of 4-feet. It is recommended that a mixture of evergreen and deciduous shrubs and trees be used for screening purposes. Existing plants may be applied to the screening requirements.
- No trees with a trunk caliper greater than 2-inches may be removed during construction without ACC approval. Fines or other remediation may be assessed to the homeowner for trees removed without

**PLAZA END TRACE – HOME OWNERS ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE**

approval. Caliper measurements shall be taken from six inches (6”) above the top of the ground.

- All screen plantings must be located on the lot with the requested improvement.

Debris: All construction debris shall be collected on a daily basis and placed in appropriate containers or hauled off. Debris may only be placed at curb for pick-up for a period not exceeding 24 hours. Hazardous, toxic and similar materials must be secured at all times.

Submittal: Please submit a Review Request form, a fence layout drawn on your lot survey indicating the location of the fence, gate(s) and screen plantings on the property (include adjacent existing fences), and a list of materials to be used for your landscape buffer/screening requirements (plant name, installed size, number & location, mulch type, edging/borders and/or existing trees/shrubs).

SUBJECT: PLAY EQUIPMENT GUIDELINES

- General:** Play equipment should not detract from the aesthetic quality of the community nor from the privacy of adjacent homeowners. All play equipment shall be manufactured by a play equipment supplier for the intended use. Home-made or modified products may be rejected due to safety concerns and/or objectionable appearance.
- Storage:** All non-permanent play equipment (i.e. inflatable pools, playhouses, hitting nets, play equipment etc.) shall be removed from the yard and stored (out of sight) when not in use if applicable. Homeowners not storing non-permanent or portable play equipment shall be in violation of the ACC Guidelines and subject to fines and penalties. A variance from the storage requirements may be granted by the ACC in instances where it would be unreasonable to store play equipment (such as larger pieces) in which case a location and screening plan must be submitted.
- Prohibited:** Trampolines.
- Submittal:** Please submit a Review Request form and the location of the play equipment improvements drawn on your lot survey of the property along with the manufacturer's product information and picture or sketch depicting type and arrangement of the play equipment. Additional plans or information may be necessary and requested depending on the extent of the improvements.

SUBJECT: SATELLITE RECEIVER (DISH) GUIDELINES

- General: All satellite receiver dishes must comply with the following guidelines, except to the extent such compliance would alter or impair the reception.
- Dish size: The satellite dish must not exceed one meter (39.37”) in diameter or by diagonal measurement and must be distend to receive direct Broadcast satellite service, including direct-to-home satellite service, or to receive or transmit fixed wireless signals via satellite.
- Quantity: Each lot may have (1) one satellite receiver attached to their house or in their yard, unless more than one is required to obtain the desired reception.
- Prohibition: Satellite receivers are prohibited in the Common Elements. They can only be placed in areas within the owners’ exclusive use and control.
- Preferred Location: **Satellite receiver shall be installed so as to minimize visibility from streets, adjoining lots and homes, and from the Common Open Space.** Landscape screening may need to be installed so that the receiver is not directly visible.
- Suggested mounting locations (in order of preference):
1. On the ground directly behind your home
 2. Roof mounted behind the central peak on the back side (rear yard) of the roof and not higher than the peak of the roof
 3. Wall mounted on house side wall on the back 1 /2 of the house
- Satellite receivers are prohibited from being located in the front yard or on the front half of the house’s roof unless these are the only locations from which the owner can obtain reception.
- Color: Receivers mounted to the side or roof of the house shall be painted, with non-metallic paint, to match and blend with the roof or siding color of the house, so long as doing so will not alter or impair reception or void the warranty.
- Submission: In the notification to the ACC, please submit a Review Request form and your lot survey or sketch indicating the size and location of the satellite dish(s) on the home.

**SUBJECT: GENERAL IMPROVEMENTS, LANDSCAPE & MAINTENANCE
GUIDELINES**

General: All lots shall be maintained in a neat and attractive condition by their respective owners. Upkeep (including maintenance and watering) and replacement of trees, shrubbery and planting beds shall be the owner’s responsibility and expense, and is expected of the homeowner to insure the continuity and aesthetics of the exterior design of the community.

All landscape planting improvements affecting the size or location of planting beds or lawn areas must be submitted for approval. Generally, replacing plants to an existing planting bed does not require approval except in cases where plant material is substantially different than what it is replacing. (Refer to List of Recommended Plant Species).

All hardscape improvements must be submitted for approval. **MOST HARDSCAPING IS CONSIDERED IMPERVIOUS AREA.** Avoid mixing types or styles of hardscape materials (such as a wall with stone and another with timber, or two types of edging, etc.).

Location of Improvements: Refer to the Lot Survey for the location of drainage, utility and other easements on the lot. Existing improvements and underground utilities within these easements must be maintained and protected. Contact a utility locator service or the designated user prior to any projects involving digging. Homeowners and their contractors are responsible for any repairs due to their work. Limit improvements in these easements as the easement serves as a repair route for service vehicles and repair equipment. Any obstacles within a recorded-easement may be removed (and not replaced) by the utility (or designated user) without notice as deemed necessary. Improvements shall not impede or block drainage swales or otherwise redirect established surface drainage patterns.

Topography: Topography of the property is designed to allow suitable drainage for your lot and adjacent lots. If the finished grades are to be modified (raised or lowered), a grading and drainage plan must be submitted to the ACC for review. Overall drainage patterns must not be modified. Piping or concentrating runoff is not allowed, unless it runs into a storm water structure.

Lawns: All yard areas shall be established with grass or planting beds and maintained. Measures shall be taken to satisfactorily maintain all exterior areas year round.

Landscaping: Planting areas should be designed with flowing forms and a mixture of plant types. Avoid linear plantings of a single species, plants that maybe a hazard or nuisance to adjacent Lots (i.e. weak wooded trees, plants that create “litter”,

**PLAZA END TRACE – HOME OWNERS ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE**

etc.), or plants that may be impractical for their location (i.e. low branching or evergreen trees near sidewalks, etc.). All planting improvements other than plant replacements shall require ACC approval. All ornamental plants, shrubs, hedges, etc. shall be contained within common planting beds. All planting beds are to be mulched or pine needled and maintained. Trees and individual specimen plants may be placed in the lawn with a mulch or pine needled saucer.

Natural areas: General maintenance of trees and shrubs is expected from the homeowner. It is recommended that plants be contained within, or incorporated into a planting bed. Maintenance should include, but is not limited to: weeding, fertilizing, mulching and watering as well as the removal, disposal, and replacement of dead trees, shrubs, limbs and grasses on your property.

- No tree over 2” caliper, measured 6” above grade shall be removed from a Lot without approval from the ACC. Homeowners are encouraged to maintain small saplings of desirable species as a succession forest plant.
- Drainage easements shall be maintained and kept free from debris blocking or diverting water from properly flowing.

Garden Areas: Garden areas are allowed as approved by the ACC. Gardens shall be of a size and scale appropriate for the lot and should not exceed 150 square feet. Gardens should not be visible from streets and will be required to be screened from adjacent lots. Gardens shall not create a nuisance or hazard of any kind to adjacent lots or common open space areas. Gardens that are not properly maintained as determined by the ACC shall be in violation.

Irrigation: Irrigation systems should not impact streets, walks, adjacent lots, common open space.

Lighting: All exterior lighting must be approved by the ACC. Fixtures should enhance the design of the house, lot and community. Light source shall not create a nuisance. Soffit mounted spot lights on the front of the home are discouraged.

Retaining Walls/Walls: Walls should add an aesthetic element to the landscape design as well as complement the house and lot. The following wall materials are permissible but are considered impervious area:

- Landscape Stone (landscape stone is typically categorized or named).
- Brick, matching house if applicable.
- Manufactured segmental block (i.e. keystone) matching or complementing the style and colors of the house.

**PLAZA END TRACE – HOME OWNERS ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE**

Walks/Drives/

Patios: All paving additions or extensions are ADDITIONAL IMPERVIOUS AREA and can only be approved by the ACC if the allowable impervious area has not been exceeded. Paving is allowed within building setbacks however no closer than 1 foot from any property lines. Large expanses of paving are not allowed.

Parking: On-street parking is not allowed except for occasional gatherings or events. Vehicular parking is limited to designated parking areas only or in house driveways. Damaged or otherwise inoperative vehicles as well as commercial vehicles, boats, trailers and the like must be contained within an enclosed structure. Parking storage in community parking areas is prohibited.

Garden Pools: Garden pools are allowed as approved by the ACC. Pools that are not maintained or are otherwise determined to be a health or safety hazard as determined by the ACC shall be in violation of the ACC Guidelines.

Mulch: Mulching or pine needling of planting beds is required. Large expanses of mulch areas are discouraged. The following mulches are recommended:

- Pine needles
- Hardwood/Pine shredded wood mulch
- Hardwood/Pine wood nuggets

All other mulches must have ACC approval prior to installation. Stone, gravel or colored mulch is prohibited.

Edging: Edging is the material used to separate planting beds from lawn areas and similar applications and is generally installed flush with the surrounding grade. Edging materials must be approved by the ACC

Mailboxes: The custom community mailbox is the standard approved by the ACC. Numbers or letters placed on the mailbox shall conform to ACC standards. Cost and maintenance of the mailbox shall be the responsibility of the HOA. Mailboxes shall not be altered or modified in any way.

Signs: No signs, banners, billboards or similar placards including contractor, tradesman, realtor, etc shall be erected on any lot, except required by law. The developer and assigns are exempt from this guideline. Signs used for resale of home need to be the standard community sign approved by ACC. Signs are to be made by the following approved vendor:

Signs, Etc.
4040 South Boulevard
Charlotte, NC 28209
704-522-8860

**PLAZA END TRACE – HOME OWNERS ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE**

- Decorations:** Seasonal and holiday decorations generally do not require approval. All decorations must be tasteful and not offensive as determined by the ACC. Decorations shall not create a nuisance to adjacent lots, streets or common open space areas. The ACC reserves the right to order the removal of any decorations as may be determined inappropriate. Seasonal and holiday decorations shall not be installed earlier than 30 days prior to the holiday and must be removed no later than 30 days following the holiday.
- Garden Ornament:** No decorative objects such as sculptures, birdbaths, fountains, flamingos and similar features shall be placed on a lot where visible from streets, adjacent lots and common open space areas without approval by the ACC.
- Outdoor Furniture:** Permanent or otherwise “installed” outdoor furniture must be approved by the ACC. All furniture not located on a patio, deck or other similar surface may require screening and must be approved by the ACC. All outdoor furniture shall be appropriate for the application and properly maintained. Furniture with bright colors, graphics, patterns, etc. may be considered a nuisance and violation by the ACC.
- Debris/Refuse:** Garbage and refuse shall be placed in appropriate containers and shall be capped or contained. All refuse containers shall be concealed within building or enclosed to an extent that they are not visible from the street, adjacent lots and common open space areas. Roll-out containers shall not remain at the street beyond the pick-up day. Bulk debris may be placed at the curb for pickup for a period not exceeding 24 hours. Yard waste may not be dumped or stored on any properties in the community. All construction debris shall be collected on daily basis and placed in appropriate containers or hauled off. Hazardous, toxic and similar materials must be secured at all times. The developer and assigns are exempt from this guideline.
- Prohibited:** Interior or exterior window treatments with graphics, bright colors or patterns or as otherwise determined a visual nuisance by the ACC. Temporary window coverings such as sheets, paper, etc. are not allowed.
Outdoor clotheslines.
Compost / Firewood pile.
- Submittal:** Please submit a Review Request form and the location and list of the landscape improvements drawn on your lot survey of the property. Additional plans may be necessary depending on the extent of the improvements.

PLAZA END TRACE HOME OWNERS ASSOCIATION

SUBJECT: LIST OF RECOMMENDED PLANT SPECIES

Large Maturing Trees

<u>Botanical Name</u>	<u>Common Name</u>
Acer rubrum	Red Maple
Acer saccharum	Sugar Maple
Betula nigra	River Birch
Carpinus caroliniana	American Hornbeam
Carya ovata	Shagbark Hickory
Fagus grandifolia	American Beech
Fraxinus Americana	White Ash
Fraxinus pennsylvatica	Green Ash
Liriodendron tulipifera	Tulip Poplar
Nyssa sylvatica	Black Gum
Platanus acerifolia	London Planetree
Platanus occidentalis	Syucamore
Quercus alba	White Oak
Quercus coccinea	Scarlett Oak
Quercus laurifolia	Laurel Oak
Quercus palustris	Pin Oak
Quercus phellos	Willow Oak
Quercus shumardi	Shumard Oak
Taxodium distichum	Baldcypress
Ulmus Americana	American Elm
Ulmus parvifolia	Lacebark Elm
Zelkova serrata	Japanese Zelkova

Evergreen Trees

Cedrus deodara	Deodar Cedar
Cryptomeria japonica	Japanese Cryptomeria
Ilex opaca	American Holly
Junipers virginiana	Eastern Redcedar
Cupressocyparis leylandii	Leyland Cypress
Magnolia grandiflora	Southern Magnolia
Pinus nigra	Austrian Pine
Pinus thunbergi	Japanese Black Pine

PLAZA END TRACE HOME OWNERS ASSOCIATION

Ornamental Trees

Acer palmatum	Japanese Maple
Chionanthus virginicus	White Fringetree
Cornus florida	Flowering Dogwood
Cornus kousa	Kousa Dogwood
Cercis Canadensis	Eastern Redbud
Ilex x attenuata Fosteri	Foster's Holly
Ilex x attenuata Savannah	Savannah Holly
Ilex x NellieSstevens	Nellie Stevens Holly
Koelreuteria paniculata	Goldenrain Tree
Lagerstroemia indica	Crepe Myrtle
Ilex x NellieSstevens	Nellie Stevens Holly
Koelreuteria paniculata	Goldenrain Tree
Lagerstroemia indica	Crepe Myrtle
Magnolia soulangeana	Saucer Magnolia
Magnolia stellata	Star Magnolia
Malus floribunda	Flowering Crabapple
Malus x zumi	Zumi Crabapple
Myrica cerifera	Wax Myrtle
Prunus serrulata kwanzan	Kwanzan Cherry
Prunus subhirtella pendula	Weeping Cherry
Prunus yedoensis	Yoshina Cherry

Shrubs

Azalea species	Azalea
Buxus species	Boxwood
Camellia japonica	Camellia
Camellia sasanqua	Sasanqua camellia
Chaenomeles speciosa	Flowering quince
Cleyera japonica	Cleyera
Euonymus alatus	Winged euonymus (Burning Bush)
Ilex cornuta 'carissa'	Carissa holly
Ilex cornuta burfordi	Burford holly
Ilex cornuta burfordi nana	Burford holly
Ilex crenata 'convexa'	Dwarf burford holly
Ilex crenata 'hetzi'	Convex Japanese holly
Ilex crenata 'rotundifolia'	Hetzi Japanese holly
Ilex 'Emily Brunner'	Roundleaf Japanese holly
Ilex glaCRa	Emily Brunner holly
Ilex latifolia	Inkberry holly
Ilex vomitoria nana	Lusterleaf holly
Juniperus chinensis	Dwarf yaupon holly
Juniperus horizontalis	Chinese juniper varieties
Nandina domestica nana	Creeping juniper varieties
Pieris japonica	Dwarf nandina varieties
Pittosporum tobira	Japanese andromeda
Raphiolepis umbellate	Pittosporum
Rhododendron species	Indian Hawthorn

PLAZA END TRACE HOME OWNERS ASSOCIATION

Specialty Plants Rododendron
Camelia species Ilex species

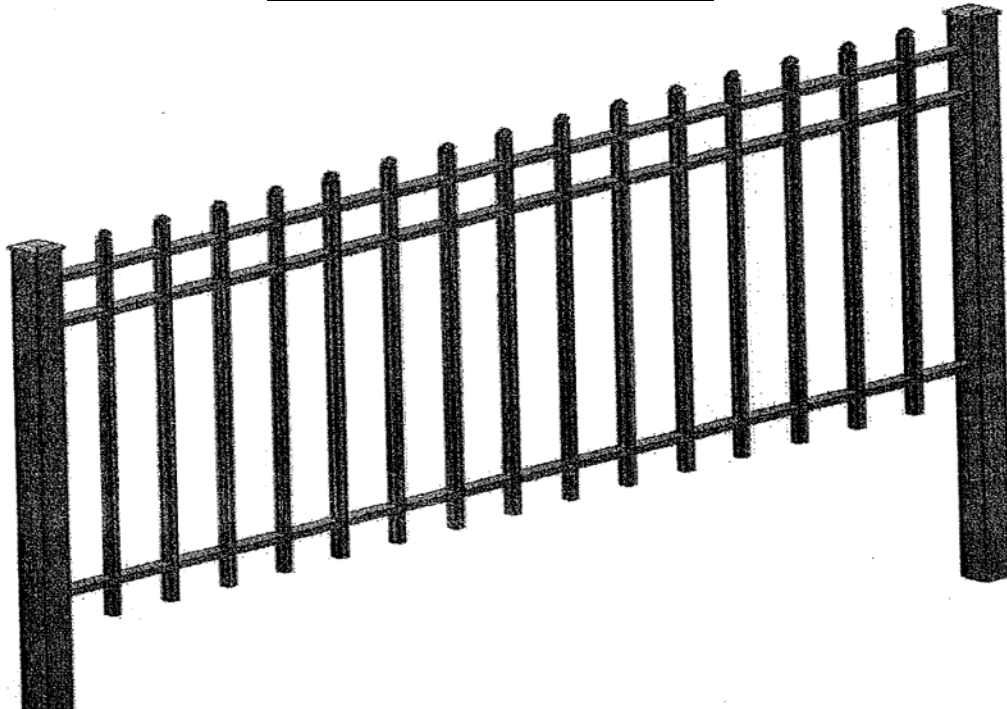
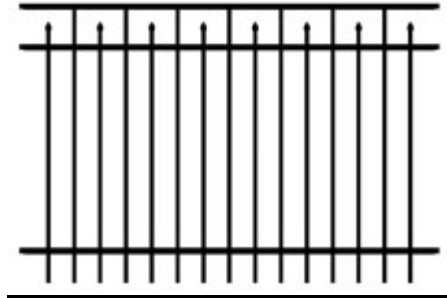
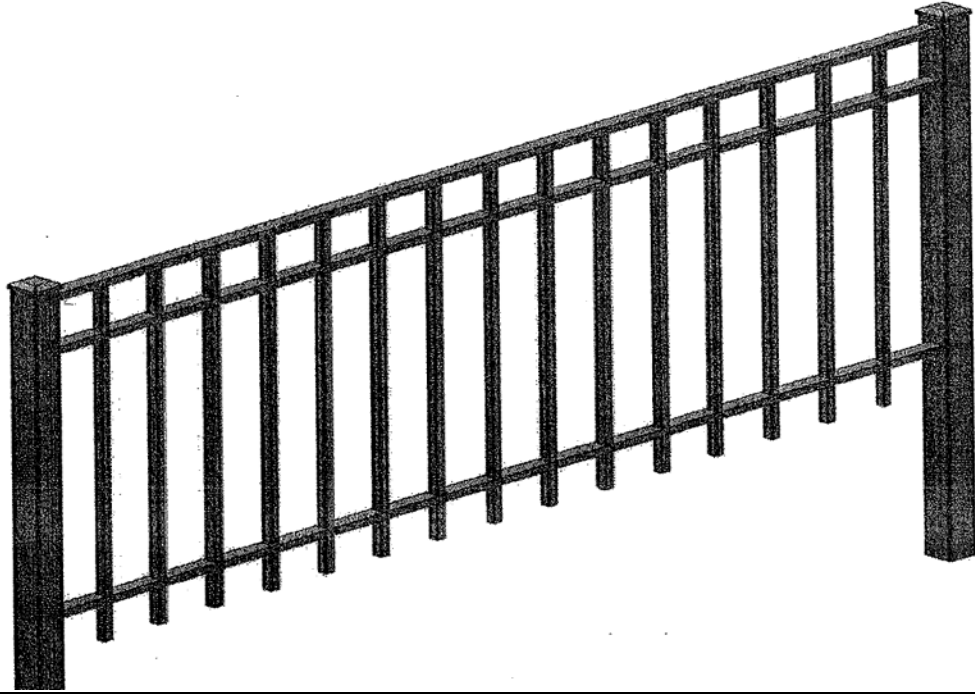
Specialty Plants

Camelia species Camelia (espaliered)
Ilex species Tree-form Hollies (limbed up)

Many of these plants may have improved varieties or cultivars with
better ornamental characteristics and resistance to diseases.
Consult with your local supplier.

PLAZA END TRACE HOME OWNERS ASSOCIATION

Exhibit A



4' or 54" tall Black or Dark Bronze Aluminum fencing

PLAZA END TRACE HOME OWNERS ASSOCIATION

Architectural Request Form

Name of Community: _____

Name: _____ Date Form Submitted: _____

Address: _____

Home Phone: _____ Work Phone: _____ Email: _____

Estimated Start Date: _____ Estimated Completion Date: _____

Type of Changes:

Fence
Patio
Exterior Color Change
Other: _____

Deck
Pool
Play Equipment

Covered Porch
Garage
Roofing

Utility Building
Home Addition
Landscaping

Location: _____

Size: _____

Color: _____

Materials: _____

Contractor Name: _____

INSTRUCTIONS: Please read and follow carefully.

- Attach a **written description** of the scope of the proposed changes including the general nature of the work, location of the changes, colors and materials to be used plus any plans, drawings, photos or brochures necessary to illustrate the dimension, size and appearance. Please be sure to include details of any landscaping changes or removals which may be necessary to accomplish the changes proposed.
- Attach a **property survey** with the location of the proposed changes clearly marked on the survey. This item **MUST** be included so that there is a clear understanding of precisely where the changes will occur in relation to the home, driveway, other structures and any easements or rights of way which may exist on the property.
- COMPLETE requests can be mailed to Plaza End Trace HOA at 2215 Aysley Town Blvd, Suite G Charlotte, NC 28273 **OR** requests which can be assembled electronically into a **single email** with preferably a single PDF attachment (including this form and the items described above) can be sent to CDalton@ClassicaHomes.com with your community's name, your last name and your property address included in the subject line.

IMPORTANT: Please allow up to 3-4 weeks for the community to complete the review and response process. Requests which do not include the items described above will delay the process. The review and response is based on the community's governing documents and the information submitted with this request. The property owner is responsible for investigating and complying with any and all other local requirements, permits or jurisdictions the property is subject to.

Committee Use Only

Approved

Denied

Comments:

(Name of Committee Member)

(Signature Of Committee Member)

(Date)

PLAZA END TRACE HOME OWNERS ASSOCIATION