

DATES:

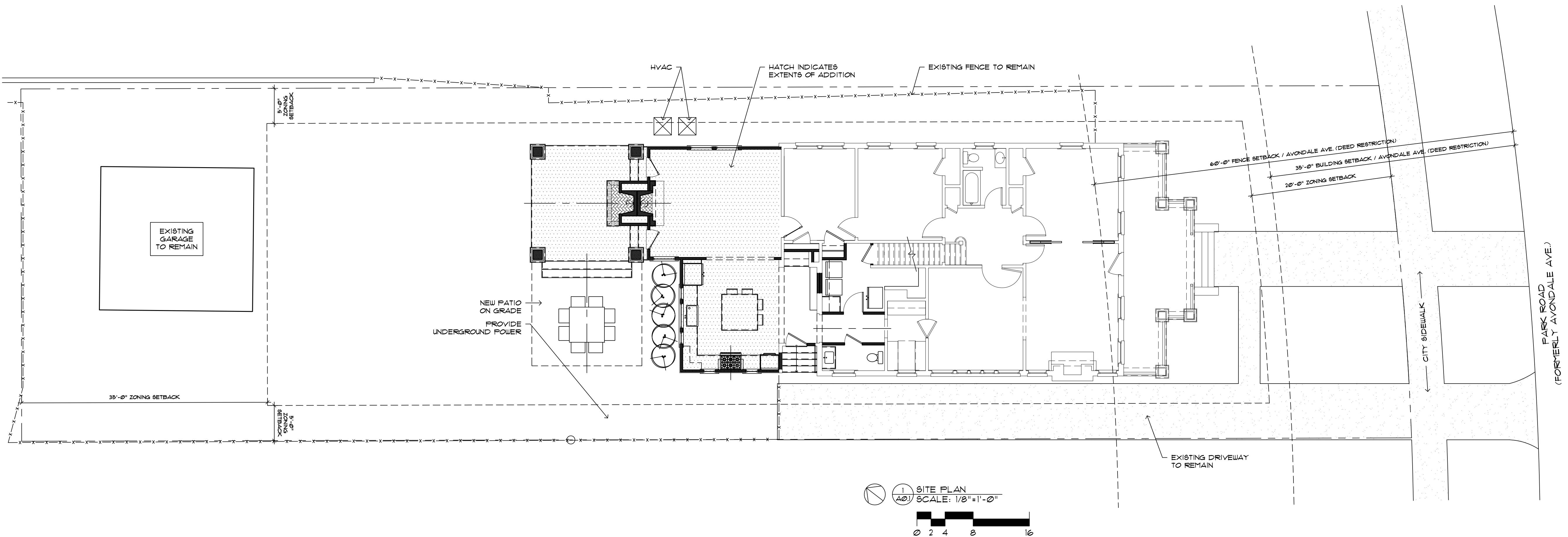
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SITE PLAN

A0.1



GENERAL NOTES:

- It is the responsibility of the Contractor to become fully aware of any and all conditions related to the site and existing conditions that may affect construction activities and/or construction scheduling prior to submitting a bid.
- Contractor shall verify all dimensions and conditions at the jobsite including soil conditions, foundation conditions and conditions related to the location of existing utilities and services before commencing work. All discrepancies shall be reported to the Designer.
- Do not scale drawings or details - use given dimensions. Check details for location of all items not dimensioned on plans.
- The drawings indicate general details of construction - where conditions are not specifically indicated but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by the Designer and, if required, structural engineer.
- Building systems and components not specifically detailed shall be installed, as per minimum manufacturer's recommendations. Notify the Designer of any resulting conflicts.
- All work shall conform to applicable building codes and ordinances. In case of any conflict wherein the methods or standards or the materials specified do not equal or exceed the requirements of the laws or ordinances, the laws or ordinances shall govern. Notify the Designer of all conflicts immediately.
- Coordinate all operations with the Building Owner or Representative including, but not limited to, areas used for material storage, access to and from work, timing of work, interruption of plumbing, mechanical and electrical services, etc.
- It is the responsibility of the Contractor to install proper dust barriers and other protection as required to protect both existing and new building finishes and facilities.
- Contractor shall provide temporary bracing for structure and structural components until all final connections have been completed in accordance with the plans.
- Contractor shall provide certificates of insurance, including, but not limited to, Workman's Comp and General Liability. Owner shall notify Contractor of any additional insurance requirements.
- It is the responsibility of the Owner to review all drawings and associated contract documents.

OWNER:

LEIGH & ROBERT HICKMAN  
108 PARK ROAD  
CHARLOTTE, NC 28203  
(P) 704.374.0268  
LEIGHHICKMAN02@gmail.com

DESIGNER:

JESSICA BEIL HINDMAN / DIANA HALSKI  
STUDIO H DESIGN  
720 E. TREMONT AVENUE  
CHARLOTTE, NC 28203  
(P) 704.434.0594  
MAIL@STUDIODH-DESIGN.COM

STRUCTURAL ENGINEER:

CONTRACTOR:

BJORN GREENE  
CONCEPT BUILDING & RESTORATION  
2922 SO. 5TH TROYAN STREET #230  
CHARLOTTE, NC 28203  
(P) 704.501.9434  
BJORN@CONCEPTBUILDING.NET

PROJECT DATA:

The project consists of a kitchen, den, rear porch and half story addition to a one-and-one-half story residence in Historic Dilworth in Charlotte, North Carolina.

CONDITIONED RENOVATION - MAIN LEVEL	280 SF.	UNCONDITIONED COVERED PORCH	260 SF.
CONDITIONED ADDITION - MAIN LEVEL	500 SF.	UNCONDITIONED UNCOVERED PATIO	190 SF.
CONDITIONED ADDITION - UPPER LEVEL	1300 SF.		

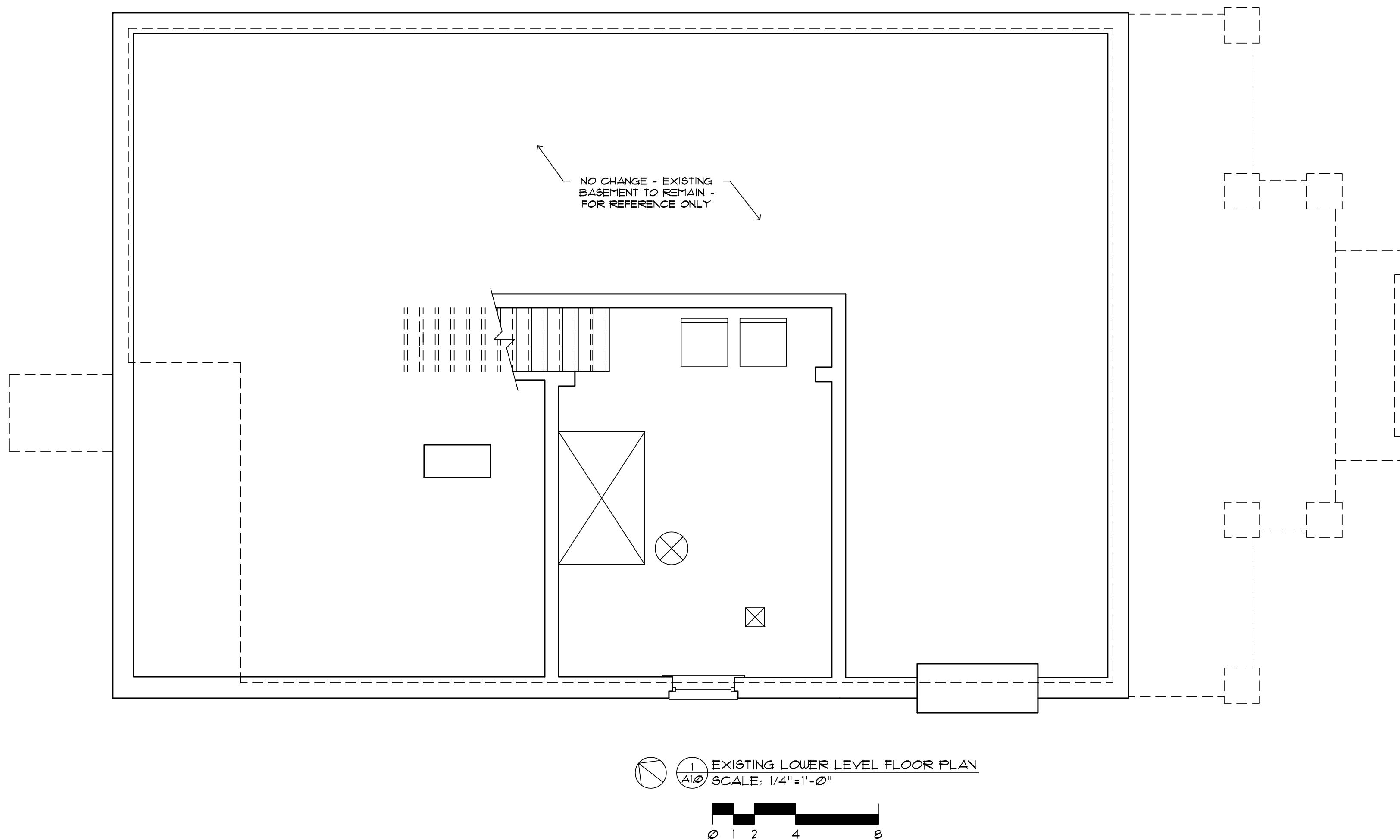
SCHEDULE OF DRAWINGS:

A0.0 SITE PLAN / COVER SHEET	21 DECEMBER 2011
A1.0 BASEMENT FLOOR PLAN	21 DECEMBER 2011
A1.1 MAIN LEVEL FLOOR PLAN	21 DECEMBER 2011
A1.2 UPPER LEVEL FLOOR PLAN	21 DECEMBER 2011
A1.3 ROOF PLAN	21 DECEMBER 2011
A2.0 ELEVATIONS	21 DECEMBER 2011
A2.1 ELEVATIONS	21 DECEMBER 2011
A2.2 ELEVATIONS	21 DECEMBER 2011
A3.0 WALL SECTION	-
A3.1 ENLARGED STAIR PLANS & STAIR SECTION	-
A4.0 INTERIOR ELEVATIONS & DETAILS	21 DECEMBER 2011
A5.0 WINDOW & DOOR SCHEDULES	21 DECEMBER 2011
A6.1 ELECTRICAL DIAGRAMS	21 DECEMBER 2011
60.0 STRUCTURAL GENERAL NOTES	-
81.0 FOUNDATION & MAIN LEVEL FRAMING PLANS	-
91.1 UPPER LEVEL & ROOF FRAMING PLANS	-
91.2 STRUCTURAL DETAILS	-

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BASEMENT  
FLOOR PLAN

A1.Ø

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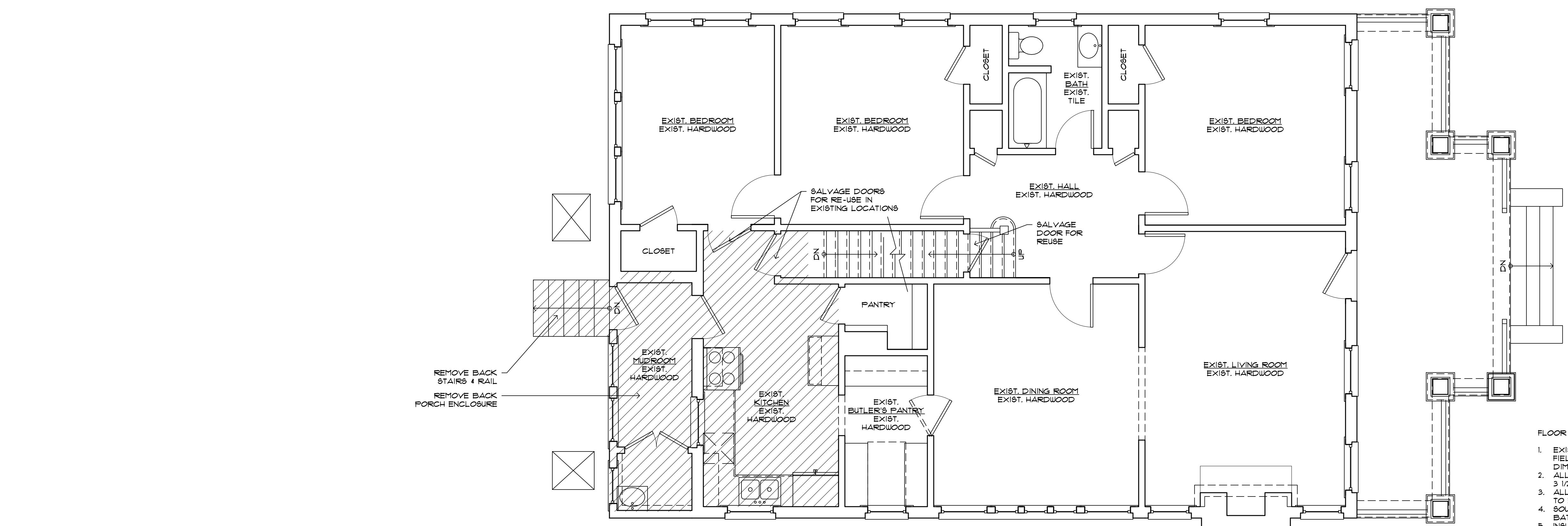
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MAIN LEVEL  
FLOOR PLANS

A1.1



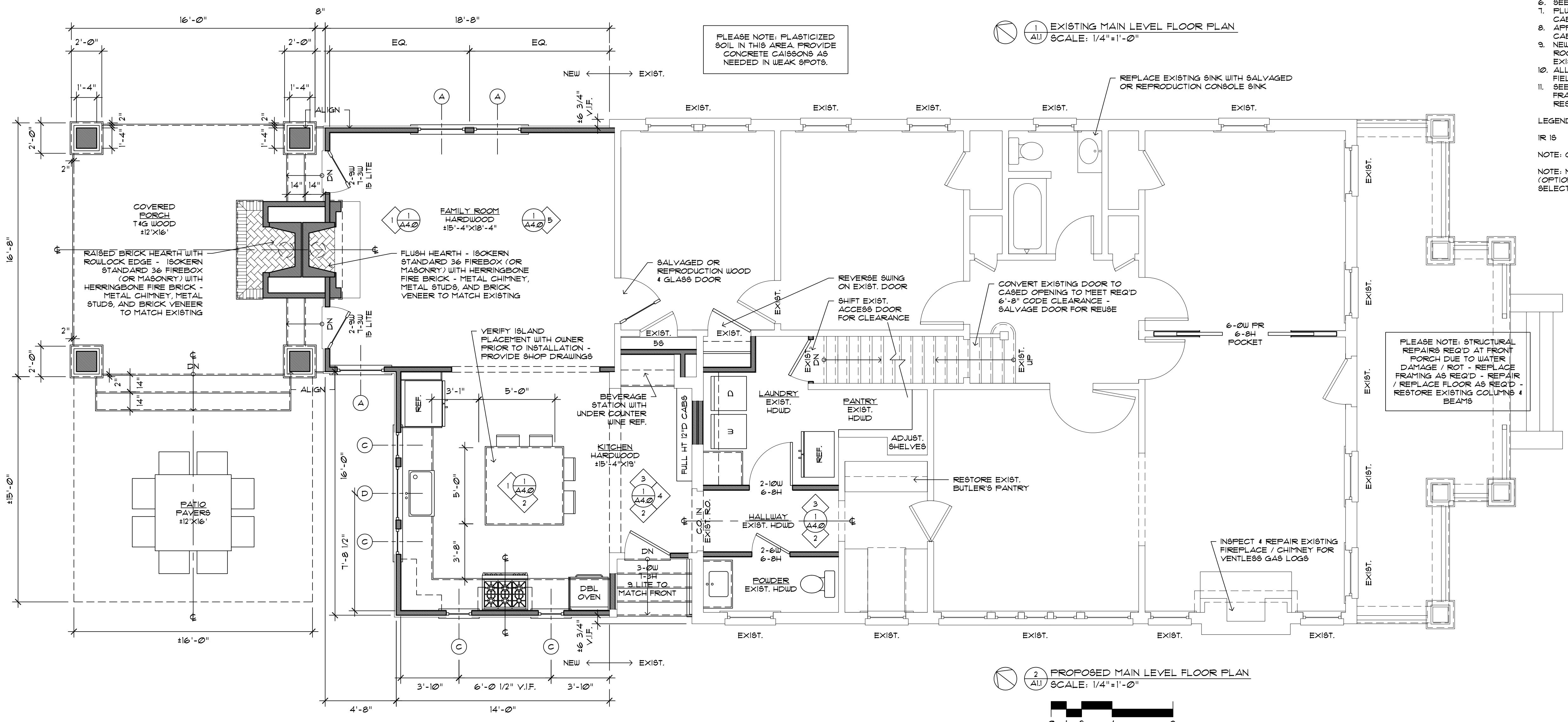
FLOOR PLAN NOTES:

- EXISTING DRAWINGS ARE FOR REFERENCE ONLY. ELIMINATE ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL UNDESIGNED DIMENSIONED WALLS TO BE 3 1/2" WOOD STUD.
- ALL UNDESIGNED DOORS TO BE CENTERED OR TO BE LOCATED 6" OFF SIDEWALL.
- SEE ATTENUATION BATT SURROUNDING ALL BATHROOMS AND CLOSETS, INCL. INTERIOR PTNS.
- INSULATION AT NEW FLOORS, WALLS, CEILINGS, AND ROOF FEE CODE.
- SEE ELECTRICAL DIAGRAM FOR ELECTRICAL LAYOUT.
- PLUMBING ROUGH TO BE COORDINATED WITH CABINETRY SHOP DRAWINGS PRIOR TO INSTALLATION.
- STRUCTURAL DRAWINGS PROVIDED WITH CABINETRY SHOP DRAWINGS PRIOR TO INSTALLATION.
- NEW ROOF SLOPES INTENDED TO MATCH EXISTING ROOF SLOPES - NEW FASCIA INTENDED TO ALIGN WITH EXISTING FASCIA - VERIFY IN FIELD.
- ALL NEW GUTTERS & DOWNSPOUTS, COORDINATE IN SIZE AND VERT. WITH ARCHITECT. HOMEOWNER SEE STRUCTURAL DRGS FOR ALL FOUNDATION, FRAMING, AND DETAIL INFORMATION. ARCHITECT NOT RESPONSIBLE FOR STRUCTURAL DESIGN.

LEGEND

- IR 16 = ROD & SHELF CONFIGURATION (DEFAULT SIZE 12")  
NOTE: GUTTERS AND DOWNSPOUTS TO BE COORDINATED.

NOTE: NEW DOOR LOCATIONS TO BE 2 PANEL SOLID WOOD (OPTION FOR SALVAGED) WITH MORTISE SETS. OWNER TO SELECT KNOB FINISH (BRASS OR GLASS).





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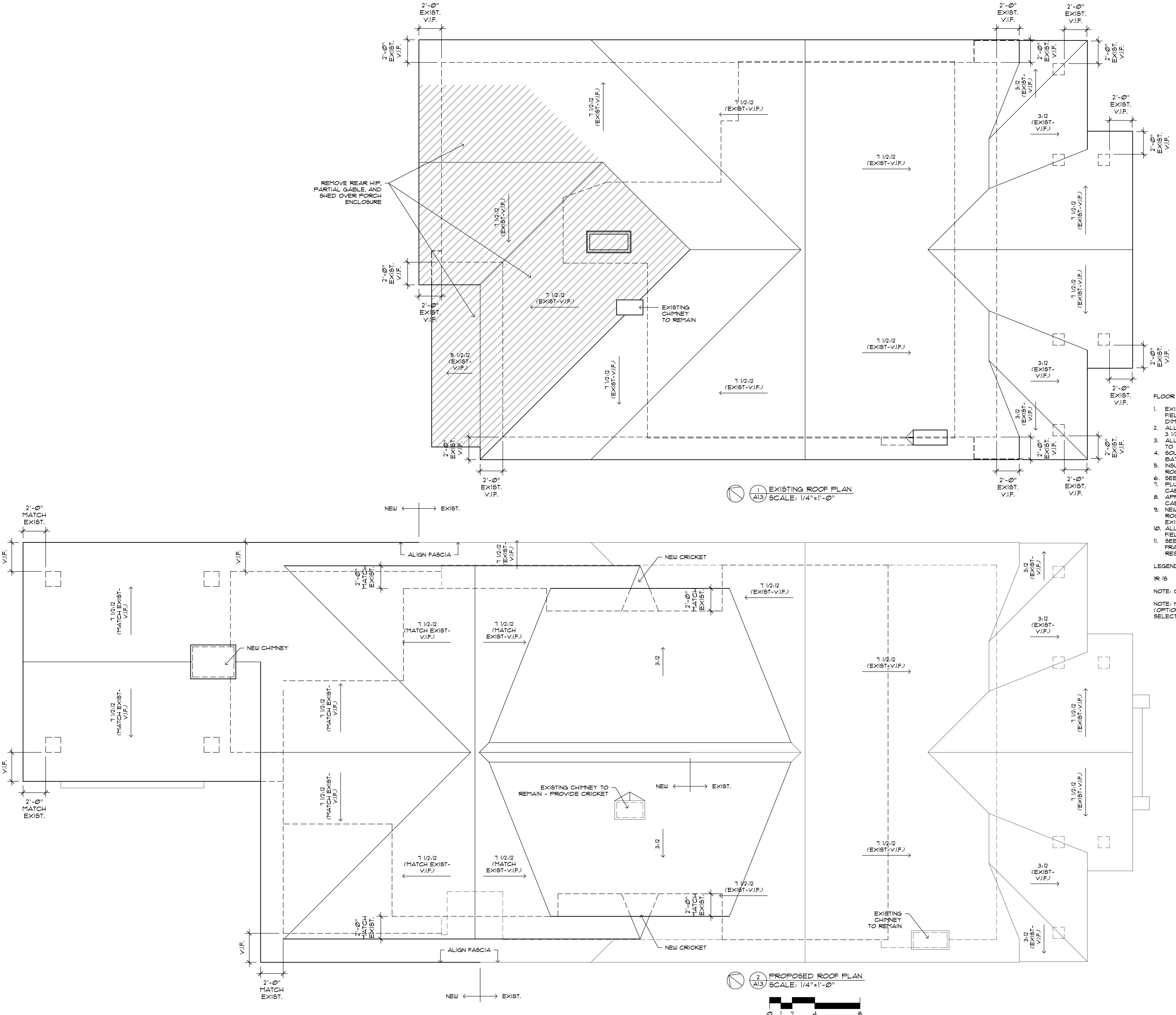
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ROOF PLANS

A1.3





**Existing**  
16 May 2017

**Schematics**  
3 August 2017

**Progress Drawings**  
6 October 2017  
17 December 2017  
21 December 2017

**Historic District / Landmark**  
-

**Progress Drawings**  
-

**Final Pricing**  
-

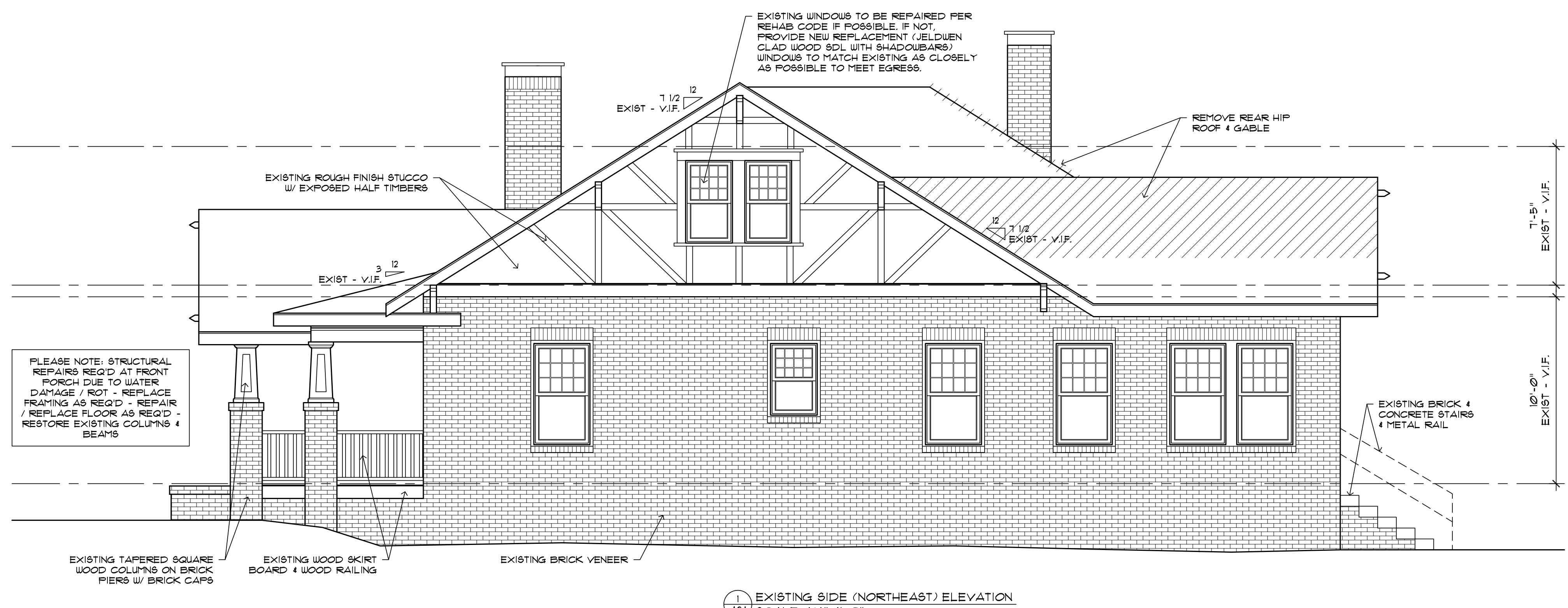
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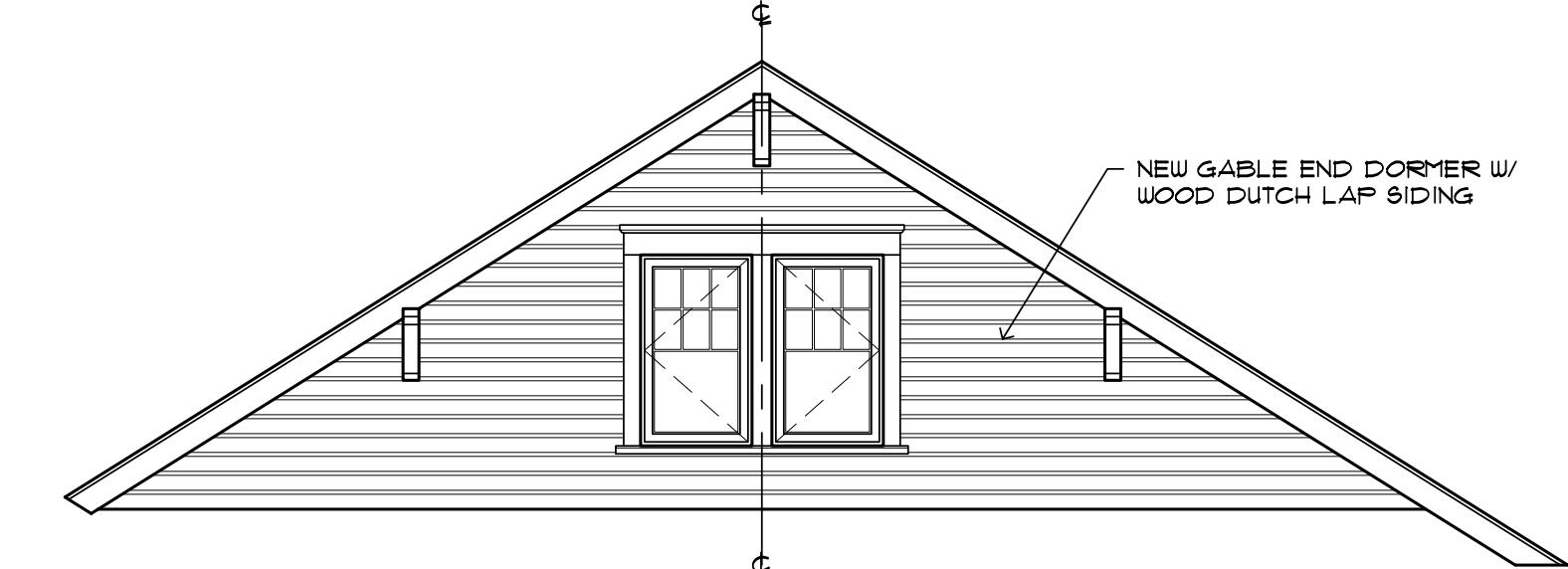
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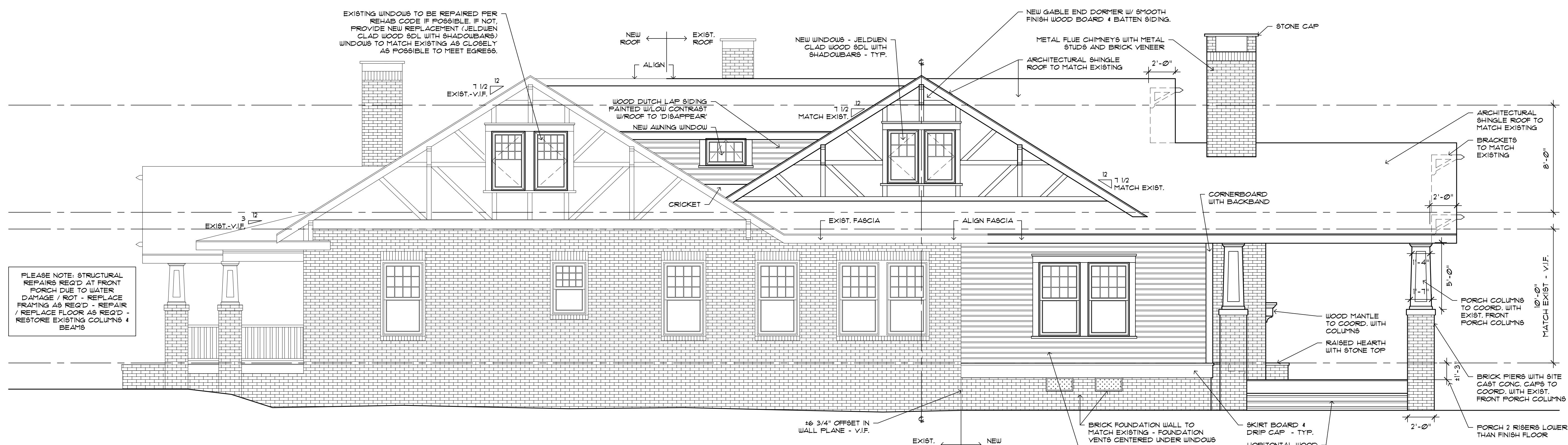
## ELEVATIONS



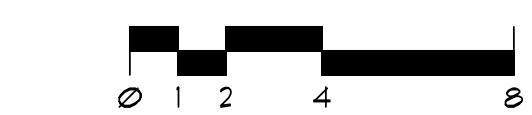
**A2.1 EXISTING SIDE (NORTHEAST) ELEVATION  
SCALE: 1/4" = 1'-0"**



**3 ALTERNATE SIDE (NORTHEAST) GABLE END CLADDING**  
**A2.1 SCALE: 1/4"=1'-0"**



PROPOSED SIDE (NORTHEAST) ELEVATION



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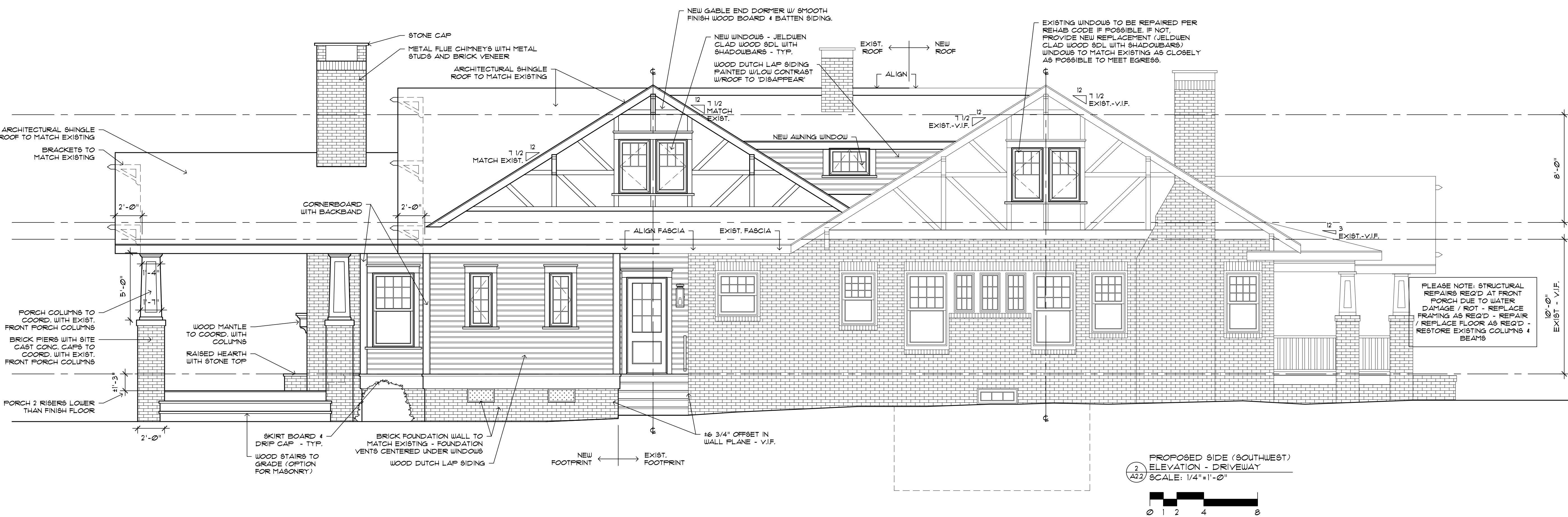
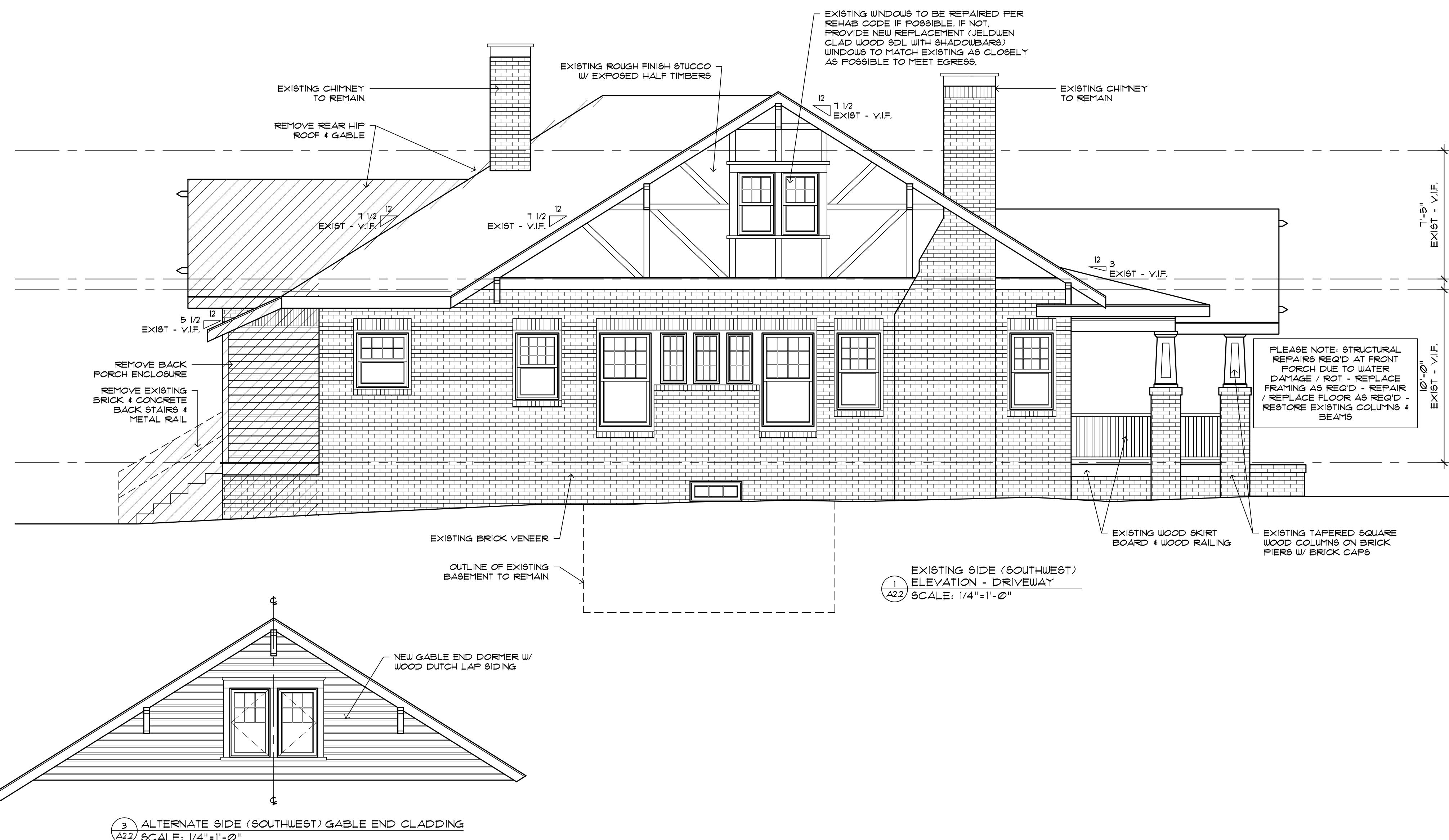
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ELEVATIONS

A2.2



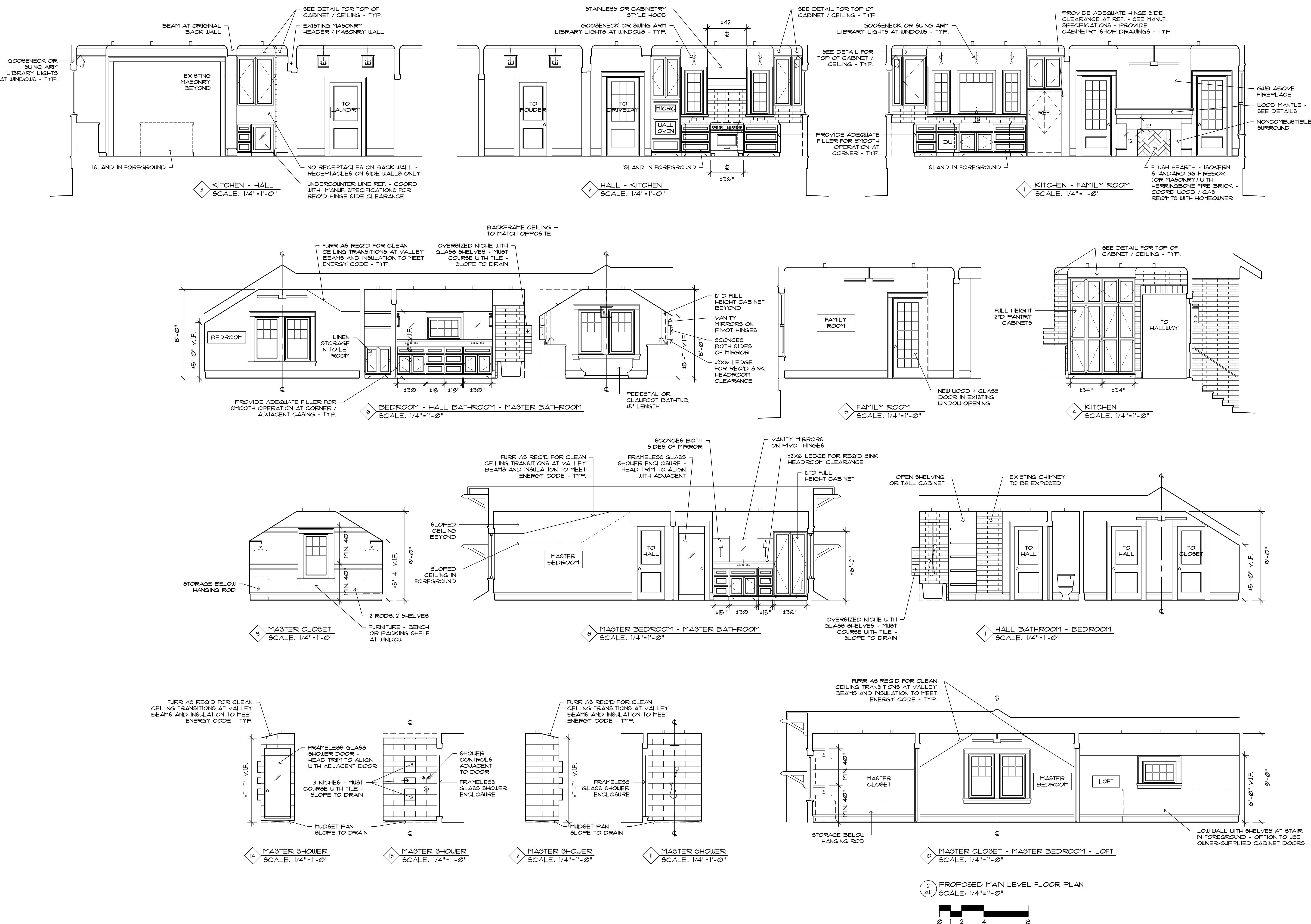
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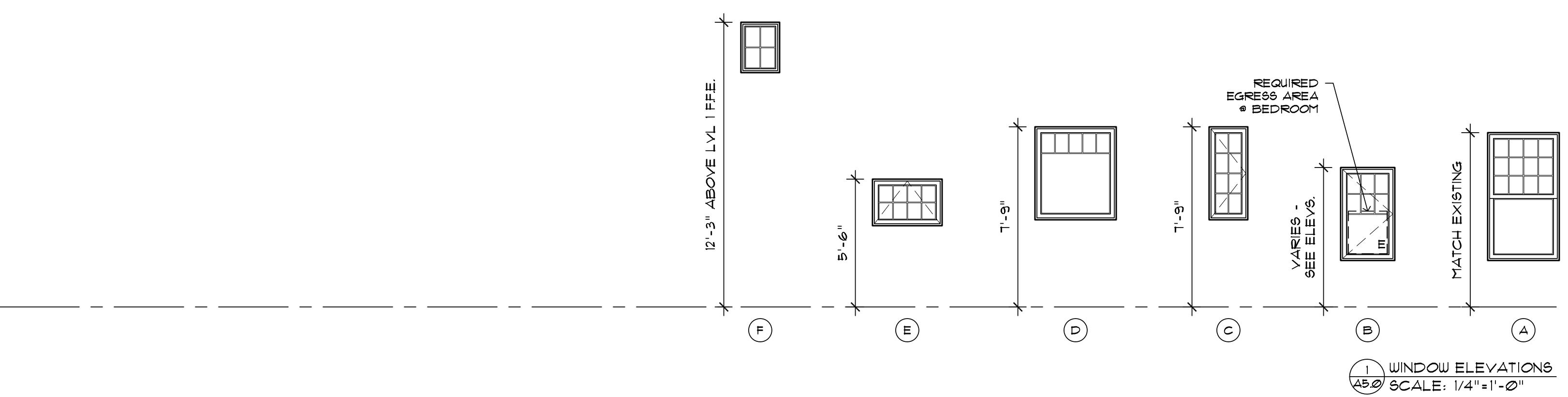
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INTERIOR  
ELEVATIONS &  
DETAILS



DATES:

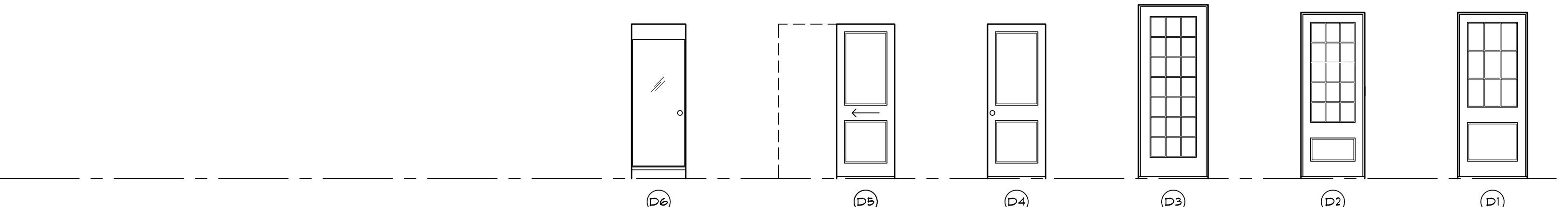
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WINDOW SCHEDULE:

SYMBOL	MANUF.	MANUF. #	WIDTH	HEIGHT	HEAD HT ..	CONFIG.	TYPE	REMARKS	SYMBOL
A	JELD-WEN OR EQUAL	ECD3166	3'-1"	5'-6"	MATCH EXIST.	SEE 1/A/B	CLAD	DOUBLE HUNG	A
B	JELD-WEN OR EQUAL	ECC2848	2'-4"	4'-0"	VARIES	SEE 1/A/B	CLAD	CASEMENT - MUST MEET EGRESS	B
C	JELD-WEN OR EQUAL	ECC1048	1'-8"	4'-0"	7'-9"	SEE 1/A/B	CLAD	CASEMENT	C
D	JELD-WEN OR EQUAL	ECCP4248	3'-6"	4'-0"	7'-9"	SEE 1/A/B	CLAD	PICTURE	D
E	JELD-WEN OR EQUAL	ECA3624	3'-0"	2'-0"	5'-6"	SEE 1/A/B	CLAD	AUING	E
F	SALVAGED EXISTING	-	VIF	VIF	12'-3"	EXIST	EXIST	SALVAGE EXISTING FOR RE-USE AS ALTERNATE OPTION	F

\* ALL WINDOWS - INCLUDING REPLACEMENT SASH KITS - TO BE CLAD WOOD SDL WITH SHADOWBARS AND PUTTY PROFILE COLOR TO BE SELECTED BY OWNER.  
\*\* HEAD HEIGHT MAY VARY BY LOCATION - VERIFY WITH ELEVATIONS.  
T E WINDOWS MUST COMPLY WITH NC. RESIDENTIAL CODE SECTION 310.1: MINIMUM 5.0 SF. TOTAL GLAZING AREA IN GROUND LEVEL BEDROOM WINDOWS AND 5.1 SF. TOTAL GLAZING AREA IN UPPER STORY BEDROOM WINDOWS FOR EGRESS.  
T PROVIDE TEMPERED GLASS AS REQUIRED PER CODE.



DOOR SCHEDULE:

*	LOCATION	MANUF.	MANUF. #	WIDTH	HEIGHT	TYPE	HARDWARE	ELEV.	REMARKS	*
MAIN LEVEL										
01	-	-	-	-	-	-	-	-	-	01
02	-	-	-	-	-	-	-	-	-	02
03	-	-	-	-	-	-	-	-	-	03
04	-	-	-	-	-	-	-	-	-	04
05	-	-	-	-	-	-	-	-	-	05
06	-	-	-	-	-	-	-	-	-	06
07	-	-	-	-	-	-	-	-	-	07
08	-	-	-	-	-	-	-	-	-	08
09	-	-	-	-	-	-	-	-	-	09
10	-	-	-	-	-	-	-	-	-	10
UPPER LEVEL										
11	-	-	-	-	-	-	-	-	-	11
12	-	-	-	-	-	-	-	-	-	12
13	-	-	-	-	-	-	-	-	-	13
14	-	-	-	-	-	-	-	-	-	14
15	-	-	-	-	-	-	-	-	-	15
16	-	-	-	-	-	-	-	-	-	16
17	-	-	-	-	-	-	-	-	-	17
18	-	-	-	-	-	-	-	-	-	18
19	-	-	-	-	-	-	-	-	-	19
20	-	-	-	-	-	-	-	-	-	20
21	-	-	-	-	-	-	-	-	-	21
22	-	-	-	-	-	-	-	-	-	22
23	-	-	-	-	-	-	-	-	-	23
24	-	-	-	-	-	-	-	-	-	24
25	-	-	-	-	-	-	-	-	-	25
26	-	-	-	-	-	-	-	-	-	26

\* ALL NEW EXTERIOR DOORS TO BE CLAD WOOD SDL WITH SHADOWBARS AND PUTTY PROFILE COLOR TO BE SELECTED BY OWNER.  
\*\* REUSED SALVAGED DOORS SHALL RETAIN SPECIFIED SIZES UNLESS OTHERWISE APPROVED BY OWNER / DESIGNER. COORDINATE DOOR SIZE CHANGES WITH SALVAGED INVENTORY.  
ME. MATCH EXISTING

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WINDOW &  
DOOR  
SCHEDULES

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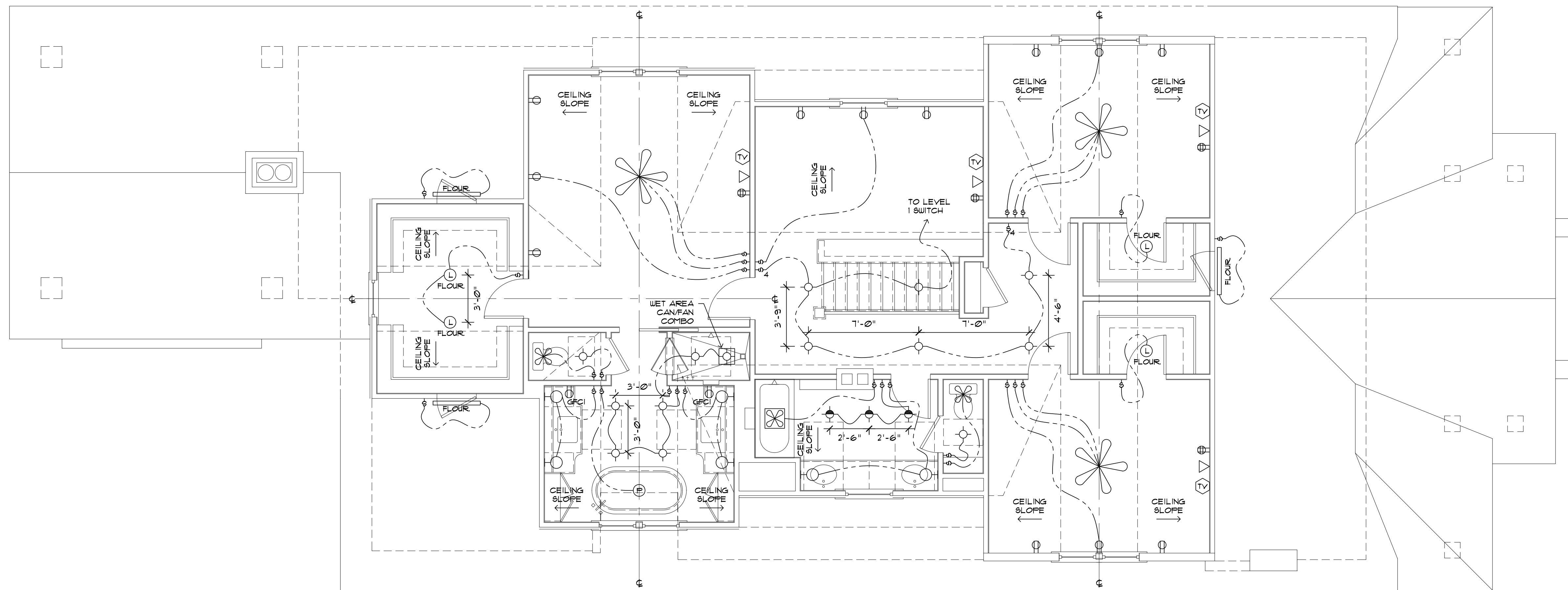
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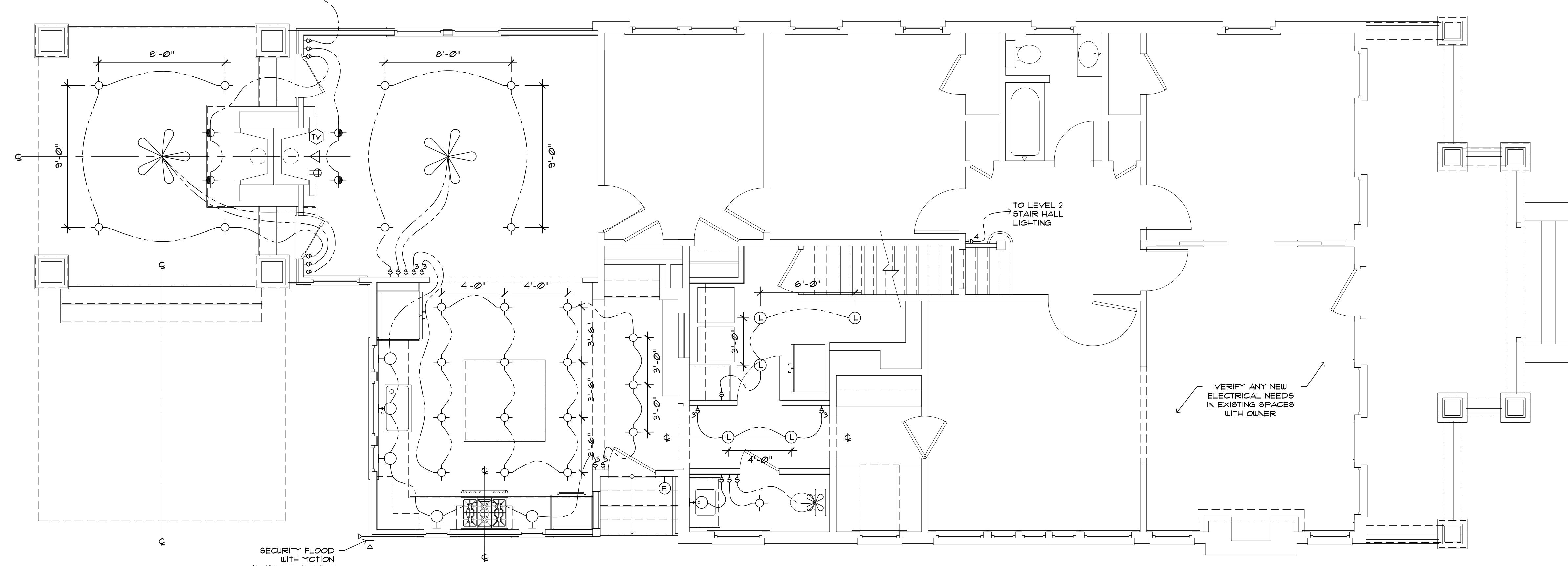
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ELECTRICAL  
DIAGRAMS

A6.0



2 A6.0 SCALE: 1/4"=1'-0"



1 A6.0 SCALE: 1/4"=1'-0"

