

CERTIFICATE OF APPROPRIATENESS
Minor Works

CERTIFICATE NUMBER: 15-60 **DATE ISSUED:** 9/23/15

ISSUED TO: Trackside Crafts, LLC. (Le Ann Fenton)

NAME OF LANDMARK: Blankenship Oil & Feed Store

ADDRESS OF LANDMARK: 330 Main Street
Pineville, N.C.

TAX PARCEL NUMBER: 20501301

ADDRESS OF APPLICANT: PO Box 395
Pineville, NC 28134

APPLICANT'S TELEPHONE NUMBER: 704-953-3848

The Historic Landmarks Commission has reviewed the proposed activity and has found the following aspects to be in compliance with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and, therefore, has found them to be appropriate:

Renovations to the interior of the building, as shown on attached plans.

This Certificate of Appropriateness is valid for a period of six (6) months from the date of issuance. Failure to procure a building or demolition permit with a six-month period will be considered as a failure to comply with this Certificate, and the Certificate will become invalid. If a building or demolition permit is not required, the approved activity must be completed within a six-month period from the date of issuance. This Certificate can be renewed by the Historic Landmarks Commission upon written request for the applicant with a valid reason for failure to comply with the six-month deadline. This Certificate in no way removes the responsibility of the owner of a structure in a local historic district to obtain a Certificate of Appropriateness from the Charlotte Historic District Commission.

By: Mary Dominick, Charlotte-Mecklenburg
Landmarks Commission.

PROJECT INFORMATION:
Name of Project: Trackside Crafts
Address: 330 Main Street, Pineville, NC 28134
Proposed Use: Mercantile
Owner or Authorized Agent: Rajeev Bhawe
Phone #: 704.542.5252
Email: rbhawe@arconsds.com
Owned By: Kevin Devanney
Code Enforcement Jurisdiction: City - Pineville County - Mecklenburg County

PROJECT SUMMARY/ALTERNATE MEANS OF COMPLIANCE:
Building Description: Historical landmark in downtown Pineville
Scope of Work Details: (If phased consent, please see plan submittal guidelines for submittal reqs.)
Tenant Alteration
Does this project have air rights, easements, an assumed property line, not build easements or other circumstances similar to the aforementioned? Yes: No: X If yes, please provide a copy of the official documents.

DESIGNER FIRM
NAME: Arcons Design Studio
LICENSE # PHONE # EMAIL: 9556 704.542.5252 rbhawe@arconsds.com
Civil: Vrettos Pappas CE Nicholas C. Vrettos 027395 704.372.7755 ncvrettos@vpc.com
Electrical: Vrettos Pappas CE Nicholas M. Pappas 040334 704.372.7755 nmpappas@vpc.com
Fire Alarm: Vrettos Pappas CE Nicholas M. Pappas 040334 704.372.7755 nmpappas@vpc.com
Mechanical: Vrettos Pappas CE Nicholas M. Pappas 040334 704.372.7755 nmpappas@vpc.com
Sprinkler-Stopage: Vrettos Pappas CE Nicholas M. Pappas 040334 704.372.7755 nmpappas@vpc.com
Structural: Structural Integrity T.J. Philbrick 24578 704.541.3202 tphilbrick@structuralintegrityeng.com
Retaining Walls: High
Refrigeration

TYPE OF WORK BEING PERFORMED - (Required Information for all Projects)
What type of work is being performed?
New Construction
(A project from the site work through the completion of work for tenant occupancy) This includes Shell buildings.
Addition: (An Existing Building that is adding heated or unheated space. This could be an addition to http://ecodes.biz/ecodes_support/free_resources/2012NorthCarolina/Building/PDFs/Chapter202X20-720Definitions.pdf)
Upfit: (First Time Interior Completion)
Upfit - the first time interior completion of a virgin (never occupied) shell space in a newly constructed building. The applicant must provide a copy of the approved shell)
Alteration: (Previously Occupied Space) This includes Change of Use.
http://ecodes.biz/ecodes_support/free_resources/2012NorthCarolina/Building/PDFs/Chapter202X20-720Definitions.pdf

CODE INFORMATION - NCSCB
Building Code: 2012 North Carolina State Building Code (NCSCB)
2012 Chapter 34 (attach building evaluation per section 3412)
2015 NC Existing Building Code
New Building: New building, Shell building, First time interior completion (upfit), Addition
Existing Building: Change of use/occupancy, Building/tenant space interior completion (Alteration / Renovation)
Year of construction: Previous use

REHAB CODE (Existing Building Code)
http://charmeck.org/mecklenburg/county/LUESA/CodeEnforcement/PlanReview/Pages/NCRHABCode.aspx
2012 NC REHAB CODE Information: Scope of work/work area must be listed and delineated on the plans.
Check all that apply: Repair, Renovation, Alteration, Reconstruction, Change of use, Addition
Last known legal occupancy use: Mercantile
Historic Property: Yes, No
Original Building Construction Date: 1920
Date of Preliminary Meeting:
Justifications for using the REHAB code:
Age of Building:
Revisers Notes for Field Inspection:

BASIC BUILDING DATA
Construction Type: (Table 601) I-A, I-B, II-A, II-B, III-A, III-B, IV, V-A, V-B
Check all that apply:
Sprinklers: (Chapter 9) No, Partial, Yes
Smoke Barriers: (Section 905) No, Yes
Class: I, II, III, IV, V
Fire District: http://charmeck.org/city/charlotte/Fire/Pages/default.aspx
Flood Hazard Area: (Appendix C) No, Yes
Building Height: (Feet) 20' (Table 503)
Gross Building Area:

Table with 4 columns: FLOOR, EXISTING (sq. ft.), NEW (sq. ft.), SUB-TOTAL. Rows for 1st Floor, Basement, and TOTAL.

ALLOWABLE AREA / OCCUPANCY CLASSIFICATION - (Required for all projects)
Occupancy: (Chapter 3) Assembly (303), Business (304), Educational (305), Factory (306), Hazardous (307), Institutional (308), I-3 Condition Mercantile (309), Residential (310), Storage (311), Utility and Miscellaneous (312)
Accessories: (508) If Applicable: Assembly (303), Business (304), Educational (305), Factory (306), Hazardous (307), Institutional (308), I-3 Condition Mercantile (309), Residential (310), Storage (311), Utility and Miscellaneous (312)
Incidental Uses: (If applicable - areas with additional requirements (Table 508.2.5))
Furnace room where any piece of equipment is over 400,000 Btu per hour input
Rooms with boilers where the largest piece of equipment is over 15 psi and 10 horsepower
Refrigerant machine room
Hydrogen cutoff rooms, not classified in Group H
Incinerator rooms
Paint shops, not classified as Group H, located in occupancies other than Group F
Laundry rooms over 100 square feet
Group I-3 cells equipped with padded surfaces
Group I-2 waste and linen collection rooms
Waste and linen collection rooms over 100 square feet
Stationary storage battery systems having a liquid electrolyte capacity of more than 50 gallons, or a lithium-ion capacity of 1,000 pounds used for facility standby power, emergency power or uninterrupted power supplies
Rooms containing fire pumps
Group I-2 storage rooms over 100 square feet
Group I-2 commercial kitchens
Group I-2 laundry equal to or less than 100 square feet
Group I-2 rooms or spaces that contain fuel-fired heating equipment
Special Uses: If applicable: 402, 403, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427
Special Provisions: If applicable: 509.2, 509.3, 509.8, 509.9, 509.5
Mixed Occupancy/Use: (506.5) If Applicable: No, Yes
Separation: Hr. Exception:

Table with 7 columns: STORY NO., DESCRIPTION AND USE, BLDG. AREA PER STORY (ACTUAL), TABLE 503* AREA, (C) AREA FOR FRONTAGE INCREASE 1, (D) AREA FOR SPRINKLER INCREASE 2, (E) ALLOWABLE AREA OR UNLIMITED 3, (F) MAXIMUM BUILDING AREA 4. Rows for Single Level, Business, 1,673, 12,500, N/A, N/A, N/A, 12,500.

1 Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
e. Percent of frontage increase is 100 (F/P - 0.25) x W/30 = (%)
2 The sprinkler increase per Section 506.3 is as follows:
a. Multi-story building is 200 percent
b. Single story building is 300 percent
3 Unlimited area applicable under conditions of Section 507.
4 Maximum Building Area = total number of stories in the building x E (506.4)
5 The maximum area of open parking garages must comply with Table 406.3.5. The maximum area of air traffic control towers must comply with Table 412.12.

Table with 4 columns: Type of Construction, Building Height in Feet, Building Height in Stories, Allowable Area (sq. ft.). Rows for Type II-B, 55, 1, 504.2, 507.3.

PERCENTAGE OF WALL OPENING CALCULATIONS (New Construction, Addition and Change of Use)
(Fire Protection Requirements (Chapter 7))
FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINE
DEGREE OF OPENINGS PROTECTION (TABLE 705.8)
ALLOWABLE AREA (%)
ACTUAL SHOWN ON PLANS (%)

WALL LEGENDS - (Required for all Projects)
CHECK IF THE FOLLOWING ARE PRESENT AND INDICATED BY A WALL LEGEND ON ALL PLANS
Fire Walls 706, Fire Barriers 707, Shaft Enclosures 708, Fire Partitions 709, Smoke Barriers 710, Smoke Partitions 711, No Rated Walls are Present.
LIFE SAFETY SYSTEMS (Existing or New Systems) (Required for all Projects)
Emergency Lighting: (S1006) No, Yes
Exit Signs: (S1011) No, Yes
Fire Alarm: (S907, NFPA 72-07) No, Yes
Smoke Detection Systems: (S907) No, Yes
Panic Hardware: (S1008.1.10) No, Yes
Life Safety Systems Generator: (S2702.2) No, Yes

FIRE PROTECTION REQUIREMENTS (Chapter 7) (Required Information for all Projects)
Please check or Plan Submittal Guidelines if a Life Safety Plan is required for your project.
http://charmeck.org/mecklenburg/county/LUESA/CodeEnforcement/Tools/Publication/Documents/sga/wall.pdf
BUILDING ELEMENT, FIRE SEPARATION DISTANCE (FEET), RATING, DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, DESIGN # FOR RATED PENETRATED, DESIGN # FOR RATED JOINTS.
Structural Frame, including columns, girders, trusses: 0, 0, 0, -, -, -, -
Bearing Walls (see section k.(601)-(602) if rated): 0, 0, 0, -, -, -, -
Exterior: 0, 0, 0, -, -, -, -
North: 0, 0, 0, -, -, -, -
East: 0, 0, 0, -, -, -, -
West: 0, 0, 0, -, -, -, -
South: 0, 0, 0, -, -, -, -
Interior: 0, 0, 0, -, -, -, -
Nonbearing walls and Partitions - (see section k.(601)-(602) if rated): 0, N.C., N.C., -, -, -, -
Exterior walls: 0, 0, 0, -, -, -, -
North: 0, 0, 0, -, -, -, -
East: 0, 0, 0, -, -, -, -
West: 0, 0, 0, -, -, -, -
South: 0, 0, 0, -, -, -, -
Interior walls & partitions: 0, N.C., N.C., -, -, -, -
Floor Construction including supporting beams and joists: 0, 0, 0, -, -, -, -
Roof Construction including supporting beams and joists: 0, 0, 0, -, -, -, -
Shafts - Exit: 0, 0, 0, -, -, -, -
Shafts - Other: 0, 0, 0, -, -, -, -
Corridor Separation: 0, N.R., N.R., -, -, -, -
Occupancy Separation: 0, N/A, N/A, -, -, -, -
Party/Fire Wall Separation: 0, N/A, N/A, -, -, -, -
Smoke Barrier Separation: 0, N/A, 0, -, -, -, -
Tenant Separation: 0, N/A, 0, -, -, -, -
Incidental Use Separation: 0, N/A, 0, -, -, -, -
* Indicate section number permitting reduction N.C. = Non Combustible N.R. = Not Required N/A = Not Applicable

LIFE SAFETY PLAN CHECKLIST FOR COMPLIANCE (Required for all Projects)
Check items that are applicable to your project
Fire and/or smoke rated wall locations (Chapter 7)
Assumed and real property line locations
Exterior wall opening area with respect to distance to assumed property lines (705.8)
Existing structures within 300' of the proposed building
Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.1)
Occupant loads for each area
Exit access travel distances (1016)
Common path of travel distances (1014.3 & 1028.8)
Clear exit widths for each exit door
Max. calculated occupant load capacity each exit door can accommodate based on egress width (1005.1)
Actual occupant load for each exit door
A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
Location of doors with panic hardware (1008.1.10)
Location of doors with delayed egress locks and the amount of delay (1008.1.9.7)
Location of doors with electromagnetic egress locks (1008.1.9.8)
Location of doors equipped with hold-open devices
Location of emergency escape windows (1029)
The square footage of each fire area (902)
The square footage of each smoke compartment (407.4)
Note any code exceptions or table notes that may have been utilized regarding the items above
EXIT REQUIREMENTS (Required for all Projects)

Table with 6 columns: FLOOR, ROOM OR SPACE DESIGNATION, MINIMUM 2 NUMBER OF EXITS REQUIRED, TRAVEL DISTANCE, ARRANGEMENT MEANS OF EGRESS 1, SECTION 1015.2. Rows for Mercantile (craft sales), 1, 2, 200', 28'-6", 1/2 Diagonal, 57'-0".

NUMBER AND ARRANGEMENT OF EXITS (TABLE 1021.1)
FLOOR, ROOM OR SPACE DESIGNATION, MINIMUM 2 NUMBER OF EXITS REQUIRED, TRAVEL DISTANCE, ARRANGEMENT MEANS OF EGRESS 1, SECTION 1015.2.
Mercentile (craft sales), 1, 2, 200', 28'-6", 1/2 Diagonal, 57'-0"
Total, 1,673, 56 OCC., N/A, 11.2*, N/A, 90'

OCCUPANT LOAD AND EXIT WIDTH (TABLE 1004.1.1)
USE GROUP OR SPACE DESCRIPTION, AREA 1 sq. ft., AREA 1 PER OCCUPANT, EGRESS WIDTH PER OCCUPANT (Table 1005.1), REQUIRED WIDTH (Section 1005.1) (a ÷ b) x c, ACTUAL WIDTH SHOWN ON PLANS.
Mercentile, 1,673, 30 / 56, .2, .15, N/A, 11.2*, N/A, 90'
Total, 1,673, 56 OCC., N/A, 11.2*, N/A, 90'

ACCESSIBLE DWELLING UNITS AND SLEEPING UNITS (Only for R-1, R-2 occupancy)
ACCESSIBLE DWELLING UNITS (1107)
Total Units, Accessible Units Required, Accessible Units Provided, Type A Units Required, Type A Units Provided, Type B Units Required, Type B Units Provided, Total Accessible Units Provided.

ACCESSIBLE PARKING (Projects that are New Construction, Additions, Change of Use)
*** Existing to Remain, No New Work ***
(1106)
LOT OR PARKING AREA, TOTAL # OF PARKING SPACES REQUIRED, PROVIDED, # OF ACCESSIBLE SPACES PROVIDED, TOTAL # ACCESSIBLE.
TOTAL, 0, 0, 0, 0.

STRUCTURAL DESIGN - (Primarily for New Construction, Additions and Change of Use)
If adding dead loads or live loads to the building structural system information in any project will be required. This information may be located on the structural sheets. The structural sheet must be in the same format as noted in this section. If it is on the structural sheets, please indicate here.
(Located on Structural Sheet Number: Yes: No:)

DESIGN LOADS
Importance Factors: (ASCE/SEI 7-05-11.5)
Wind: Basic Wind Speed: (1609.3), Exposure Category: (1609.4), Wind Bore Shears (for MFRS)(Engineer Cal's) Vx=, Vy=
Live Loads: Roof: (1603.1.2, 1607.11, 1611), Floor: (1603.1.1, 1607.10, 1607.10), Live Load Reductions: (1603.1.1, 1607.9)
Ground Snow Load: (1608.2)
Wind Load: Basic Wind Speed: (1609.3), Exposure Category: (1609.4), Wind Bore Shears (for MFRS)(Engineer Cal's) Vx=, Vy=

Seismic Design Category: (1613.1, 1613.5.6)
Occupancy Category: (Table 1604.5)
Special Response Acceleration: (Engineer Cal's)
Site Classification (Table 1613.5.2)
Basic Structural System (check one)
Seismic Base Shear: (Engineer Cal's)
Analysis Procedure: Simplified, Equivalent Lateral Force, Dynamic
Architectural, Mechanical, Components anchored? Yes, No

Lateral Design Control: Earthquake, Wind
Soil Bearing Capacities:
Field Test (provide a copy of test report as a reference document):
Presumptive Bearing Capacity:
File Size, type and capacity:

SPECIAL INSPECTIONS Required: Yes, No
SPECIAL INSPECTIONS - (If applicable to your project)
http://charmeck.org/mecklenburg/county/LUESA/CodeEnforcement/Tools/Form/Documents/ST_Scope.pdf

SCHEDULE OF SPECIAL INSPECTIONS
No special inspections required for this project
Special inspections required
The following sheets comprise the required schedule of Special Inspections for this project. The construction divisions which require special inspections for this project are as follows:
II-1 Verification of Soils
II-2 Excavation and Fill
II-3 Piling and Drilling Piers
II-4 Modular Retaining Walls
II-5 Reinforced Concrete
II-6 Post Tension Slab
II-7 Pre-Cast Concrete Erection
II-8 Pre-Stressed Concrete
II-9 Inspection of Pre-Cast Fabricators
II-10 Inspection of Structural Steel Fabricators
II-11 Structural Masonry
II-12 Welding
II-13 High Strength Bolts and Sill Framing Insp
II-14 Sprayed Fire Resistance Materials
II-15 Exterior Insulation and Finish System
II-16 Seismic Resistance
II-17 Smoke Control
II-18 Detention Basin
II-19 Special Cases

Check the above boxes for the special inspection required for this project and list below specific special inspections required under chapter 17. For questions regarding special inspections please see www.Meck-SL.com.
Plumbing Fixtures Requirements (New Construction, Additions, Upfits, Alterations and Change of Use or if increasing occupant load)

ENERGY SUMMARY (New Construction, Additions, Change of use and upfits)
BUILDING ENVELOPE: ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the North Carolina Energy Conservation Code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.
Climate Zone: 3, 4, 5
(North Carolina Energy Conservation Code NCECC 301.1)
http://ecodes.biz/ecodes_support/free_resources/2012NorthCarolina/Building/PDFs/Chapter202X20-720Definitions.pdf
Method of Compliance: Prescriptive (NCECC), Performance (NCECC or Com Check) Report must be reproduced on drawings
Prescriptive (ASHRAE 90.1)
Performance (ASHRAE 90.1)
THERMAL ENVELOPE: (NCECC Chapter 4 and/or 5)
Roof/Ceiling Assembly (each assembly)
Exterior Walls (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
R-Value of skyight:
Total square footage of skylights in each assembly:
Solar heat gain coefficient:
projection factor:
Door R-Values:

TRACKSIDE CRAFTS
330 MAIN STREET
PINEVILLE, NC
ALTERATION

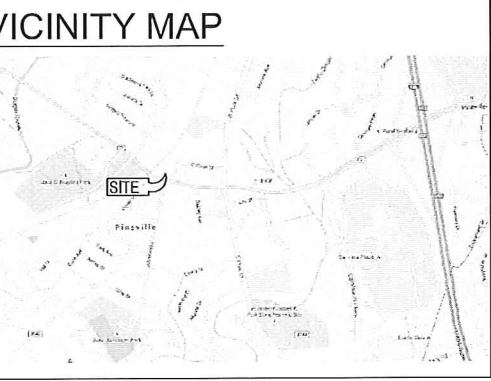
Walls below grade (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors over unconditioned space (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors slab on grade
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Horizontal/vertical requirement:
slab heeled:

MECHANICAL SUMMARY - (NCECC 503)
This information may be located on the mechanical sheet. The mechanical sheet must be in the same format as noted in this section. If it is on the mechanical sheets, please indicate here.
(Located on Mechanical Sheet Number: Yes: No:)
ELECTRICAL SUMMARY - (NCECC 505)
This information may be located on the electrical sheet. The electrical sheet must be in the same format as noted in this section. If it is on the electrical sheets, please indicate here.
(Located on Electrical Sheet Number: Yes: No:)

Fire review approved as noted by Randy Frazier, Fire Plans Examiner, Mecklenburg County Code Enforcement.
The Fire Marshal assigned to this project is Assistant Fire Marshal Jesse Soares, (800) 314-3077, jesse.soares@mecklenburgcountync.gov

APPROVED AS NOTED
M12.0

Table with 4 columns: ARCHITECTURAL, STRUCTURAL, P.M. & E, MECHANICAL SCHEDS., NOTES & LEGEND. Rows for C1 COVER SHEET, A1.1 PLANS AND NOTES, A3.1 SCHEDULES AND DETAILS, S1.0 STRUCTURAL PLAN AND DETAILS, P1 SCHEDULE, NOTES, AND LEGEND, P2 PLUMBING PLANS, M1 MECHANICAL SCHEDS., NOTES & LEGEND, M2 MECHANICAL FLOOR PLAN AND NOTES, M3 MECHANICAL DETAILS, E1 ELECTRICAL LEGEND, NOTES, & SCHEDS., E2 ELECT. PWR. & LIGHTING PLANS & NOTES, E3 ELECT. PANEL SCHEDS., RISERS & DTLS.



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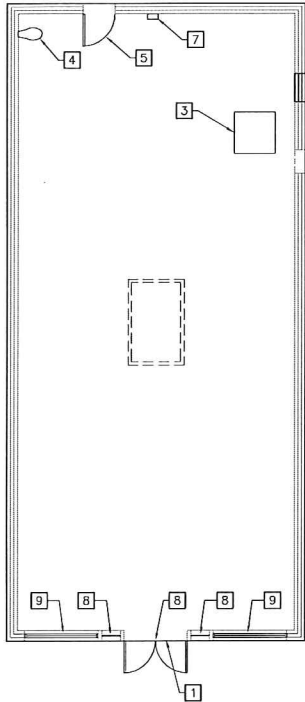
ARCONS DESIGN STUDIO, PLLC
REGISTERED ARCHITECTURE FIRM
51553
NORTH CAROLINA
REGISTERED ARCHITECT
9556
Rajeev D. Bhawe
Charlotte, NC

INCENTIVE TRAVEL SOLUTIONS
316 MAIN STREET
PINEVILLE, NC 28134
PH. 704.540.1482

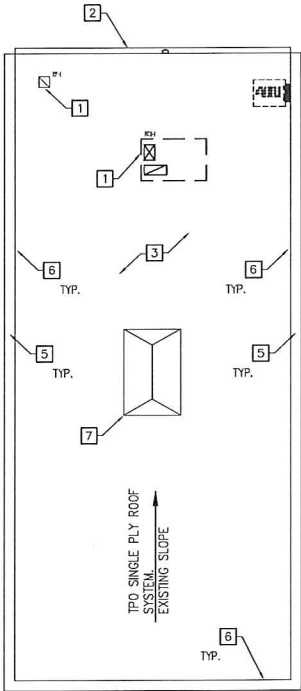
MECKLENBURG COUNTY
NORTH CAROLINA
The Design In These Construction Documents Have Been Reviewed For Compliance With The State Building Code. It Is The Responsibility Of The Contractor To Construct This Project With Good Engineering Practice And In Accordance With The State Building Code.
PINEVILLE, NC

PROJECT MANAGER: ROY H. PATRICK
JOB NO: 19-TSC-02
DATE: FEB
REVISIONS:
No, Date
No, Date
No, Date
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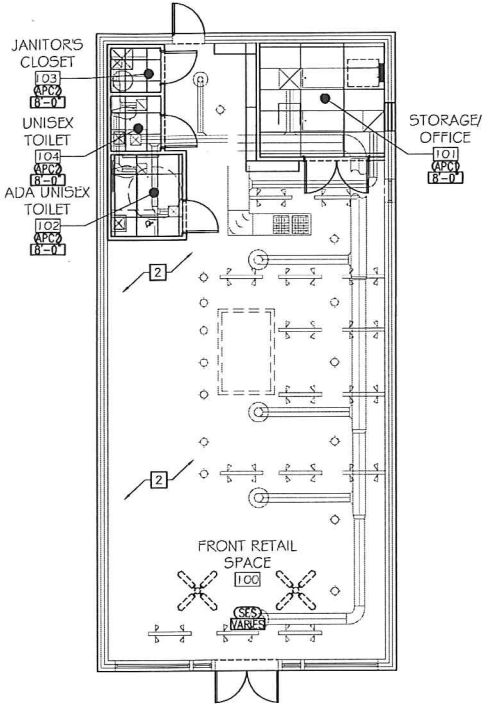
COVER SHEET
SHEET NO.
C1
ISSUE DATE: 1/15/11



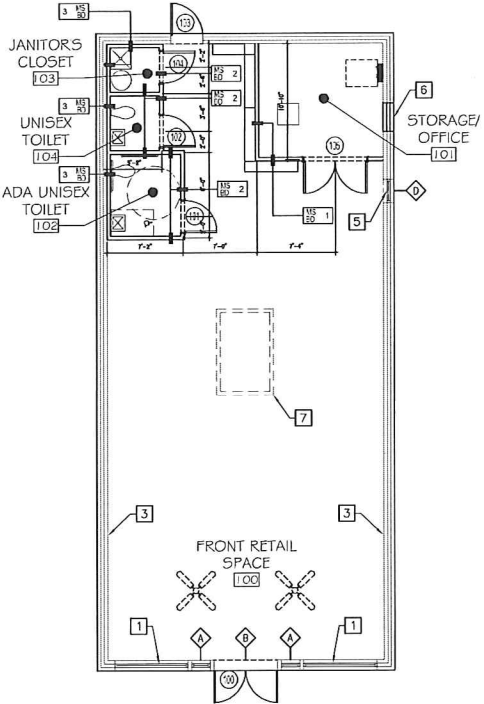
4 DEMO PLAN
SCALE: 1/8" = 1'-0"



3 ROOF PLAN
SCALE: 1/8" = 1'-0"



2 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

DEMO PLAN KEY NOTES:

- 1 REMOVE EXISTING WALL MOUNTED AC UNIT ABOVE MAIN ENTRY. MAINTAIN WATER TIGHT CONDITION UNTIL NEW TRANSOM WINDOW IS INSTALLED.
- 2 N/A
- 3 REMOVE EXISTING HEATER HUNG FROM STRUCTURE.
- 4 REMOVE EXISTING TOILET. CAP AND PATCH AS NECESSARY TO RECEIVE NEW FLOORING PER MANUFACTURER'S SPECIFICATIONS.
- 5 REMOVE EXISTING DOOR. MAINTAIN SECURE AND WATER TIGHT CONDITIONS UNTIL NEW DOOR IS INSTALLED.
- 6 N/A
- 7 REMOVE EXISTING ELECTRICAL PANEL. COORDINATE WITH ELECTRICAL DRAWINGS.
- 8 REMOVE EXISTING WOOD PANEL INFILL. MAINTAIN WATER TIGHT AND SECURE CONDITION UNTIL NEW WINDOW SYSTEMS ARE INSTALLED.
- 9 REPLACE EXISTING PICTURE WINDOW GLASS. MATCH EXISTING. VERIFY SIZE AND CONDITIONS IN FIELD.

ROOF PLAN GENERAL NOTES:

- A. THE G.C. SHALL COORDINATE THE EXACT SIZE AND LOCATIONS FOR ALL ROOF TOP PENETRATIONS FOR ALL PIPING, VENTS, CONDUITS, WIRING, ETC. THAT ARE TO PENETRATE TO ROOFING SYSTEM. THE G.C. IS TO INSTALL AND SEAL ALL ROOF PENETRATIONS. SEE DETAILS THIS SHEET FOR ADDITIONAL INFORMATION.
- B. G.C. SHALL BE RESPONSIBLE FOR PAINTING ALL EXPOSED STEEL ON ROOF TOP ON ALL SIDES ALONG WITH ALL ROOF TOP GAS PIPING, ETC.

ROOF PLAN KEY NOTES:

- 1 CURB-MOUNTED ROOF TOP EQUIPMENT, SEE MECH. DRAWINGS
- 2 EXISTING 6" GUTTER SYSTEM. COORDINATE WITH ROOFING CONTRACTOR.
- 3 EXISTING R25 WHITE TPO ROOFING SYSTEM WITH POLYISO INSULATION.
- 4 N/A
- 5 EXISTING PARAPET w/ PREFINISHED MTL. CAP
- 6 EXISTING FULLY ADHERED ROOFING MEMBRANE ON VERTICAL WALLS. SEE SPECIFICATIONS.
- 7 EXISTING SKYLIGHT

REFLECTED CEILING PLAN GENERAL NOTES:

- A. THE GENERAL CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND INFORM THE ARCHITECT OF ANY DISCREPANCIES OR UNUSUAL CONDITIONS ENCOUNTERED IN THE FIELD.
- B. SEE SHEET A3.1 FOR ALL CEILING FINISH MATERIALS.

REFLECTED CEILING PLAN KEY NOTES:

- 1 N/A
- 2 STAIN EXPOSED STRUCTURE & DECK. COORDINATE COLORS WITH OWNER.

CEILING TILE SCHEDULE

APC1	2"x4" SUSPENDED ACOUSTICAL PANEL
APC2	2"x4" VINYL FACED TILES
SES	STAINED EXPOSED STRUCTURE

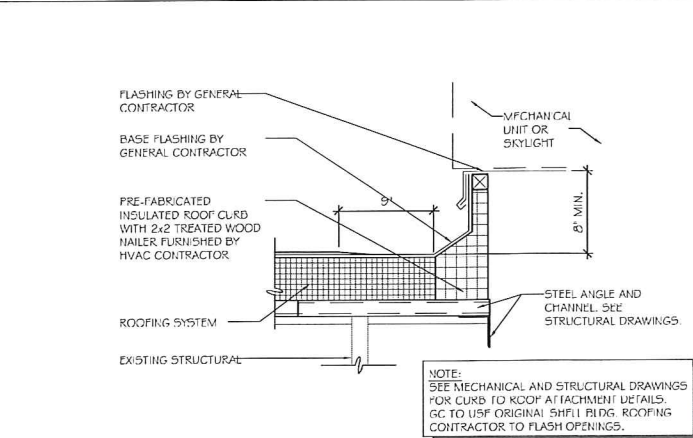
FLOOR PLAN GENERAL NOTES:

- A. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PURCHASE AND INSTALLATION OF ALL FIRE EXTINGUISHERS REQUIRED BY LOCAL AND/OR NFPA CODES. THE CONTRACTOR SHALL MEET WITH THE LOCAL FIRE MARSHALL TO REVIEW AND CONFIRM FIRE EXTINGUISHER REQUIREMENTS PRIOR TO PURCHASING AND INSTALLING. FOR BIDDING PURPOSES, INCLUDE 5 EXTINGUISHERS IN BID.
- B. THE GENERAL CONTRACTOR SHALL PROVIDE BLOCKING IN WALL AS NECESSARY WHERE OWNER SUPPLIED EQUIPMENT/ACCESSORIES ARE TO BE INSTALLED. VERIFY LOCATIONS WITH OWNERS REPRESENTATIVE OR ARCHITECT.
- C. DIMENSIONS INDICATED ARE TO FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
- D. ALL INTERIOR METAL STUD WALLS TO BE 3 5/8" OR 6" STUD WALLS (AS GRAPHICALLY INDICATED) & TERMINATE 6" ABOVE CEILING UNLESS NOTED OR SHOWN OTHERWISE. G.C. TO PROVIDE HARDWOOD OAK FLOORING TO BE INSTALLED OVER EXISTING TILE THROUGHOUT ENTIRE OFFICE. COORDINATE WITH OWNER.

FLOOR PLAN KEY NOTES:

- 1 NEW WINDOW GLASS TO MATCH EXISTING. VERIFY IN FIELD.
- 2 N/A
- 3 G.C. TO POINT UP ALL INTERIOR BRICK WALLS. CLEAN WITH MERCURIC ACID AND SEAL. COORDINATE EXACT PROCESS WITH OWNER.
- 4 N/A
- 5 NEW WINDOW IN EXISTING MASONRY OPENING. VERIFY SIZE IN FIELD. CREATE WATER TIGHT CONDITION AND FLASH PER MANUFACTURER'S SPECIFICATIONS. MATCH EXISTING STOREFRONT SYSTEM.
- 6 INFILL EXISTING TRIPLE WYTHE MASONRY OPENING WITH BRICK. MATCH EXISTING BRICK AS CLOSE AS POSSIBLE. VERIFY WITH OWNER PRIOR TO INSTALLATION.
- 7 LIGHT WELL FOR SKYLIGHT. COORDINATE DESIGN WITH ARCHITECT AND OWNER.

FINISH MATERIALS										
MATERIAL		COLOR		DESCRIPTION / REMARKS						
MASONRY										
B-1	FIELD	MATCH EXISTING COLOR AND FINISH		EXISTING WALL INFILL	NOTE: ALL MORTAR TO BE COLORED TO MATCH EXISTING					
GLASS										
IG1	1" INSULATED LAMINATED SAFETY GLASS	TINTED		EXTERIOR STOREFRONT WINDOWS BELOW 7'-0" A.F.F.						
IG2	1" INSULATED GLASS	TINTED		EXTERIOR STOREFRONT WINDOWS ABOVE 7'-0" A.F.F.						
FG1	1/4" TEMPERED FLOAT GLASS	CLEAR		INTERIOR STOREFRONT WINDOWS BELOW 7'-0"						
IG1	1/4" LAMINATED GLASS	TINTED		EXTERIOR ENTRANCE DOORS						
SEALANTS										
ES-1	SEALANT AT MASONRY	TBD - VERIFY WITH OWNER		ALL INTERIOR EXPOSED BRICK SURFACES						
ES-2	SEALANT AT STOREFRONT	MATCH STOREFRONT AT STOREFRONT WALLS								
EXTERIOR PAINTING										
EP-1	ALL EXTERIOR SURFACES	MATCH EXISTING		VERIFY IN FIELD AND WITH OWNER						
EP-2	EXPOSED EXTERIOR STEEL	HOT DIPPED GALVANIZED & PAINTED - COLOR T.B.U.		VERIFY IN FIELD AND WITH OWNER						
EP-3	HOLLOW METAL DOORS AND FRAMES	MATCH ADJACENT WALL		VERIFY IN FIELD AND WITH OWNER						
FLASHING AND SHEET METAL										
FL-1	PARAPET EDGE TRIM	PREFINISHED ALUMINUM, PGC-CLAD COLOR TO BE SELECTED FROM MANUFACTURERS STANDARD COLORS		COORDINATE WITH ROOFING CONTRACTOR						
FL-2	GUTTERS	PREFINISHED ALUMINUM, PGC-CLAD COLOR TO BE SELECTED FROM MANUFACTURERS STANDARD COLORS		COORDINATE WITH ROOFING CONTRACTOR						
FL-3	FLASHING AT STOREFRONT	MATCH STOREFRONT		VERIFY IN FIELD AND WITH OWNER						
FL-4	FLASHING AT BRICK	PREFINISHED ALUMINUM, PGC-CLAD COLOR TO BE SELECTED FROM MANUFACTURERS STANDARD COLORS		VERIFY IN FIELD AND WITH OWNER						
MISCELLANEOUS										
WGD-1	WALL GRILLES AND DIFFUSERS	PAINTED TO MATCH WALL COLOR (SEMIGLOSS)		EXPOSED TO VIEW IN PUBLIC SPACES						
	HARDWARE	STAINLESS STEEL FINISH		CABINETS / MILLWORK - SEE MILLWORK DETAILS						
VWC	VINYL WALL COVERINGS	PATTERN TO BE DETERMINED		COORDINATE WITH OWNER						
PLASTIC LAMINATE - (PL)										
PL1	TDB	TBD		BACK ROOM MILLWORK - SEE DETAILS						
PL2	TBD	TBD		BACK ROOM MILLWORK - SEE DETAILS						
PL3	TBD	TBD		BACK ROOM MILLWORK - SEE DETAILS						
PAINT - (PT)										
PT1	EGG-SHELL FINISH	TBD		INTERIOR WALLS - VERIFY WITH OWNER						
PT2	EGG-SHELL FINISH	TBD		INTERIOR WALLS - VERIFY WITH OWNER						
PT3	EGG-SHELL FINISH	TBD		INTERIOR WALLS - VERIFY WITH OWNER						
PT4	EGG-SHELL FINISH	TBD		INTERIOR WALLS - VERIFY WITH OWNER						
PT5	EGG-SHELL FINISH	TBD		INTERIOR WALLS - VERIFY WITH OWNER						
WOOD STAIN - (WS)										
WS1	VINYLWAY	TBD		EXISTING ROOF DECK TO REFINISH						
WS2	VINYLWAY	TBD		NEW STEEL-CLAD BEAMS						
CEILING - (APC)										
APC1	2"x4" SUSPENDED ACOUSTICAL PANEL CEILING	USG #2310 "RADAR" - OLIVAPLUS		EMPLOYEE AREAS, OFFICES, * STORAGE ROOM						
APC2	2"x4" VINYL COVERED GYPSUM PANELS	1/2" USG, OLIVAPLUS, WHITE		UNisex TOILET						
S										



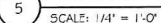
SCALE: 1 1/2" = 1'-0"

NOTES:

1. PROVIDE UNDER LAVATORY GUARDS AT ALL EXPOSED PIPES UNDERNEATH LAVATORIES TO MEET IBC REQUIREMENTS.
2. G.C. TO PROVIDE BLOCKING IN WALL FOR SUPPORT OF ALL G.C. PROVIDED TOILET ACCESSORIES.
3. DIMENSIONS SHOWN COMPLY WITH IBC. G.C. TO VERIFY COMPLIANCE WITH PRECEDING LOCAL AUTHORITIES.
4. ALL ACCESSORIES SHALL BE INSTALLED BY G.C.



6 SCAIF: $1/4'' = 1'-0''$



3 SCALE: 1/4" = 1'-0"



APC = ACOUSTICAL PANEL CEILING	VMB = VINYL WALL BASE	PL = PLASTIC LAMINATE
CBB = CECONTRIBUTOR BACER BOARD	EPB = EPOXY	PT = PAINT
CMU = CONCRETE MASONRY UNIT	ES = EXPOSED STRUCTURE	PTW = CERAMIC TILE PATTERN
CGC = CONCRETE	FL = FLASHING AND SHEET METAL	PTH = PRESSURE TREATED WOOD BASE
CT = CERAMIC TILE	FR = FIBER REINFORCED PLASTIC	PWD = PLUMWOOD
CS = CEMENT STEEL	FCC = FIBERGLASS CELLULOSE COVER	R = ROOFING
DCS = DENS SHEET	GCB = GYPSUM WALL COVER	RS = RUBBER STAMP ROUGH
EP = EPOXY PAINTING	HAF = HANGING FIBER (STICCO)	SCF = SEALED CONCRETE FLOOR
ES = EXPOSED STRUCTURE	HVF = HYPERVULCANIZED	
FC = FIBER COMPOSITION TILE	MDF = MEDIUM DENSITY FIBERBOARD	

1. INSTALL 1/2" CEMENTITIOUS BACKER BOARD ON ALL WALLS TO RECEIVE CERAMIC TILE.
2. SEE FINISH PLAN AND DETAILS (THIS SHEET) FOR SPECIFIC LOCATION AND APPLICATION.
3. GENERAL CONTRACTOR TO INSTALL BATH INSULATION IN ALL UNFINISHED FLOOR WALLS.
4. GENERAL CONTRACTOR TO INSTALL 8" SOUND BATH INSULATION ABOVE UNFINISHED TO ROOM CEILING.
5. INSTALL CARPET BASE ALONG ALL WALLS IN ROOMS TO RECEIVE CARPETING.
6. ALL INTERIOR ROOM DOOR OPENINGS TO BE LOCATED 4" FROM CORNER (U.O.C.).
7. PROVIDE 36"x48" WHITE FRP w/ TRIM ON EACH WALL @ MCP SINK.
8. SEE SHEET A-2 FOR DETAILS OF W1 @ WF2 CONSTRUCTION.
9. INSTALL WALL FINISH 3 (WV3) IN ALL EXCEPT 4. PROCEDURE ROOMS (EXCEPT FOR MED/SAL CHAIR RAIL TO STOP 12" SHORT OF COUNTER, DOOR OPENINGS 5 MILLIGR. STAIN. SEE FINISH SCHEDULE 1 AND A-2.)
10. IN GENERAL, PRACTICE EXACT 4. PROCEDURE ROOMS, WALL OPPOSITE MLW/WORK TO BE PAINTED FT 17. SEE FINISH SCHEDULE.

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