

HICKMAN  
ADDITION /  
RENOVATION

1108 Park Road  
Charlotte, NC 28203

DATES:

Existing  
16 May 2011  
Schematics  
3 August 2011  
Progress Drawings  
6 October 2011  
11 December 2011  
21 December 2011  
Historic District / Landmarks  
Progress Drawings  
Final Pricing  
Revisions

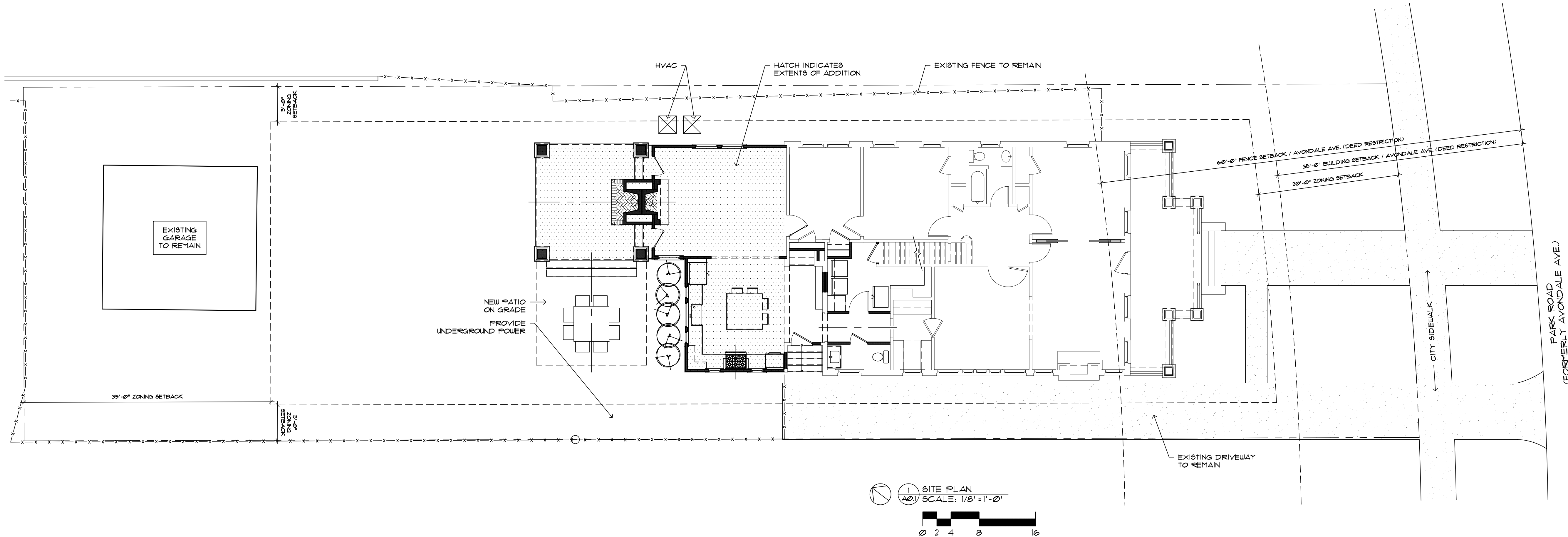
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jessica hindman  
720 e fremont ave  
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SITE PLAN

A0.1



GENERAL NOTES:

- It is the responsibility of the Contractor to become fully aware of any and all conditions related to the site and existing conditions that may affect construction activities and/or construction scheduling prior to submitting a bid.
- Contractor shall verify all dimensions and conditions at the jobsite including soil conditions, foundation conditions, and conditions related to the location of existing utilities and services before commencing work. All discrepancies shall be reported to the Designer.
- Do not scale drawings or details - use given dimensions. Check details for location of all items not dimensioned on plans.
- The drawings indicate general details of construction - where conditions are not specifically indicated but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by the Designer and, if required, structural engineer.
- Building systems and components not specifically detailed shall be installed, as per minimum manufacturer's recommendations. Notify the Designer of any resulting conflicts.
- All work shall conform to applicable building codes and ordinances. In case of any conflict wherein the methods or standards or the materials specified do not equal or exceed the requirements of the laws or ordinances, the laws or ordinances shall govern. Notify the Designer of all conflicts immediately.
- Coordinate all operations with the Building Owner or Representative including, but not limited to, areas used for material storage, access to and from work, timing of work, interruption of plumbing, mechanical and electrical services, etc.
- It is the responsibility of the Contractor to install proper dust barriers and other protection as required to protect both existing and new building finishes and facilities.
- Contractor shall provide temporary bracing for structure and structural components until all final connections have been completed in accordance with the plans.
- Contractor shall provide certificates of insurance, including, but not limited to, Workmen's Comp and General Liability. Owner shall notify Contractor of any additional insurance requirements.
- It is the responsibility of the Owner to review all drawings and associated contract documents.

OWNER:

LEIGH & ROBERT HICKMAN  
1108 PARK ROAD  
CHARLOTTE, NC 28203  
(P) 704.374.0769  
LEIGH@HICKMAN1002@GMAIL.COM

DESIGNER:

JESSICA BEIL HINDMAN / DIANA HALSKI  
STUDIO H DESIGN  
120 E. TREMONT AVENUE  
CHARLOTTE, NC 28203  
(P) 980.454.0594  
MAIL@STUDIOH-DESIGN.COM

STRUCTURAL ENGINEER:

CONTRACTOR:

BJORN GREENE  
CONCEPT BUILDING & RESTORATION  
2833 SOUTH TRYON STREET #30  
CHARLOTTE, NC 28203  
(P) 704.507.5434  
BJORN@CONCEPTBUILDING.NET

PROJECT DATA:

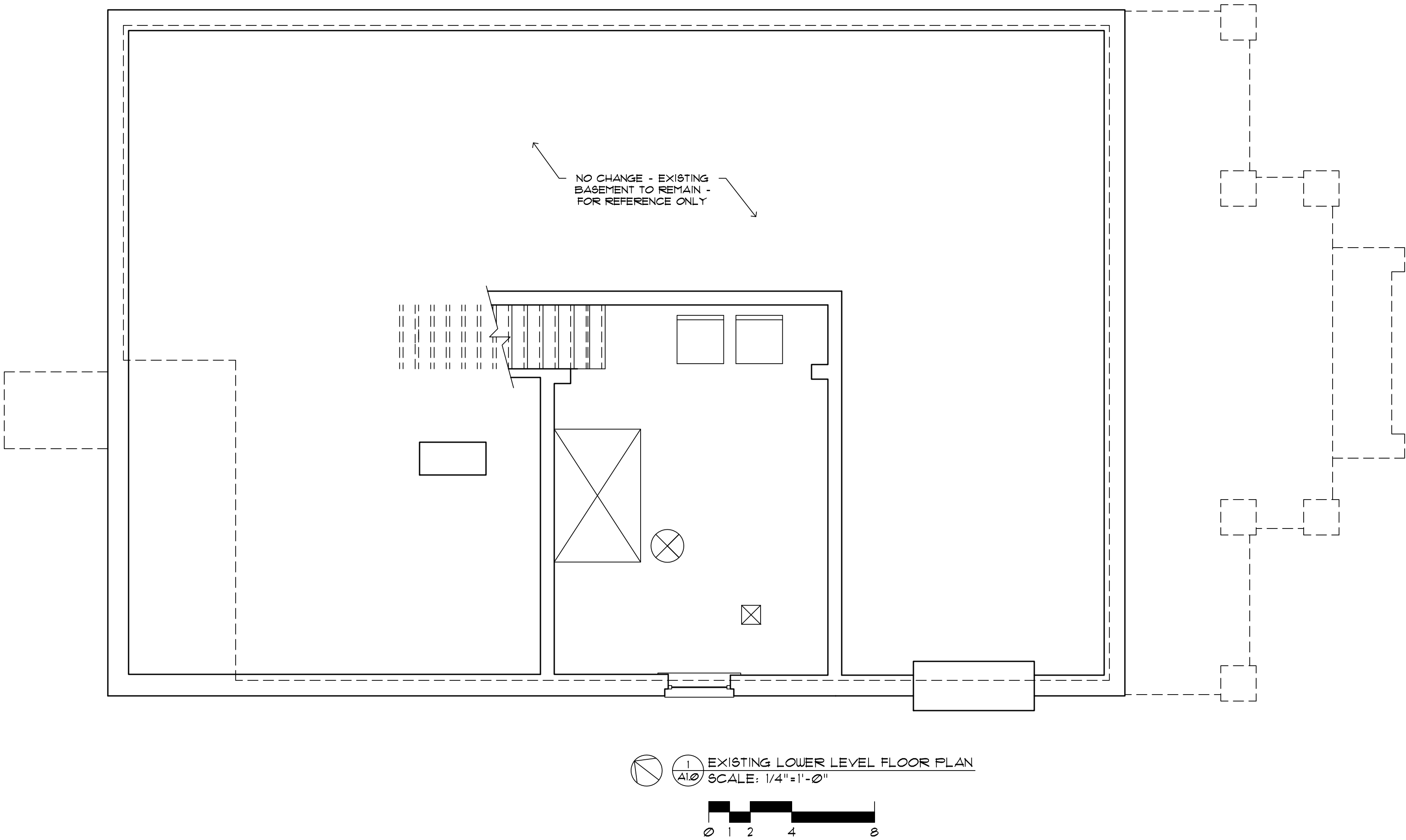
The project consists of a kitchen, den, rear porch and half story addition to a one-and-one-half story residence in Historic Dilworth in Charlotte, North Carolina.

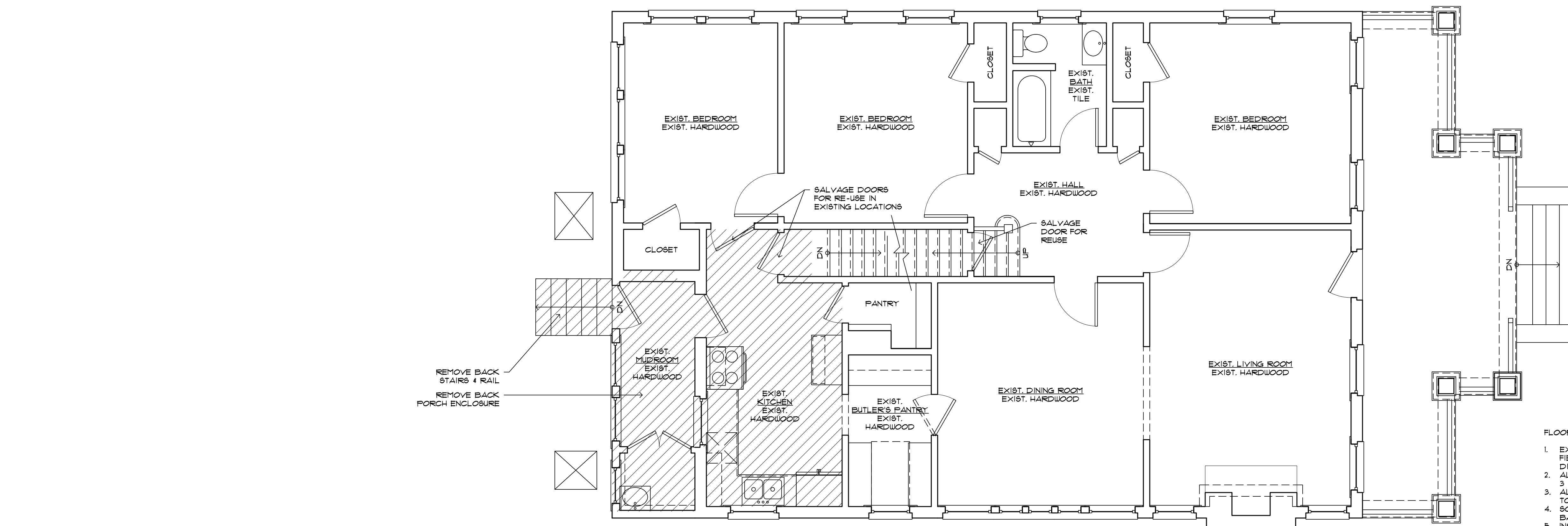
CONDITIONED RENOVATION - MAIN LEVEL	280 SF.	UNCONDITIONED COVERED PORCH	260 SF.
CONDITIONED ADDITION - MAIN LEVEL	500 SF.	UNCONDITIONED UNCOVERED PATIO	130 SF.
CONDITIONED ADDITION - UPPER LEVEL	1300 SF.		

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1 EXISTING MAIN LEVEL FLOOR PLAN  
SCALE: 1/4"=1'-0"

FLOOR PLAN NOTES:

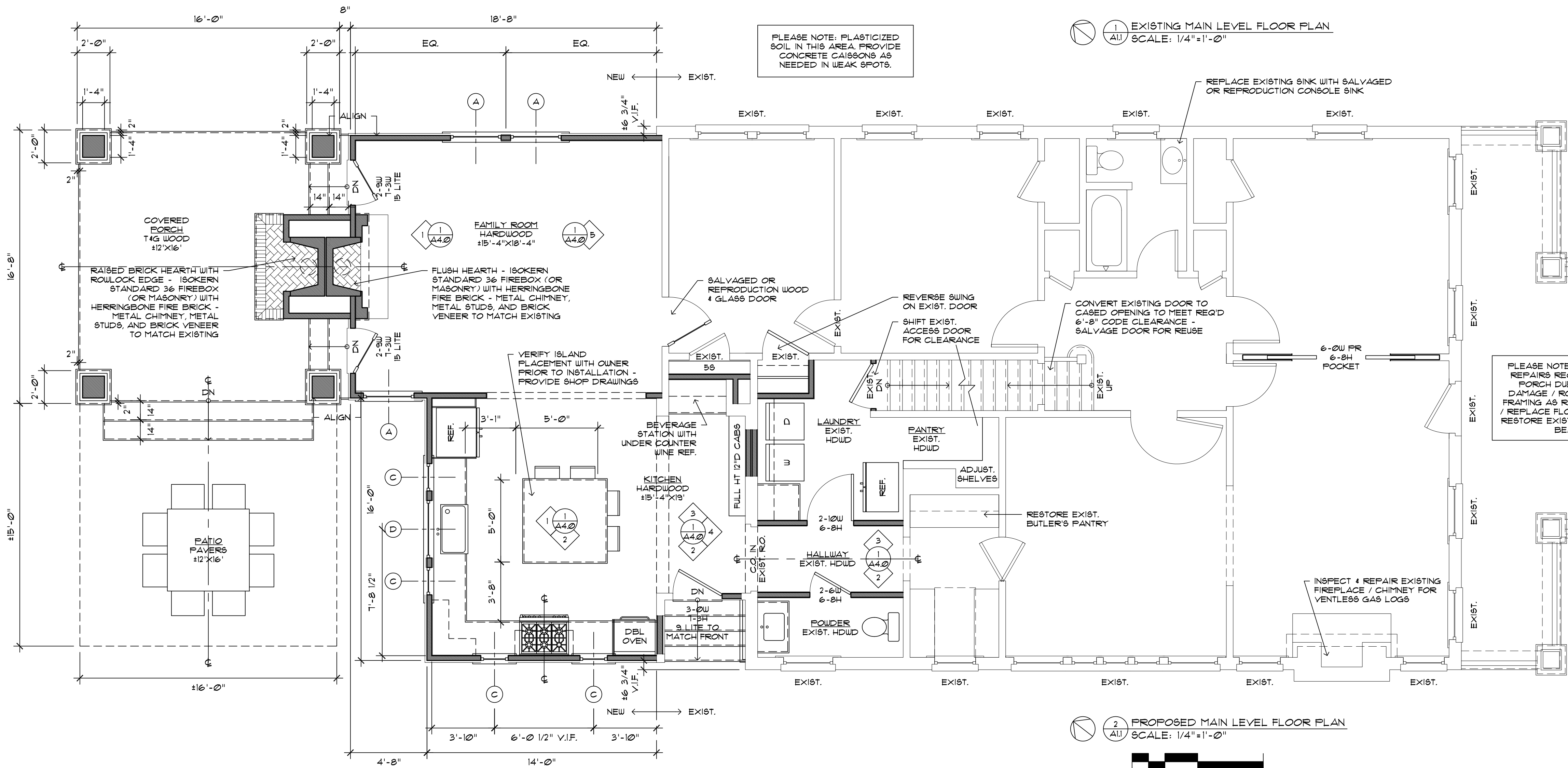
- EXISTING DRAWINGS ARE FOR REFERENCE ONLY. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL UNDESIGNATED DIMENSIONED WALLS TO BE 3 1/2" WOOD STUD.
- ALL UNDESIGNATED DOORS TO BE CENTERED OR TO BE LOCATED 6" OFF SIDEWALL.
- SOUND ATTENUATION BATTS SURROUNDING ALL BATHROOMS, LAUNDRY, KITCHEN INCL. INTERIOR PTNS.
- INSULATION AT NEW FLOORS, WALLS, CEILINGS, AND ROOF PER CODE.
- SEE ELECTRICAL DIAGRAM FOR ELECTRICAL LAYOUT.
- PLUMBING ROUGH TO BE COORDINATED WITH CABINETRY SHOP DRAWINGS PRIOR TO INSTALLATION.
- APPLIANCE ROUGH TO BE COORDINATED WITH CABINETRY SHOP DRAWINGS PRIOR TO INSTALLATION.
- NEW ROOF SLOPES INTENDED TO MATCH EXISTING ROOF SLOPES - NEW FASCIA INTENDED TO ALIGN WITH EXISTING FASCIA - VERIFY IN FIELD.
- ALL NEW GUTTERS & DOWNSPOUTS. COORDINATE IN FIELD AND VERIFY WITH ARCHITECT / HOMEOWNER.
- SEE STRUCTURAL DRAWINGS FOR ALL FOUNDATION, FRAMING, AND DETAIL INFORMATION. ARCHITECT NOT RESPONSIBLE FOR STRUCTURAL DESIGN.

LEGEND

IR 15 ROD & SHELF CONFIGURATION (DEFAULT SIZE 12")

NOTE: GUTTERS AND DOWNSPOUTS TO BE COORDINATED.

NOTE: NEW DOOR LOCATIONS TO BE 2 PANEL SOLID WOOD (OPTION FOR SALVAGED) WITH MORTISE SETS. OWNER TO SELECT KNOB FINISH (BRASS OR GLASS).



2 PROPOSED MAIN LEVEL FLOOR PLAN  
SCALE: 1/4"=1'-0"



1708 Park Road  
Charlotte, NC 28203

Existing  
16 May 2017

Schematics  
3 August 2017

Progress Drawings  
6 October 2017  
17 December 2017  
21 December 2017

Historic District / Landmarks

### Progress Drawings

### Final Pricing

## Revisions

1. EXISTING DRAWINGS ARE FOR REFERENCE ONLY. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
2. ALL UNDESIGNATED DIMENSIONED WALLS TO BE 3 1/2" WOOD STUD.
3. ALL UNDIMENSIONED DOORS TO BE CENTERED OR TO BE LOCATED ON ONE SIDEWALL.
4. SOUND ATTENUATION BATTS SURROUNDING ALL BATHROOMS, LAUNDRY, KITCHEN INCL. INTERIOR PTNS.
5. INSULATION AT NEW FLOORS, WALLS, CEILINGS, AND ROOF FASCIA.
6. SEE ELECTRICAL DIAGRAM FOR ELECTRICAL LAYOUT.
7. PLUMBING ROUGH TO BE COORDINATED WITH CABINETRY SHOP DRAWINGS PRIOR TO INSTALLATION.
8. APPLIANCE ROUGH TO BE COORDINATED WITH CABINETRY SHOP DRAWINGS PRIOR TO INSTALLATION.
9. NEW ROOF BATTENS INSURING PROPERLY TO EXISTING ROOF FLOES - NEW FASCIA INTENDED TO ALIGN WITH EXISTING FASCIA - VERIFY IN FIELD.
10. ALL NEW GUTTERS & DOWNSPOUTS COORDINATE IN FIELD AND VERIFY WITH ARCHITECT/HOMEOWNER.

SEE STRUCTURAL DRAWINGS FOR FOUNDATION, FRAMING, AND DETAIL INFORMATION. ARCHITECT NOT RESPONSIBLE FOR STRUCTURAL DESIGN.

IR IS ROD &amp; SHELF CONFIGURATION (DEFAULT SIZE 12")

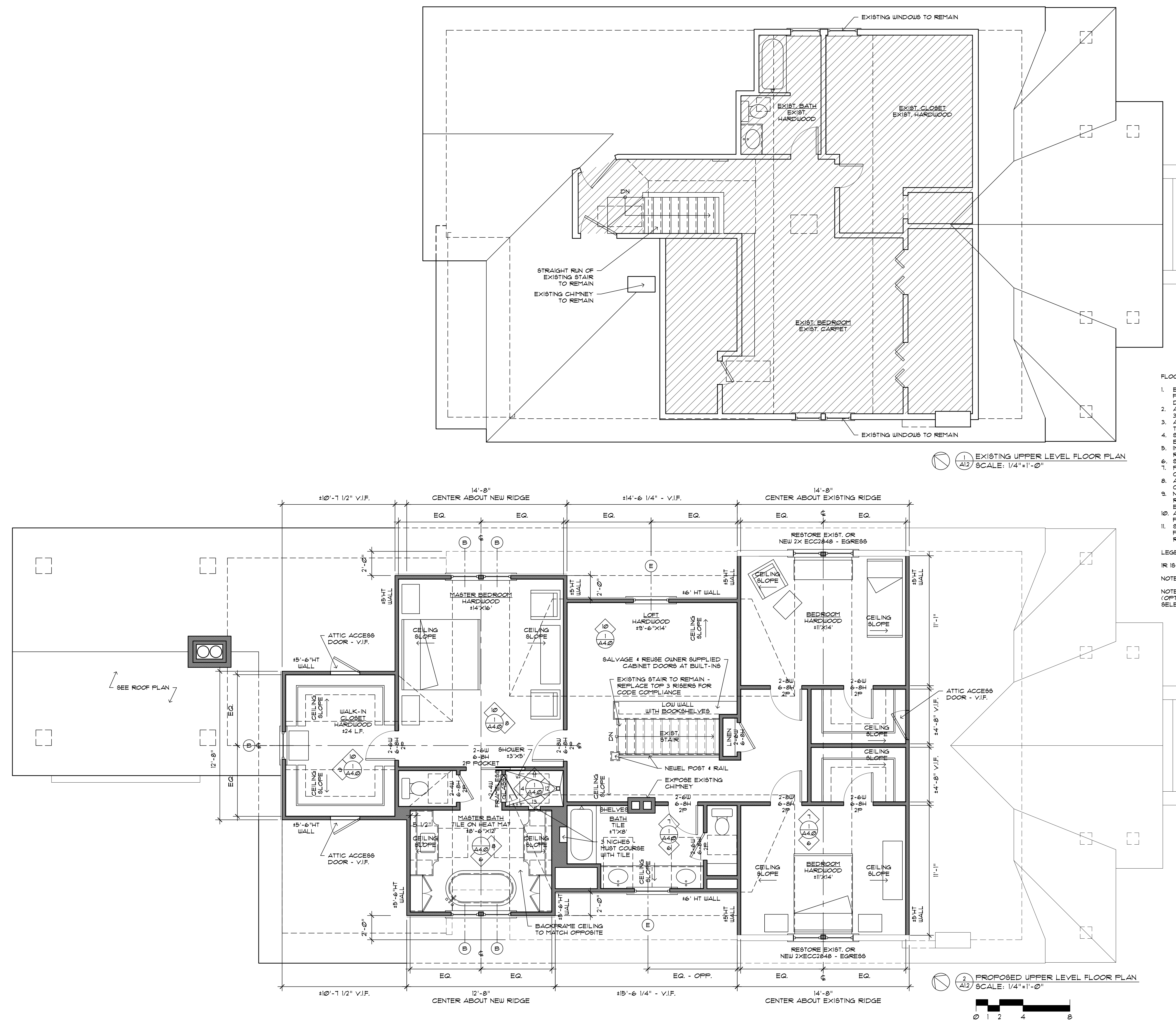
NOTE: GUTTERS AND DOWNSPOUTS TO BE COORDINATED.

NOTE: NEW DOOR LOCATIONS TO BE 2 PANEL SOLID WOOD (OPTION FOR SALVAGED) WITH MORTISE SETS. OWNER TO SELECT KNOB FINISH (BRASS OR GLASS).

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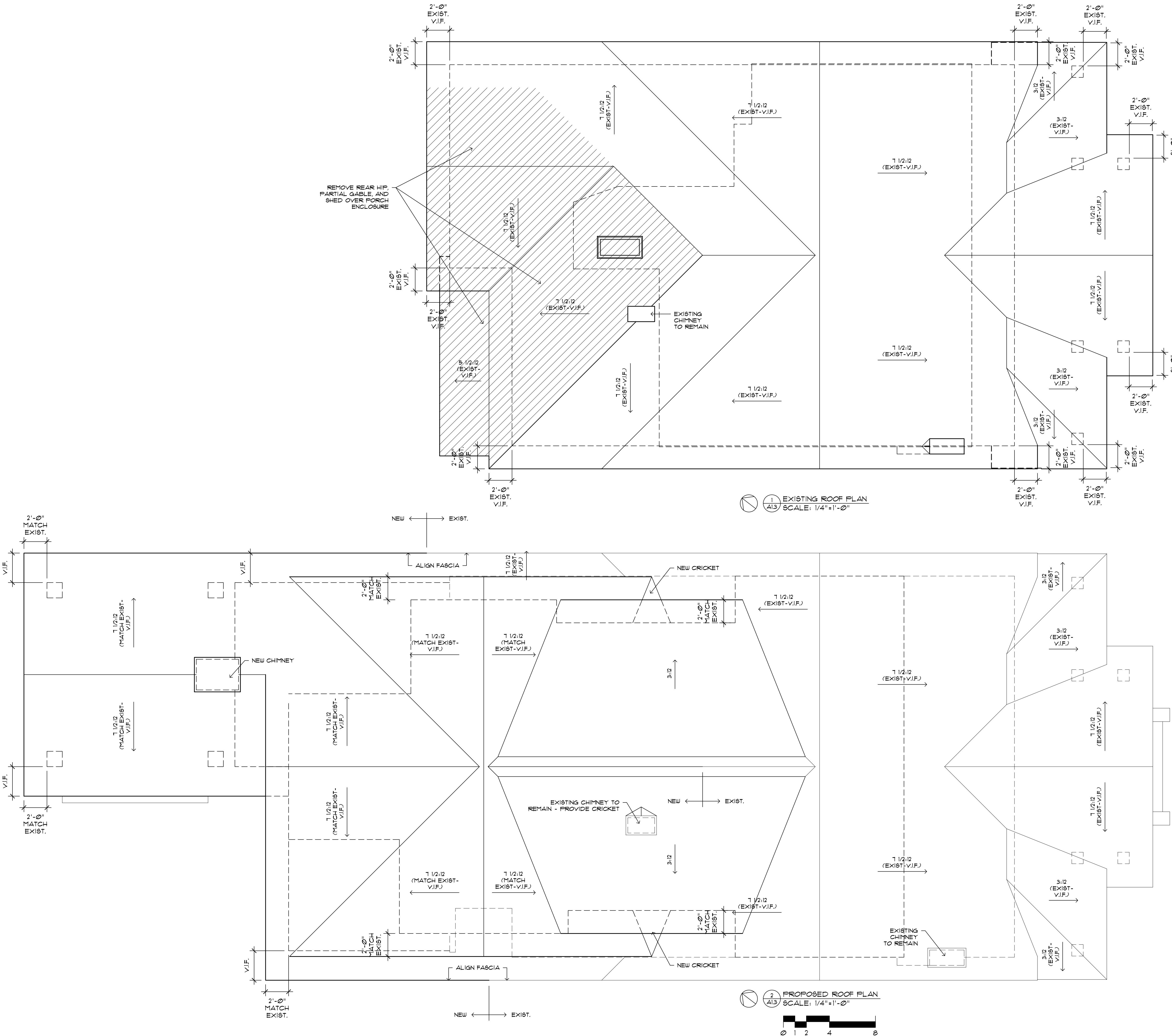
Revisions

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ROOF PLANS

A1.3





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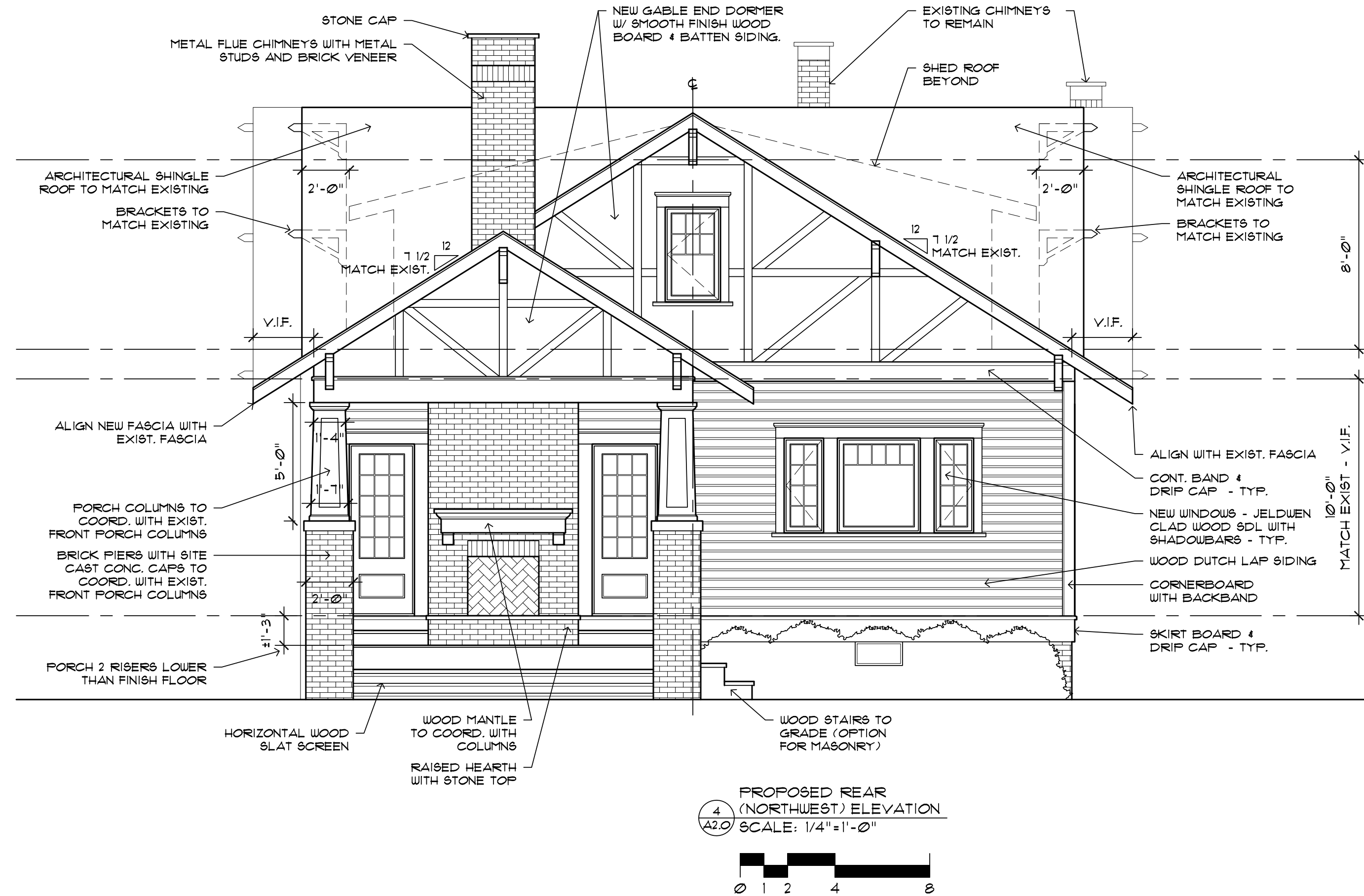
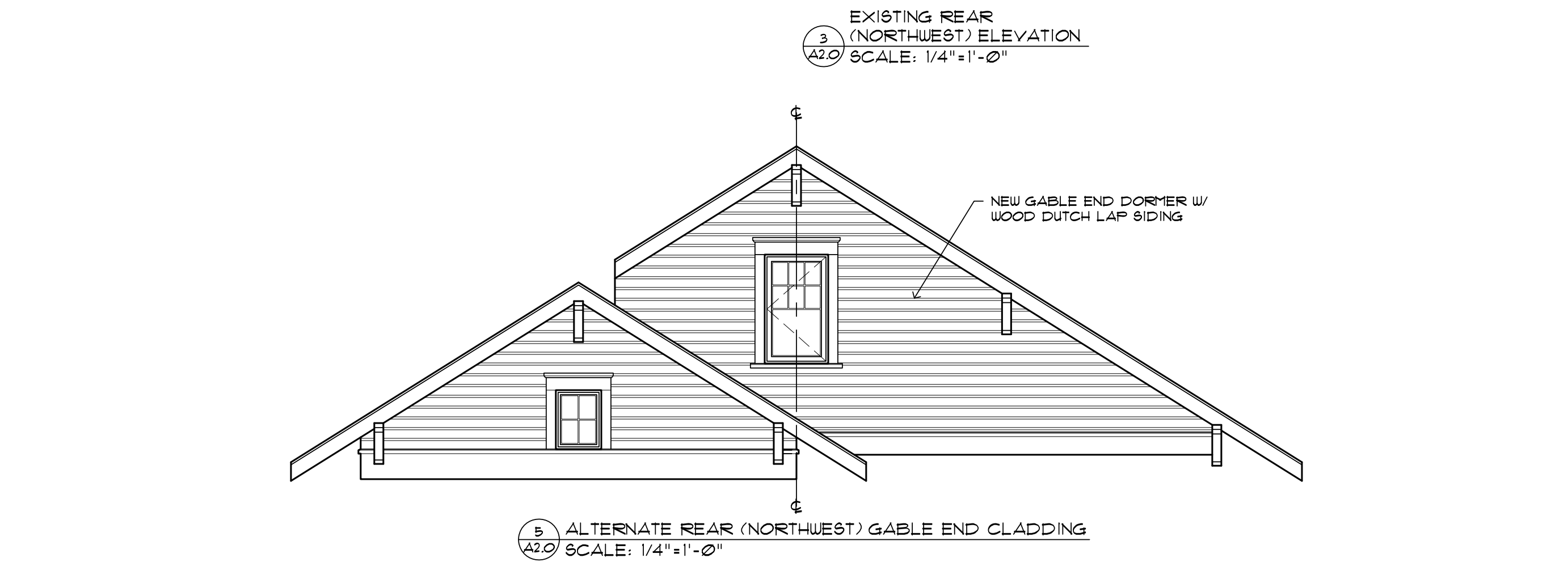
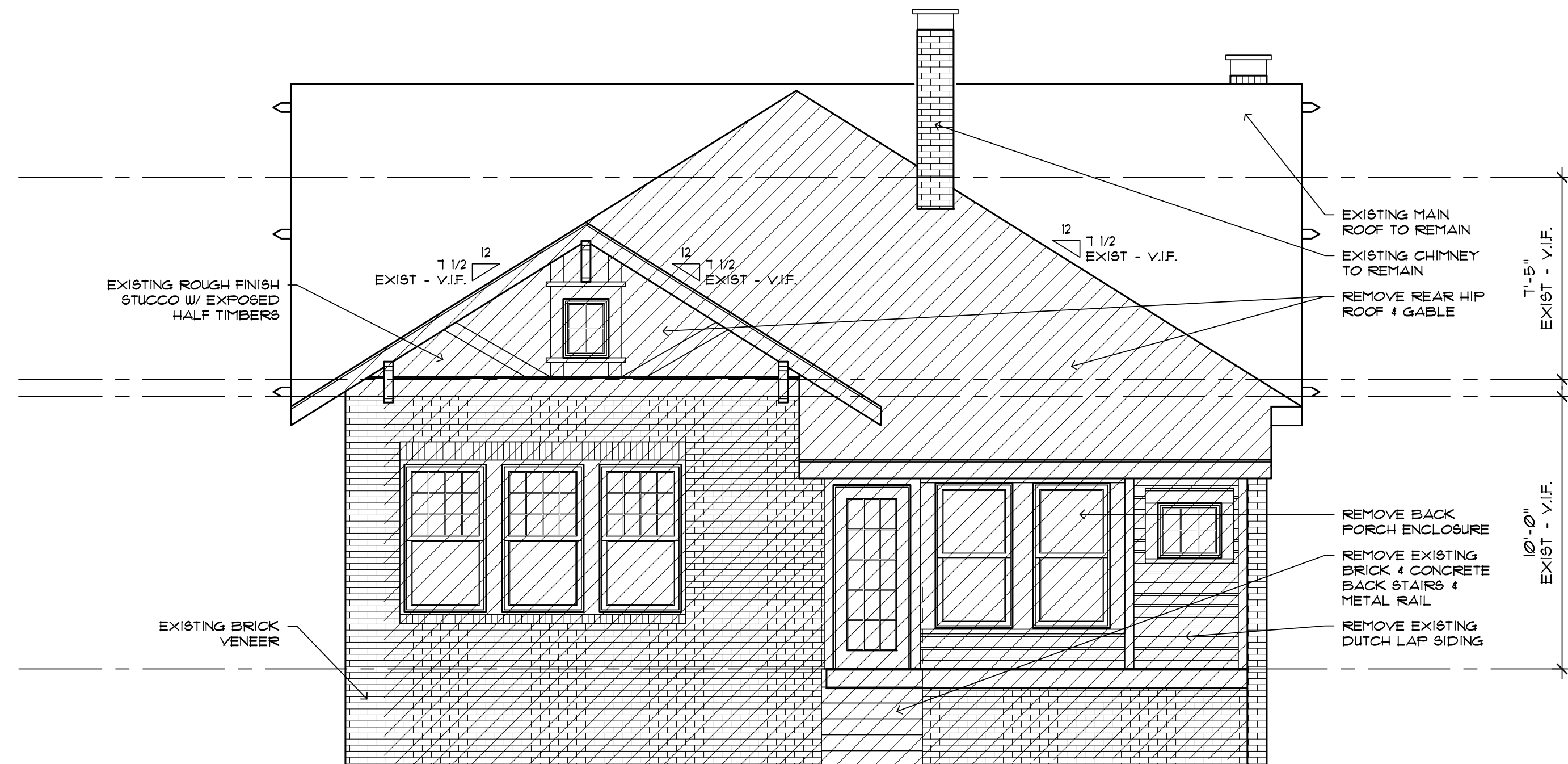
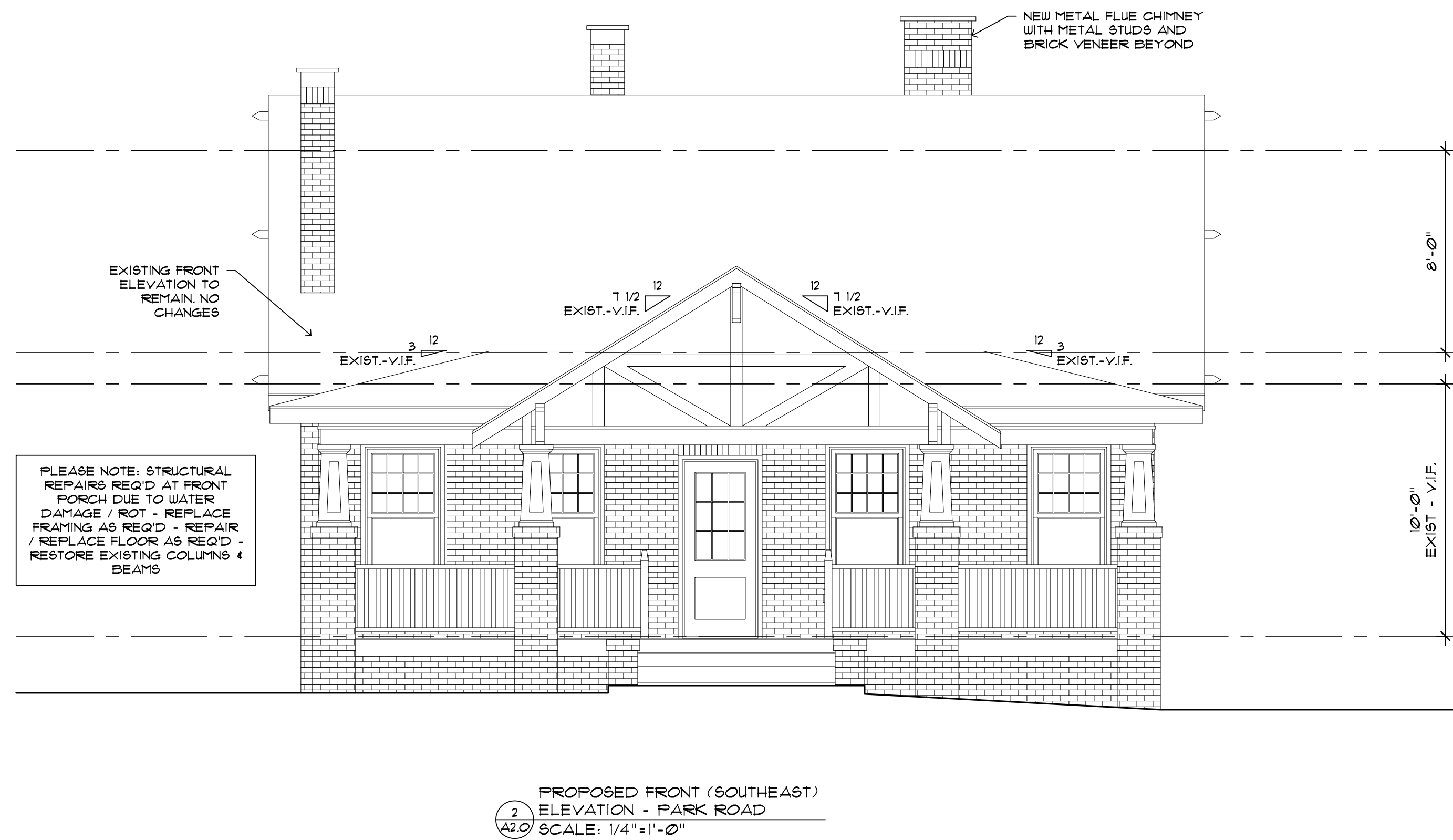
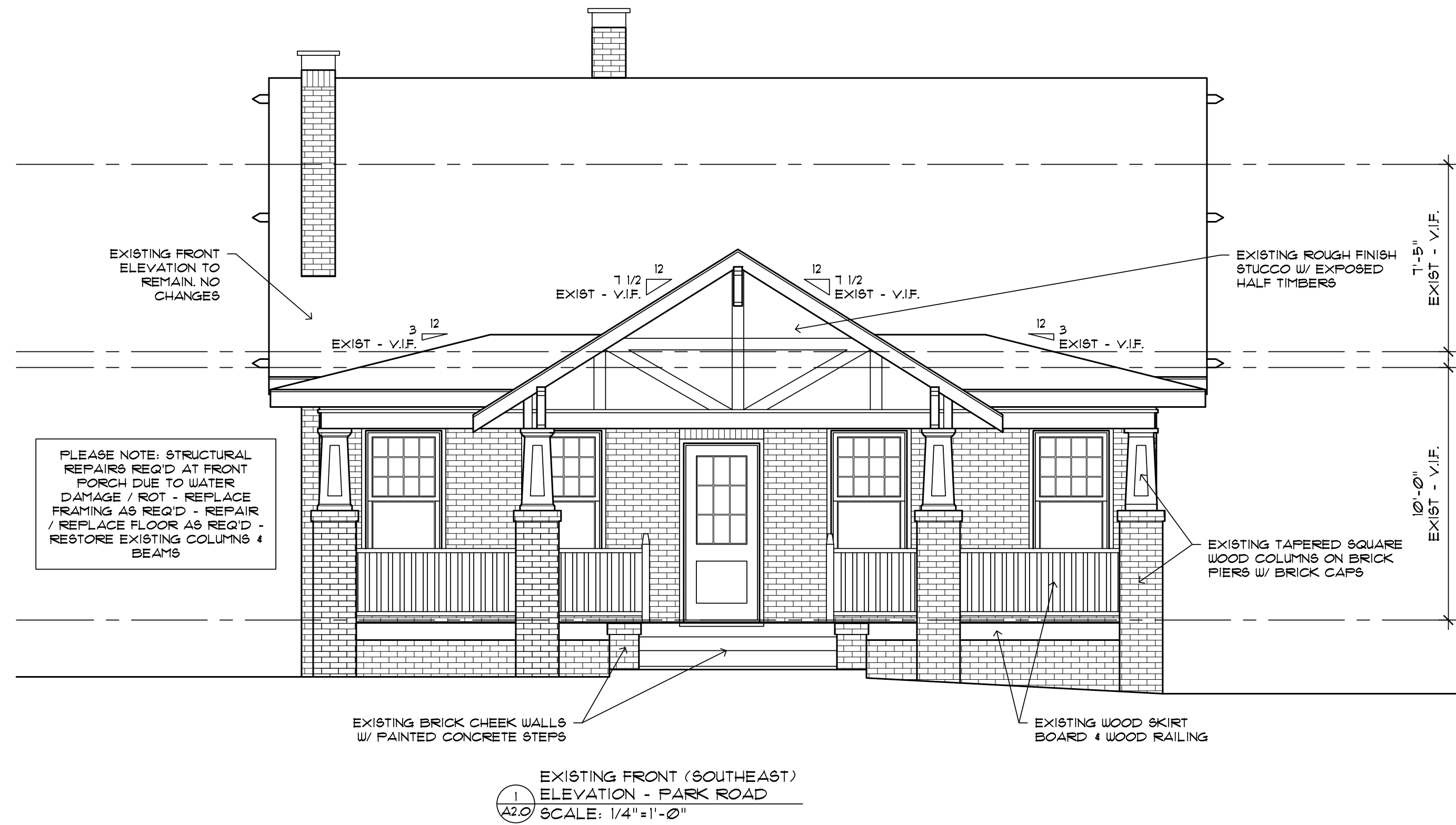
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ELEVATIONS

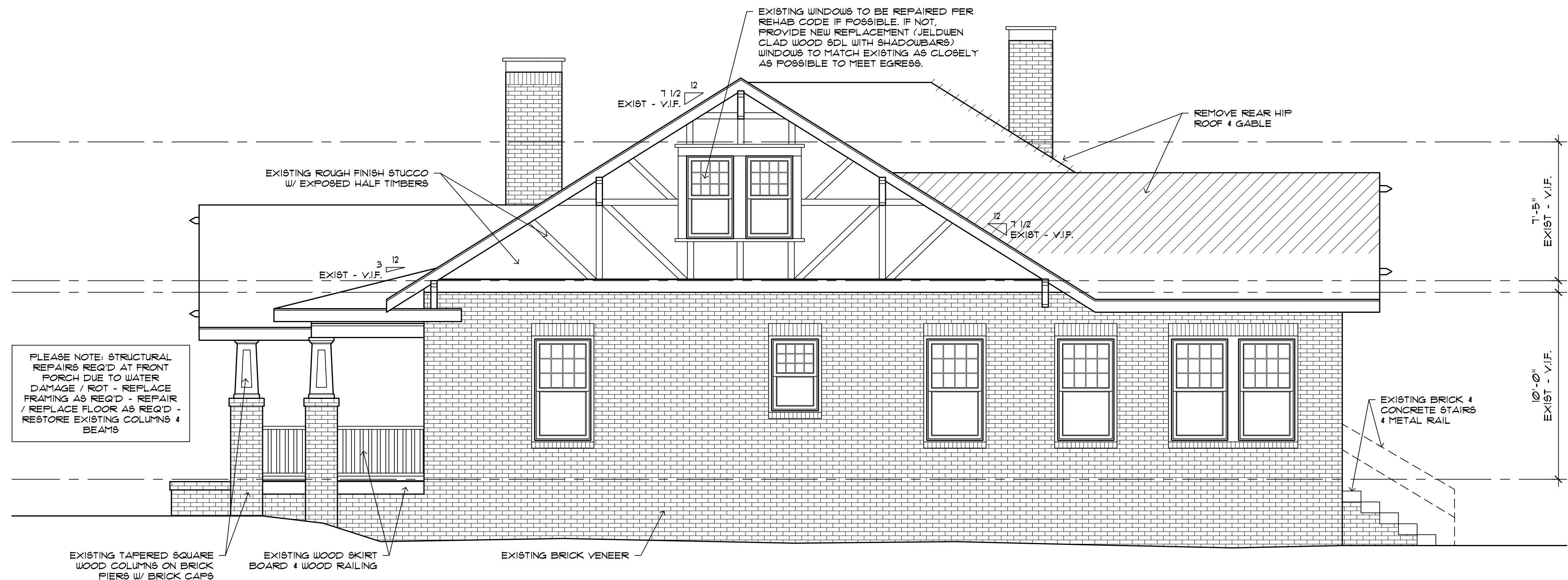
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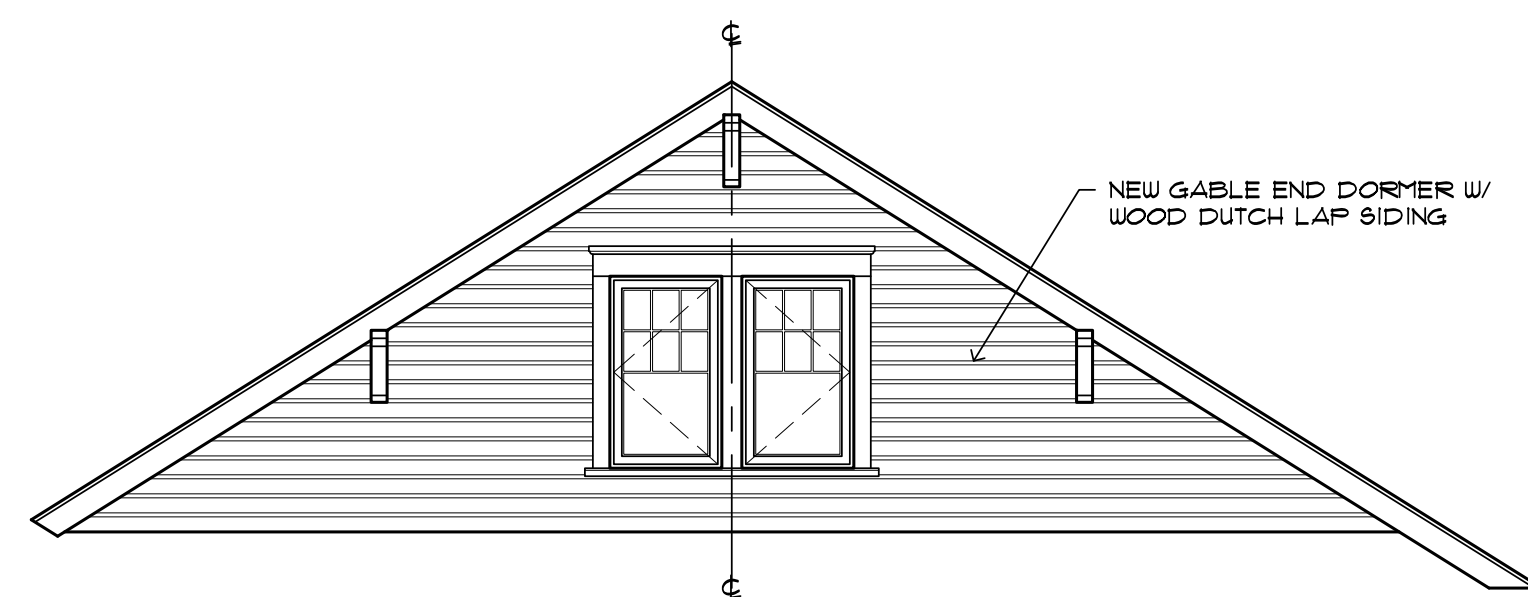
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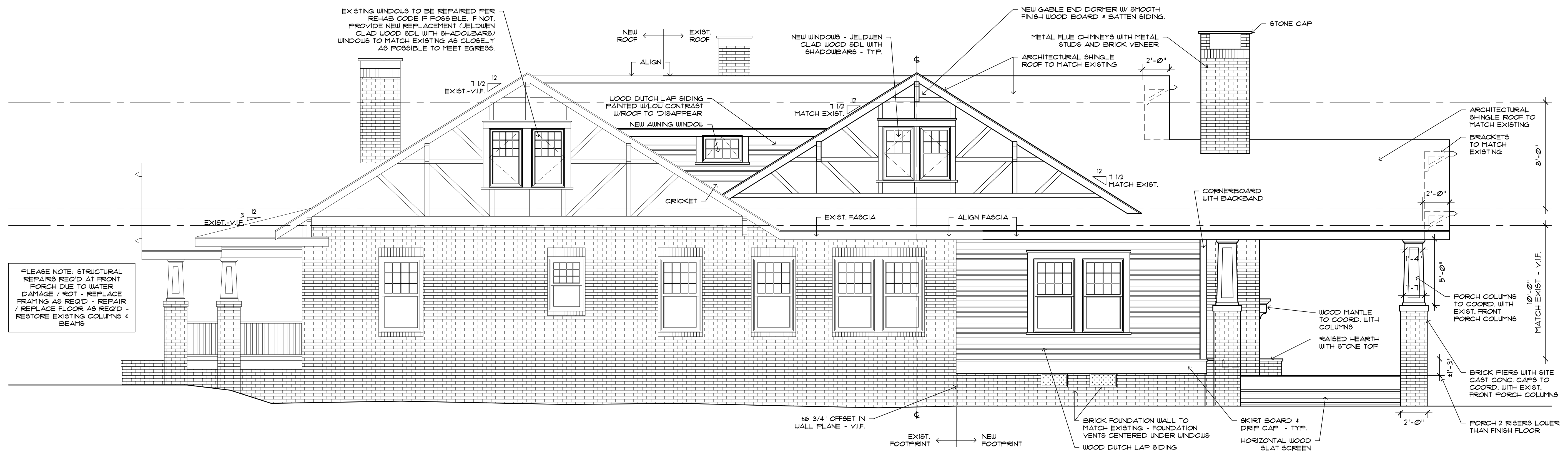
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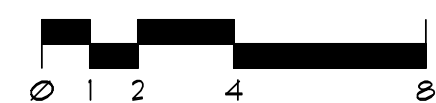
1 EXISTING SIDE (NORTHEAST) ELEVATION  
SCALE: 1/4"=1'-0"



3 ALTERNATE SIDE (NORTHEAST) GABLE END CLADDING  
SCALE: 1/4"=1'-0"



2 PROPOSED SIDE (NORTHEAST) ELEVATION  
SCALE: 1/4"=1'-0"

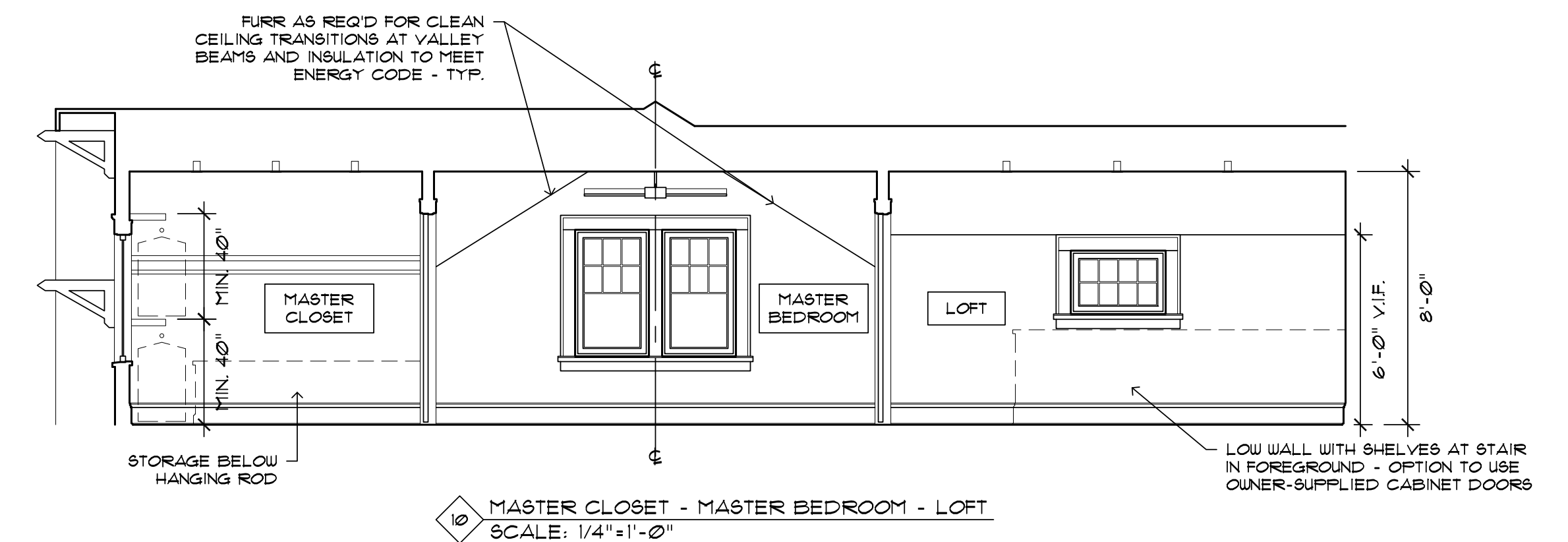
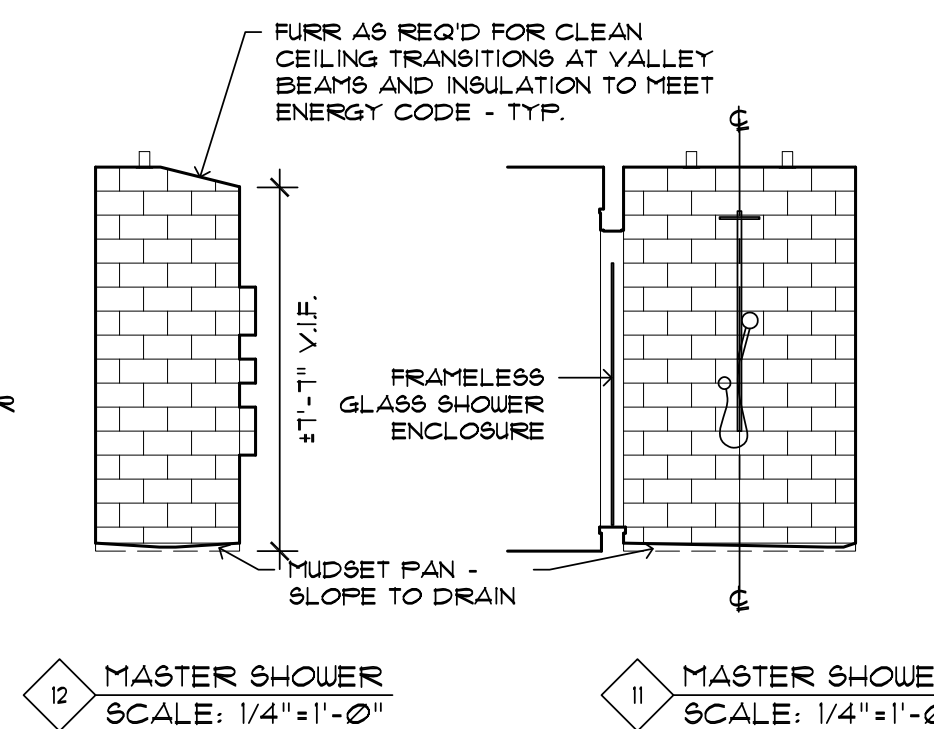
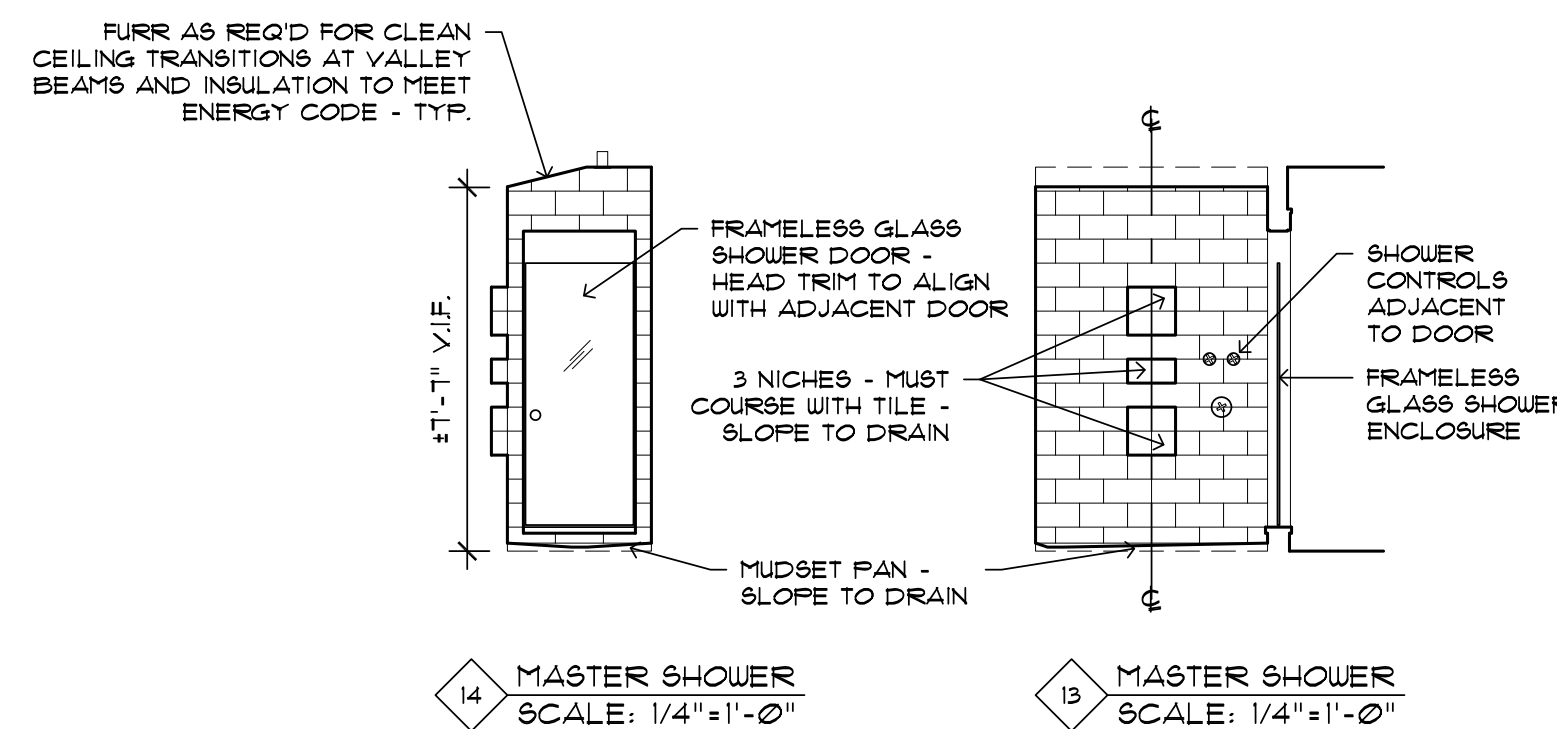
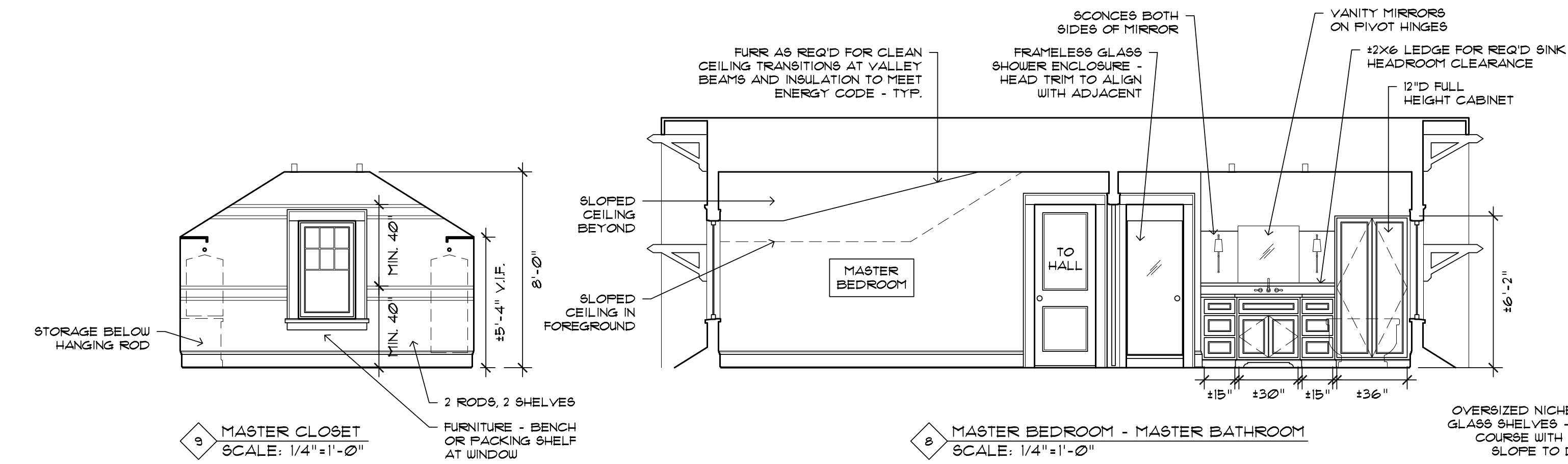
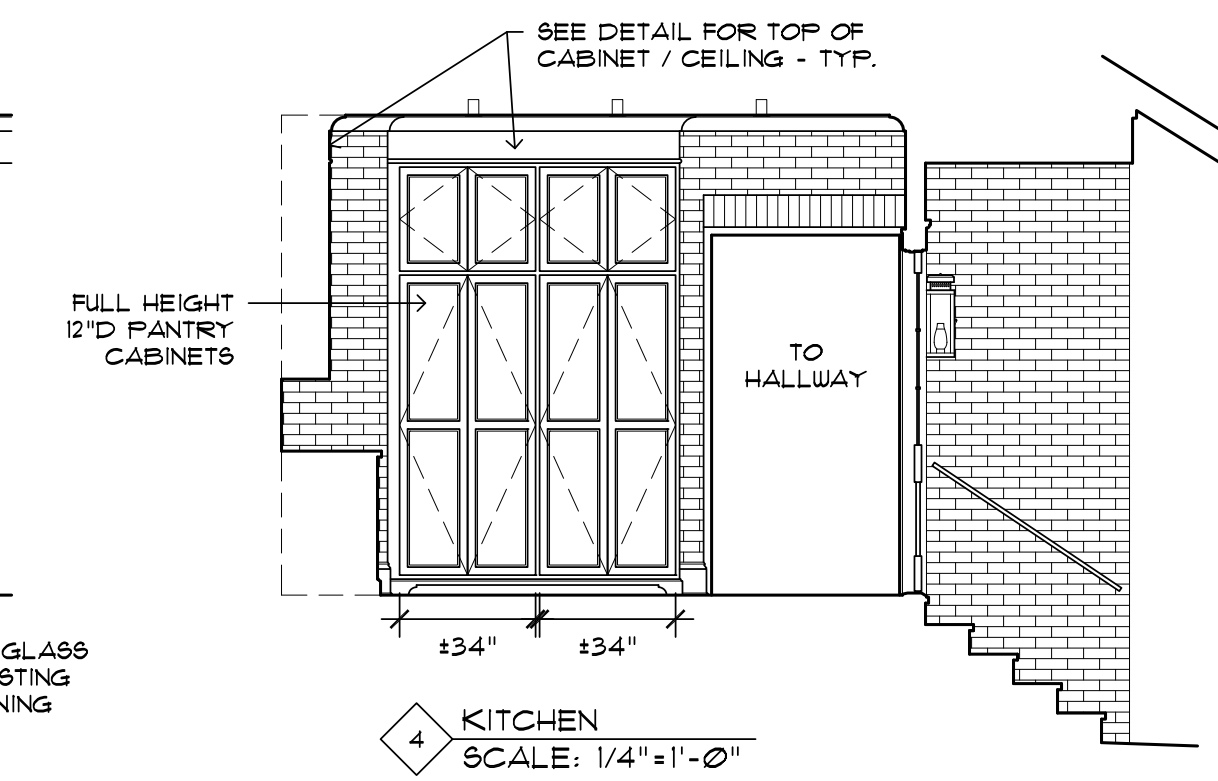
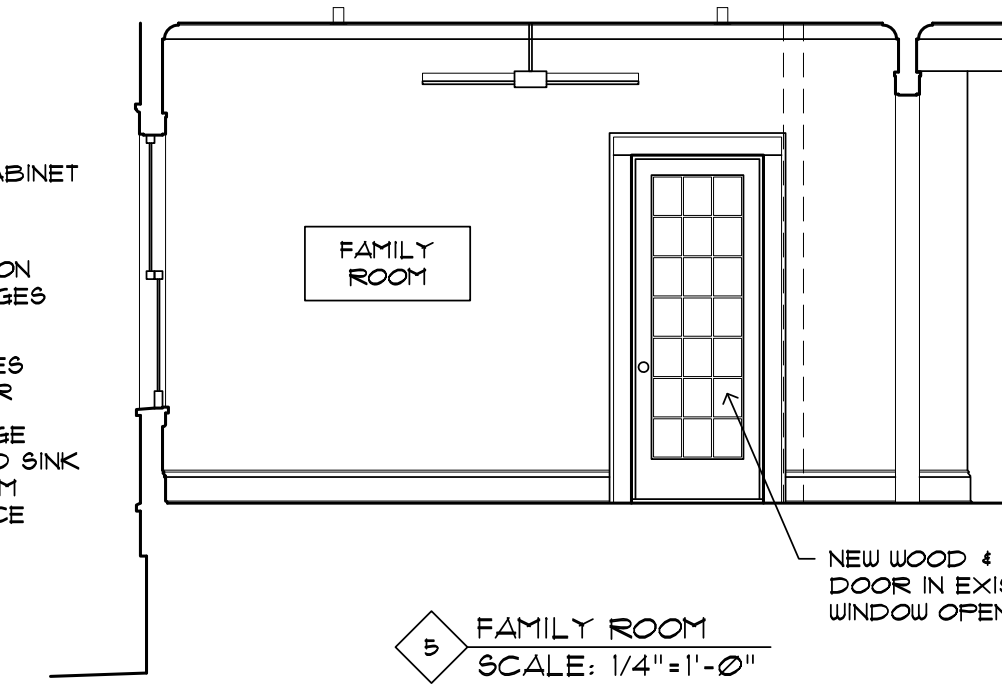
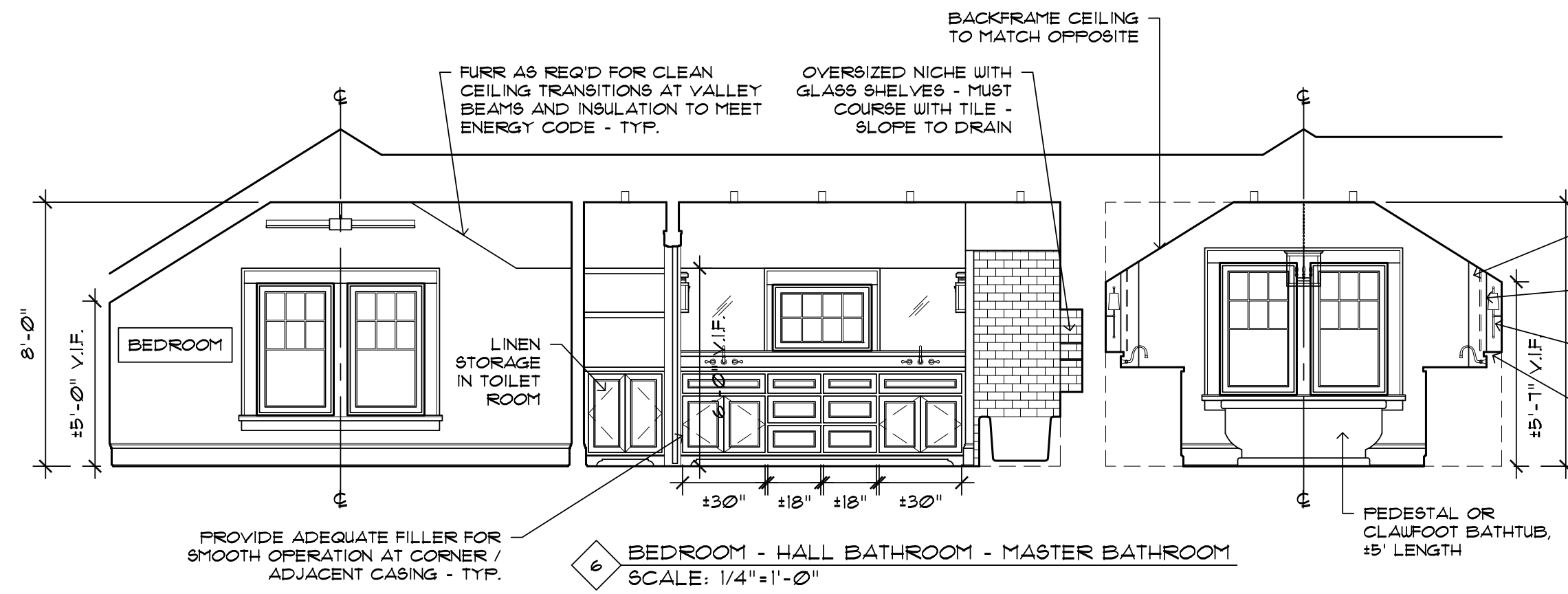
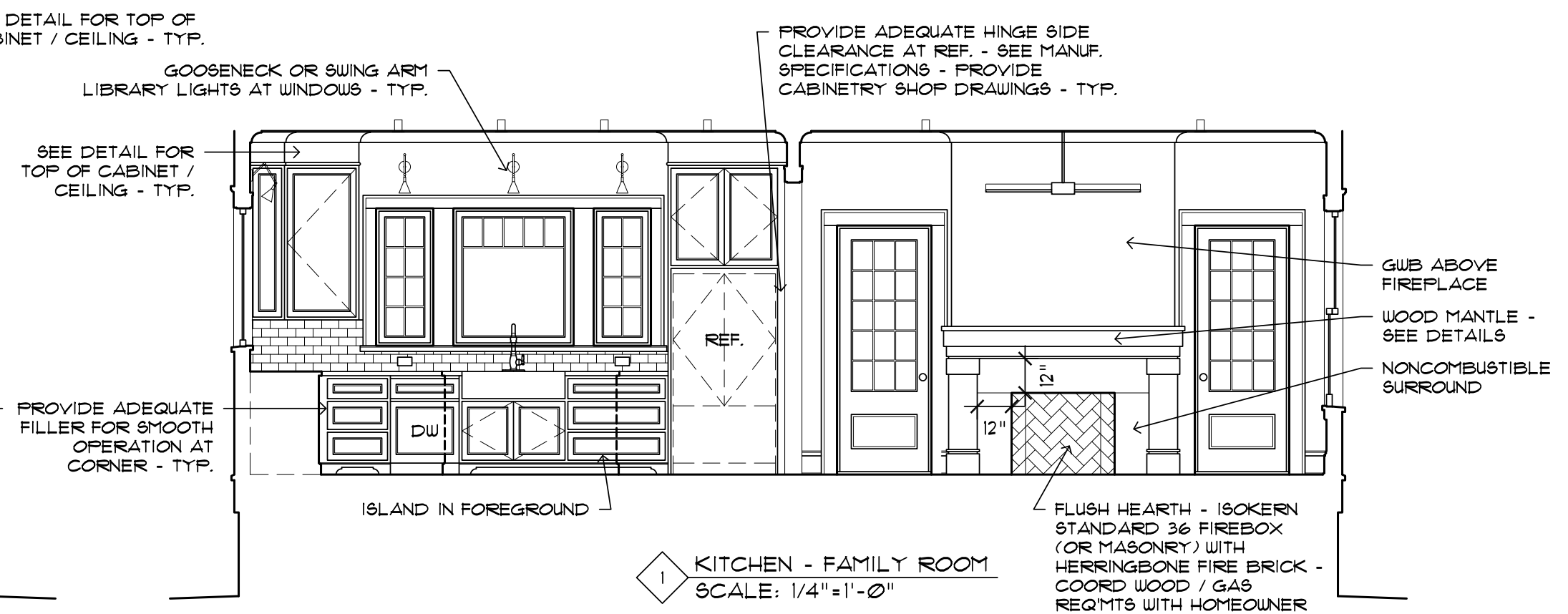
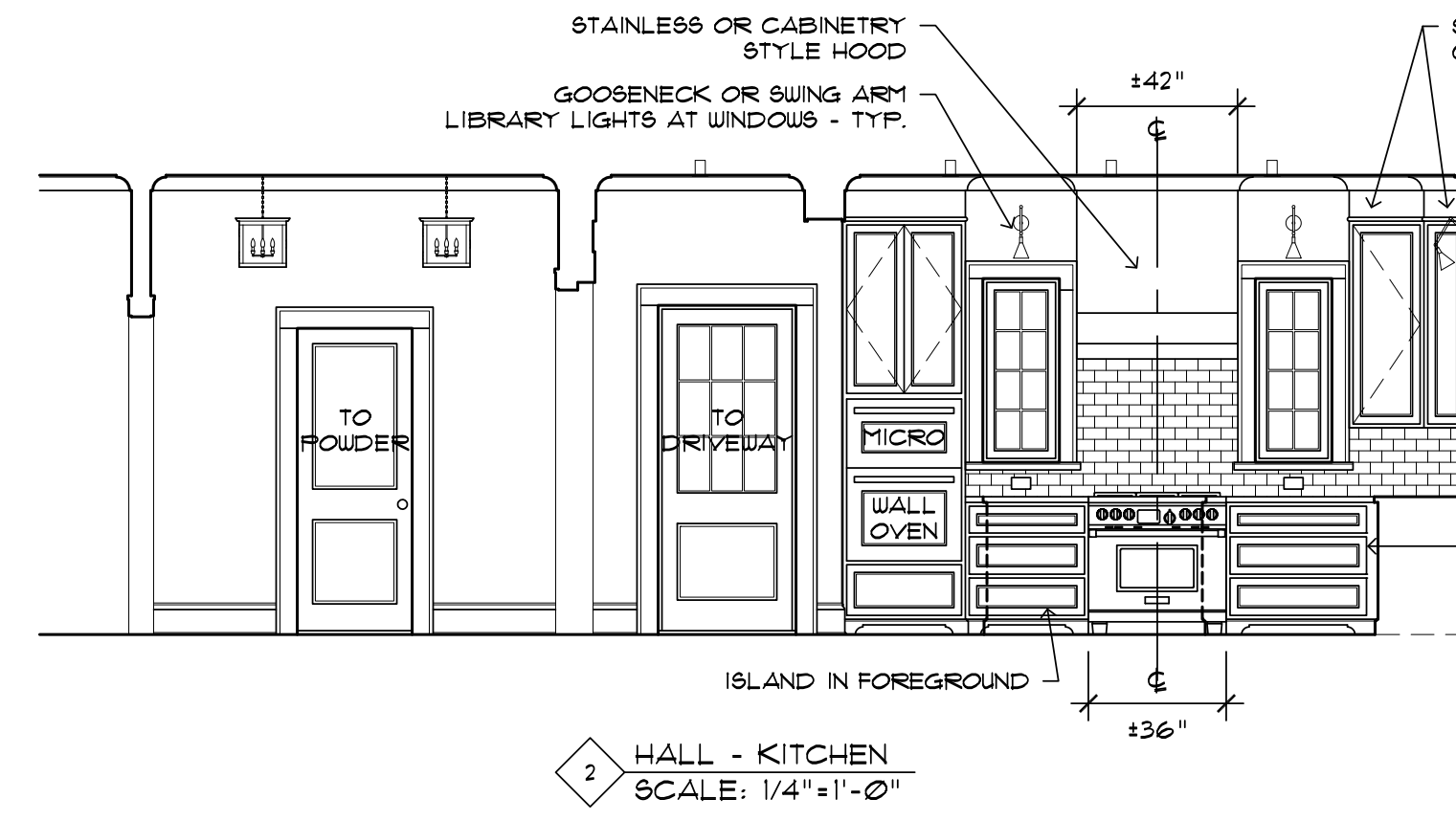
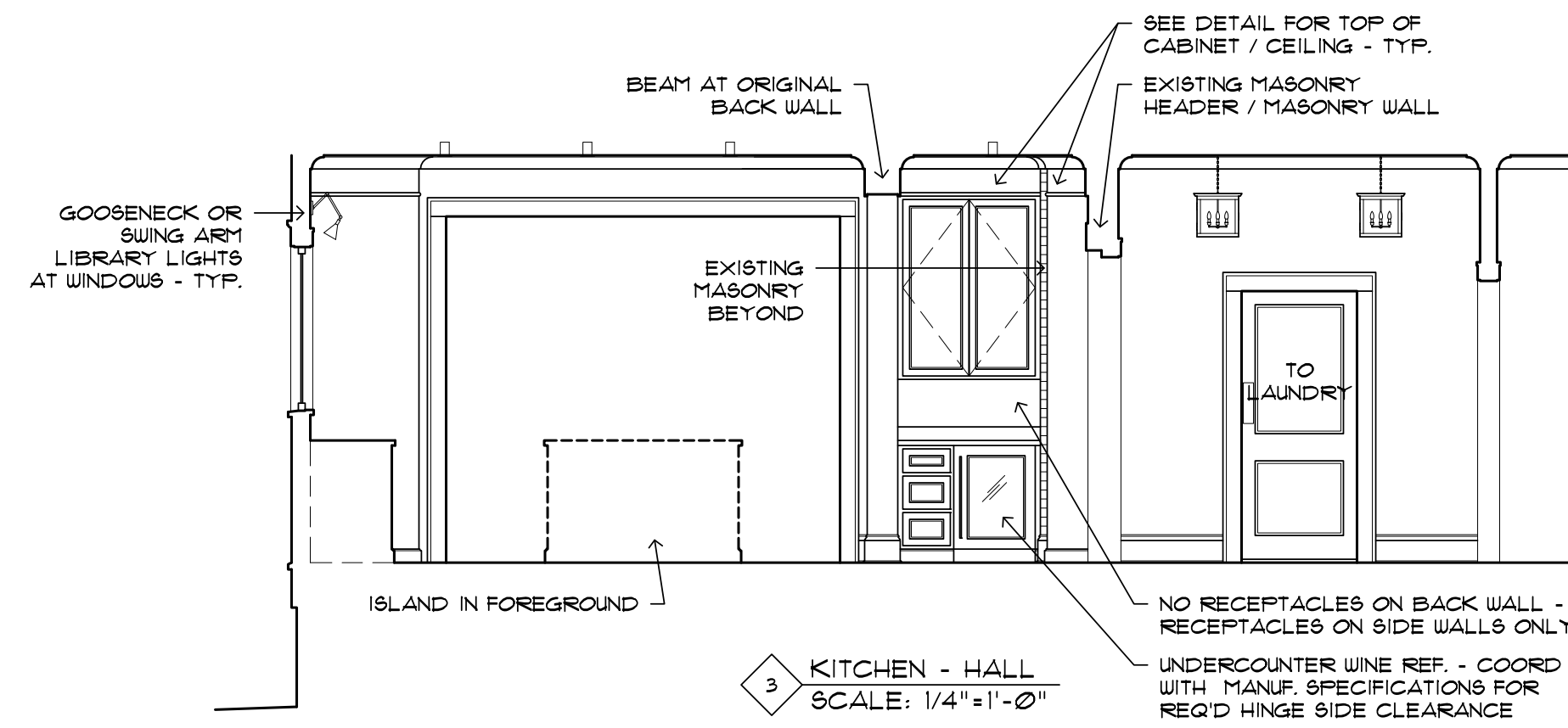






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2 PROPOSED MAIN LEVEL FLOOR PLAN  
SCALE: 1/4"=1'-0"



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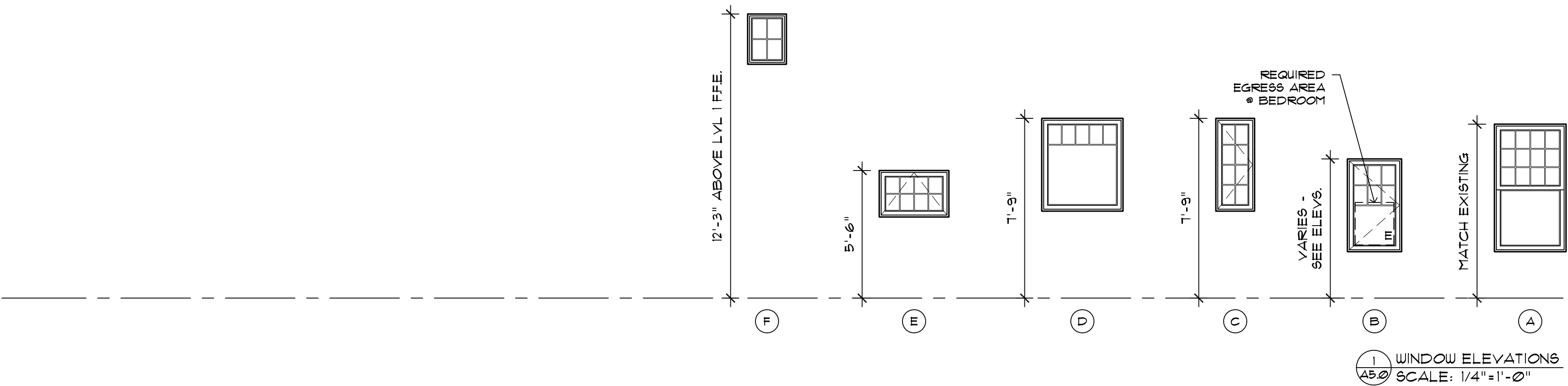
21 December 2011

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WINDOW SCHEDULE:

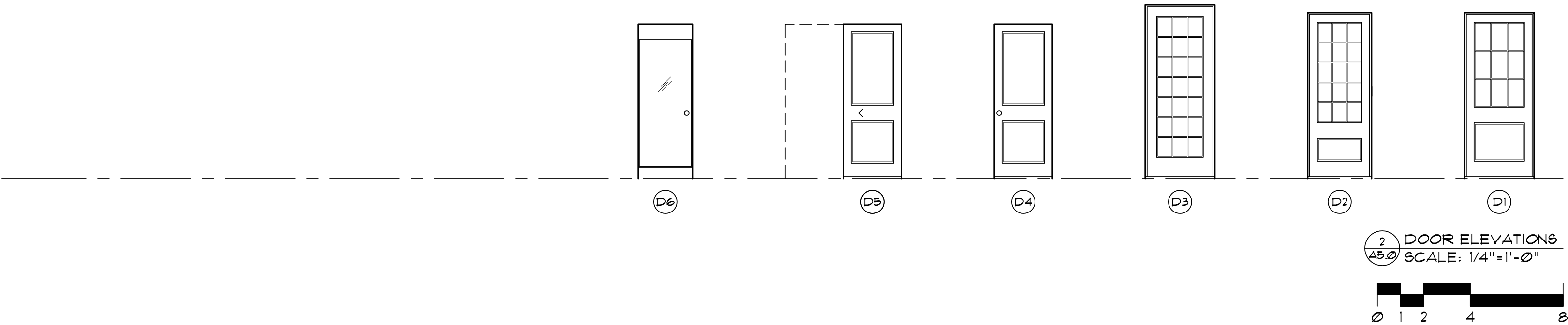
SYMBOL	MANUF.	MANUF. *	WIDTH	HEIGHT	HEAD HT **	CONFIG.	TYPE	REMARKS	SYMBOL
A	JELDUEEN OR EQUAL	ECD3166	3'-1"	5'-6"	MATCH EXIST.	SEE 1/A5.0	CLAD*	DOUBLE HUNG	A
B	JELDUEEN OR EQUAL	ECC2848	2'-4"	4'-0"	VARIES	SEE 1/A5.0	CLAD*	CASEMENT - MUST MEET EGRESS	B
C	JELDUEEN OR EQUAL	ECC2848	1'-8"	4'-0"	1'-8"	SEE 1/A5.0	CLAD*	CASEMENT	C
D	JELDUEEN OR EQUAL	ECCP4248	3'-6"	4'-0"	1'-8"	SEE 1/A5.0	CLAD*	PICTURE	D
E	JELDUEEN OR EQUAL	ECA3624	3'-0"	2'-0"	5'-6"	SEE 1/A5.0	CLAD*	AWNING	E
F	SALVAGED EXISTING	-	V.I.F.	V.I.F.	12'-3"	EXIST.	EXIST.	SALVAGE EXISTING FOR RE-USE AS ALTERNATE OPTION	F

\* ALL WINDOWS - INCLUDING REPLACEMENT SASH KITS - TO BE CLAD WOOD SCL WITH SHADOWBARS AND PUTTY PROFILE. COLOR TO BE SELECTED BY OWNER.

\*\* HEAD HEIGHT MAY VARY BY LOCATION - VERIFY WITH ELEVATIONS.

E WINDOWS MUST COMPLY WITH N.C. RESIDENTIAL CODE SECTION 310.1.1; MINIMUM 5.0 SF. TOTAL GLAZING AREA IN GROUND LEVEL BEDROOM WINDOWS AND 5.1 SF. TOTAL GLAZING AREA IN UPPER STORY BEDROOM WINDOWS FOR EGRESS.

T PROVIDE TEMPERED GLASS AS REQUIRED PER CODE.



DOOR SCHEDULE:

*	LOCATION	MANUF.	MANUF. *	WIDTH	HEIGHT	TYPE	HARDWARE	ELEV.	REMARKS	*
MAIN LEVEL										
01	-	-	-	-	-	-	-	-	-	01
02	-	-	-	-	-	-	-	-	-	02
03	-	-	-	-	-	-	-	-	-	03
04	-	-	-	-	-	-	-	-	-	04
05	-	-	-	-	-	-	-	-	-	05
06	-	-	-	-	-	-	-	-	-	06
07	-	-	-	-	-	-	-	-	-	07
08	-	-	-	-	-	-	-	-	-	08
09	-	-	-	-	-	-	-	-	-	09
10	-	-	-	-	-	-	-	-	-	10
UPPER LEVEL										
11	-	-	-	-	-	-	-	-	-	11
12	-	-	-	-	-	-	-	-	-	12
13	-	-	-	-	-	-	-	-	-	13
14	-	-	-	-	-	-	-	-	-	14
15	-	-	-	-	-	-	-	-	-	15
16	-	-	-	-	-	-	-	-	-	16
17	-	-	-	-	-	-	-	-	-	17
18	-	-	-	-	-	-	-	-	-	18
19	-	-	-	-	-	-	-	-	-	19
20	-	-	-	-	-	-	-	-	-	20
21	-	-	-	-	-	-	-	-	-	21
22	-	-	-	-	-	-	-	-	-	22
23	-	-	-	-	-	-	-	-	-	23
24	-	-	-	-	-	-	-	-	-	24
25	-	-	-	-	-	-	-	-	-	25
26	-	-	-	-	-	-	-	-	-	26

\* ALL NEW EXTERIOR DOORS TO BE CLAD WOOD SCL WITH SHADOWBARS AND PUTTY PROFILE. COLOR TO BE SELECTED BY OWNER.

\*\* REUSED SALVAGED DOORS SHALL RETAIN SPECIFIED SIZES UNLESS OTHERWISE APPROVED BY OWNER / DESIGNER. COORDINATE DOOR SIZE CHANGES WITH SALVAGED INVENTORY.

ME. MATCH EXISTING

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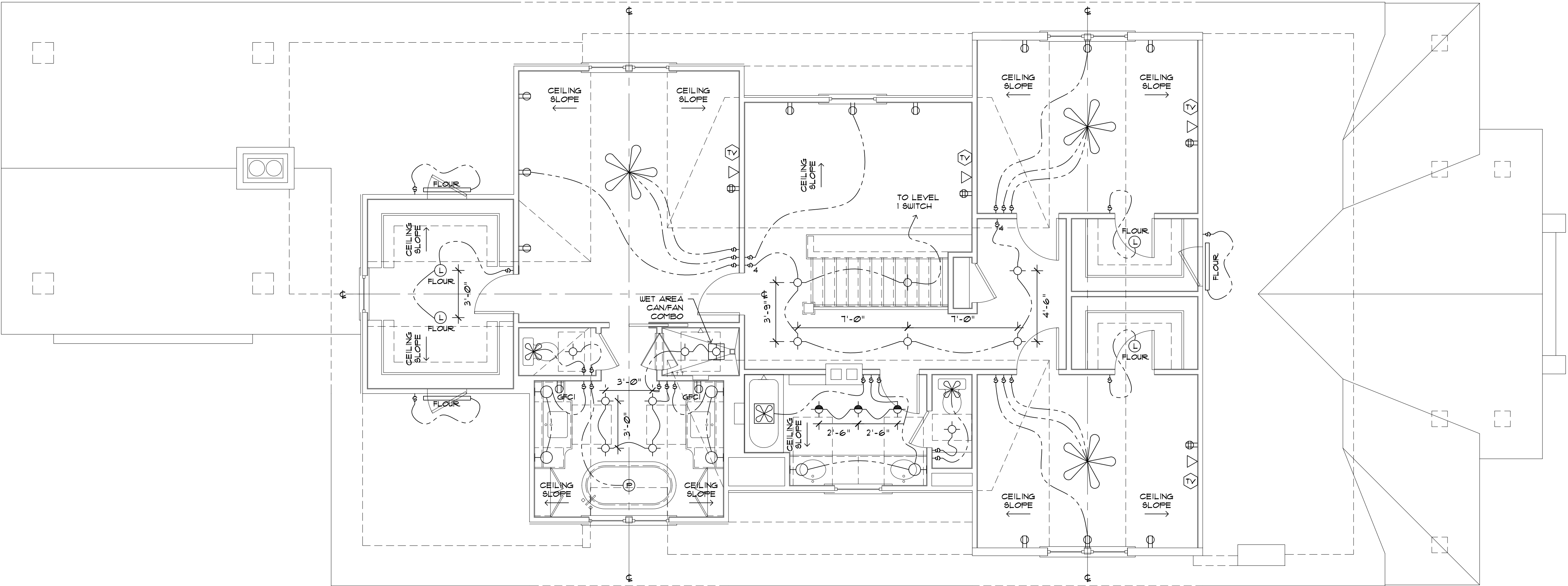
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WINDOW &  
DOOR  
SCHEDULES

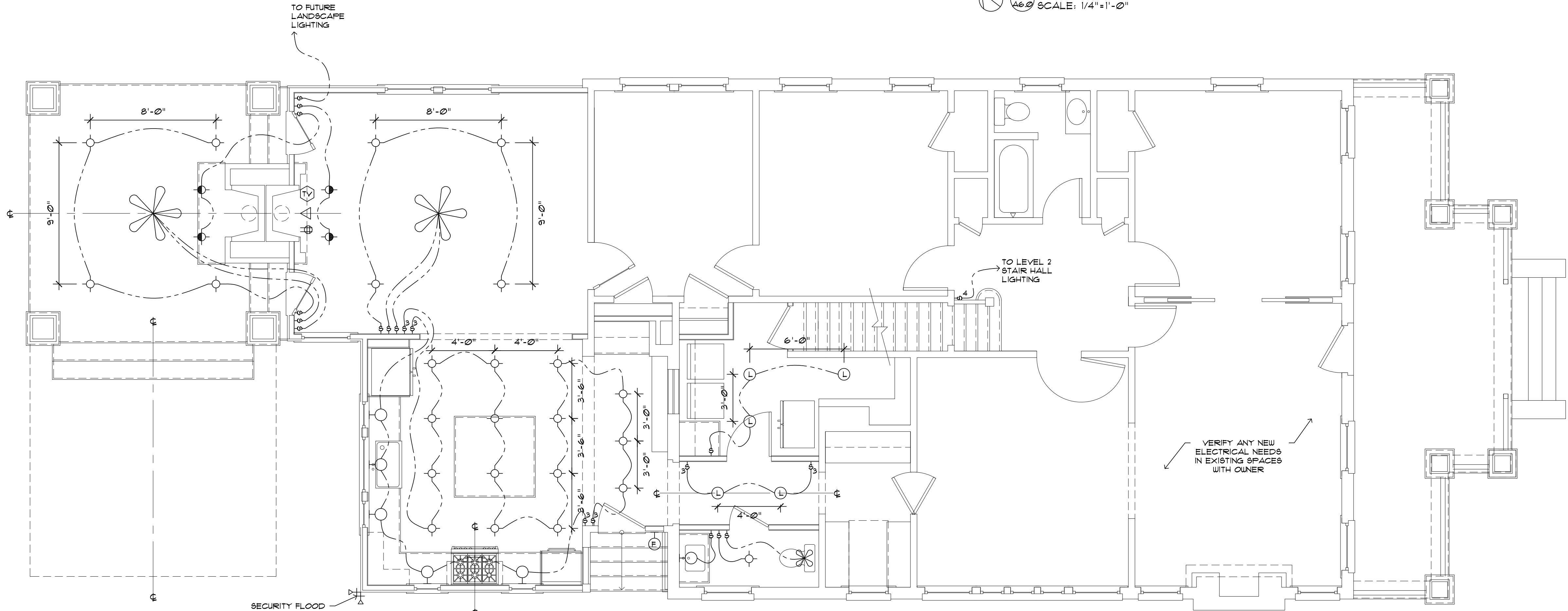
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LEGEND:	
NOTE: ALL ELECTRICAL INFORMATION SHOWN SHALL BE CONSIDERED SUPPLEMENTAL TO MINIMUM CODE REQUIREMENTS.	
	FLOOD LIGHT
	CLG. MOUNTED INCANDESCENT
	WALL SCONCE
	INTERIOR CLG. MOUNTED CAN LIGHT
	EYEBALL CAN LIGHT
	FLUORESCENT LIGHT
	DUPLEX RECEPTACLE
	FLOOR RECEPTACLE
	COMPUTER NETWORK RECEPTACLE
	SWITCH
	THREE POLE SWITCH
	FOUR POLE SWITCH
	LOW VOLTAGE HALOGEN LIGHTING
	CLG. MOUNTED TRACK LIGHTING
	EXTERIOR CLG. MOUNTED CAN
	EXTERIOR WALL MOUNTED LIGHT
	GFCI PROTECTED DUPLEX RECEPTACLE
	WEATHERPROOF / GFCI DUPLEX RECEPTACLE
	QUADRAPLEX RECEPTACLE
	TELEPHONE JACK
	CABLE TV RECEPTACLE
	220V RECEPTACLE
	SMOKE DETECTOR
	WALL MOUNTED INCANDESCENT
	PENDANT INCANDESCENT LIGHT
	EXTERIOR CLG. MOUNTED LIGHT
	CIRCUIT BREAKER PANEL BOX
	FAN
	LIGHT WITH FAN
	VISUAL ALARM
	ALARM BUTTON
	EQUIPMENT DISCONNECT

NOTES:	
1.	ALL ELECTRICAL INFORMATION SHOWN SHALL BE CONSIDERED SUPPLEMENTAL TO MINIMUM CODE REQUIREMENTS.
2.	COORDINATE ALL LIGHT SWITCH / THERMOSTAT / ETC. LOCATIONS INCLUDING HEIGHT - WITH OWNER TO AVOID ART WALLS.
3.	ALL CLOSET & STORAGE FIXTURES TO HAVE LOW-TEMP. FLUORESCENT BULBS.
4.	ALL CANS 4" OR 5" DIAMETER.
5.	USE CAN-FAN COMBO IN BATHROOMS WHEREVER POSSIBLE.
6.	FANS TO HAVE 2 SWITCHES IN OVER-UNDER CONFIGURATION.
7.	IN HISTORIC HOMES, RECEPTACLES TO BE CONFIGURED HORIZONTALLY IN BASE TRIM.



2 UPPER LEVEL ELECTRICAL DIAGRAM  
SCALE: 1/4"=1'-0"



1 MAIN LEVEL ELECTRICAL DIAGRAM  
SCALE: 1/4"=1'-0"

