

CERTIFICATE OF APPROPRIATENESS

Minor Works

CERTIFICATE NUMBER: 16-60

DATE ISSUED: 9/23/15

ISSUED TO:

Trackside Crafts, LLC. (Le Ann Fenton)

NAME OF LANDMARK:

Blankenship Oil & Feed Store

ADDRESS OF LANDMARK:

330 Main Street

Pineville, N.C.

TAX PARCEL NUMBER:

20501301

ADDRESS OF APPLICANT:

PO Box 395

Pineville, NC 28134

APPLICANT'S TELEPHONE NUMBER: 704-953-3848

The Historic Landmarks Commission has reviewed the proposed activity and has found the following aspects to be in compliance with the <u>Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings</u> and, therefore, has found them to be appropriate:

Renovations to the interior of the building, as shown on attached plans.

This Certificate of Appropriateness is valid for a period of six (6) months from the date of issuance. Failure to procure a building or demolition permit with a six-month period will be considered as a failure to comply with this Certificate, and the Certificate will become invalid. If a building or demolition permit is not required, the approved activity must be completed within a six-month period from the date of issuance. This Certificate can be renewed by the Historic Landmarks Commission upon written request for the applicant with a valid reason for failure to comply with the six-month deadline. This Certificate in no way removes the responsibility of the owner of a structure in a local historic district to obtain a Certificate of Appropriateness from the Charlotte Historic District Commission.

By: ______, Charlotte-Mecklenburg Landmarks Commission.

FOR	BUILDING CODE SUMMARY R ALL COMMERCIAL PROJECTS	ALLOWABLI		OCCUPANCY	CLASSIFICATIO	N - (Required	FIRE PROTECTION (Required Informati	N REQUIR	EMEN rojects	TS (Chapte	er 7)				ACCESSIBLE PARKING (Projects that are New Con	struction, Add			Remain, No Ne	w Work ***
PROJECT INFORMATION	I:	Occupancy: (Cho					Please check our Plan Submitte http://charmeck.org/mecklenb	ol Guidelines if a	Life Safet	ty Plan is required			ulde ndf		(1106)					
Name of Project: Trackside Crafts Address: 330 Main Street,	Pineville, NC 28134	_ Assembl Business	ly (303)	□ A-1 □ A-	-2 □ A-3 □	A-4 □ A-5	BUILDING ELEMENT	FIRE		RATING	DETAIL #	DESIGN #	DESIGN # FOR		LOT OR PARKING TOTAL # 0F P. AREA REQUIRED	ARKING SPACES PROVIDED	# OF ACC	SSIBLE SPACES VAN SPAC		TOTAL # ACCESSIBLE
Proposed Use: Mercantile Owner or Authorized Agent: Rajeev	Bhave Phone #: 704.542.5252 Email: rbhave@arconsds.com	Educatio	onal (305)	□ E □ F-1 Moderate	□F-2 Low			SEPARATION DISTANCE	REQ'D	PROVIDED (W/	AND SHEET #	FOR RATED	RATED PENETRATED	FOR RATED	negomes	THOTIELE	5' ACCESS	132" ACCESS	8' ACCESS	PROVIDED
Owned By: Kevin Devanney Code Enforcement Jurisdiction:	☐ City/County ■ Private ☐ State	Hozordoi	us (307)	☐ H-1 Detonate ☐ H-4 Health	☐ H-2 Deflogr ☐ H-5 HPM	ate □ H-3 Combust	Structural Frame,	(FEET)		REDUCTION)		ASSEMBLY		JOINTS			AISLE	AISLE	AISLE	
>5000000000000000000000000000000000000	TERNATE MEANS OF COMPLIANCE:		onal (308)	□I-1 □I- □1 □2		I–4 4 □5	including columns, girders, trusses	0	0	0							*			
Building Description: Historical land	dmark in downtown Pineville	Mercanti	ile (309)	■ M □ R−1 □ R-		R-4	Bearing Walls	0	0	0				8.5	Min. stoirway width (Section 1009.1): min_corridor v	width (Section 1	018.2): min. doc	or width (Section	on 1008.1.1
		Storage	(311)	□ S-1 Moderate □ Parking Garage	□S-2 Low	☐ High Piled Enclosed ☐ Repoir Garage	(see section k.(601-602) if rated)								STRUCTURAL DESIGN -					
Scope of Work Details: (If phased	const., please see plan submittal guidelines for submittal reqs.)	Utility or Accessory Occup	nd Miscellaneo	us (312) 🗆 U	В Орен В	Bicosed Bikepos ourogo	Exterior	0	0	0	100	(*)			and Change of Use)					
Tenant alteration		 Assembl 	ly (303)	□ A-1 □ A-	-2 □ A-3 □	A-4 □ A-5	North	0	0	0			•	•	If adding dead loads or live loads required. This information may be	located on the s	structural sheet	s. The structu	rol sheet must	l be t be in the
-			onal (305)	□ B □ E			East West	0	0	0			- :		same format as noted in this sect (Located on Structural Sheet Numb	ion. If it is on th	he structural sh Yes	eets, please indi No <u></u>	cate here.)	
Does this project have air rights, e	eosements, an assumed property line, not build easements or	Factory Hazardoi	us (307)	□ F−1 Moderate □ H−1 Detonate	□F−2 Low □H−2 Deflogr	ate □H-3 Combust	South	0	0	0					DESIGN LOADS					
other circumstances similar to the provide a copy of the official documents	aforementioned? Yes: No:X If yes, please ments.	Institutio		☐ H-4 Health ☐ I-1 ☐ I-		1-4	Interior	0	0	0	(*)		•		Importance Factors: (ASCE/	SEI 7-05-11.5)	Win Sno			
	e using Chopter 34 (3412-Existing buildings) in the NCSBC or	1-3	Condition	□1 □2 □M			Nonbearing walls and Partitions — (see section	0	N.C.	N.C.								smic		
NFPA 101 as an alternative for Coo	de compliance please schedule a preliminary review before Notes for Plans Examiner and Inspectors: Please reproduce the	Resident	tial (310)	□ R-1 □ R- □ S-1 Moderate	-2 □ R-3 □ □ S-2 Low	R-4 □ High Piled	k.(601-602) if rated)								Live Loads: Roof: (1603.1.2, 1607.11,	1, 1611)		psf	
evaluation form on the plans.	,		nd Miscellaneo	☐ Parking Carage	□ Open □	Enclosed Repair Garage	Exterior walls North	0	0	0	<u> </u>		- : -		Live Lo	(1603.1.1, 1607.10 ad Reductions: (1) :	psf psf	
		_ Incidental Uses:	If applicable-o	areas with addition	nal requirements (Table	508.2.5):	Eost	0	0	0					Ground Snow Load: (1608.2	2)		_	psf	
charmeck.org/mecklenburg/county/	native Means of Compliance/Engineering Judgement: 'LUESA/CodeEnforcement/Tools/CodeInterpretations/Pages/	☐ Room:	s with boilers	where the largest	uipment is over 400,00 piece of equipment is	over 15 psi and 10 horsepower	West	0	0	0					Fynosu	Vind Speed: (1609 re Category: (160	09.4)		mph (ASCE-7 psf)
default.aspx (Approval needed from	the Code Administrator is required before submitting)	_ ☐ Hydro		room ms, not classified	in Group H		South Interior walls & partition	0	N.C.	N.C.	1.0		-		Wind B	ose Shears (for N	MWFRS)(Engineer	Col's) Vx=	Vy=	
		☐ Incine	rator rooms shops, not cla	ossified as Group	H. located in occupan	cies other than Group F	Floor Construction								Seismic Design Categ	ory: (1613.1	1, 1613.5.6)	□A □B	\Box C \Box D	
Check if applicable to your project:				100 square feet	0. *O. 0.000 (85.500) 0.000 0.000 (1.000)	e. d 40 sicociaetti - sociilospiricitoto (socii¥ri - 19	including supporting beams and joists	0	0	0			·		Provide the following Seismic Desig Occupancy Category: (Table 16	604.5)				er_
Services)] http://www.charmeck.org	ation document attached. [See www.Meckpermit.org (Electrical g/mecklenburg/county/LUESA/CodeEnforcement/Inspections/	☐ Group	I-3 cells equ	ipped with podded	surfaces		Roof Construction	0	0	0					Spectral Response Acceleration			Ss=%		%g
Trades/Electrical/Documents/Indust	tria!MachineryFAQ.pdf	☐ Woste	and linen coll	lection rooms ove	r 100 square feet		including supporting beams and joists	,	ľ						Site Classification (Table 1613. Data S			□C □D □ Presumptive		ata
☐ RTAP (Revisions to approved plan	ns) [See www.Meckpermit.org (Commercial Plan Review cklenburg/county/LUESA/CodeEnforcement/PlanReview/Pages/	or a l	lithium-ion co	pacity of 1,000 p		te copacity of more than 50 gallons standby power, emergency power or	Shorts - Exit	0	0	0	-				Basic Structural System (chec ☐ Bearing	kone) Woll □ Duo	al w/Special Mo	ment Frame		
Revisions to Approved Plans Process. asp	px	uninte □ Room:	errupted power is containing fi	supplies re pumps			Shafts — Other Corridor Separation	0	N.R.	N.R.	-	-	- :		☐ Building	Frome Duc	al w/Intermedia verted Pendulum	le R/C or Specia	ol Steel	
DESIGN PROFESSIONAL INI	FORMATION:	☐ Group	I-2 storage i	rooms over 100 s	quare feet		Occupancy Separation	0	N/A	N/A			•	•	☐ Momen Seismic Bose Shear: (Engineer	Cal's)		Vx=	Vy=	
DESIGNER FIRM NA	me and a contract of the contr	☐ Group	I-2 laundry e	equal to or less t	hon 100 square feet tain fuel—fired heating	equipment	Party/Fire Wall Separation		N/A N/A	N/A 0					Analysis Procedure: Simplifi Architectural, Mechanical, Com	ponents anchored	ent Lateral Ford d? □ Yes	e □ Dynamic □ No		
Architectural <u>Arcons Design Studio</u> <u>Raj</u> Civil	jeev Bhave 9656 704.542.5252 rbhave@arconsds.com	Special Uses: If	opplicable	□ 402 □ 40	3 405	406 407 408	Smoke Barrier Separation Tenant Separation	0	N/A	0	<u> </u>		-		Lateral Design Contro	ol: □Earthqu	uake 🗆 Wind			TI
Electrical Vrettos Pappas CE Nic	tholas C. Vrettos 027395 704.372.7755 ncvrettos@vpce.com	□ 409 □ 417	□ 418	□ 411 □ 41 □ 419 □ 42		414	Incidental Use Separation	0	N/A	0		8.0	2		Soil Bearing Capacitie	es:				۱.,
Plumbing Vrettos Pappas CE Nic	holas M. Pappas 040334 704.372.7755 nmpoppas@pce.com holas M. Pappas 040334 704.372.7755 nmpoppas@pce.com	☐ 425 Special Provisions		□ 4 27	9.2 🗆 509.3 🗆	509.4 🗆 509.5 🗆 509.6	* Indicate section number				1.0022		= Non Com = Not Regi		Field Test (provide a copy of Presumptive Bearing Capacity:	test report as a	reference docu		psf psf	ls.
Sprinkler-Stdpipe			/Use: (506.5)	☐ 50 If Applicable: ■			LIFE SAFETY PLA (Required for all Pro	piects)			IANCE	N/A	= Not App	licable	Pile Size, type and capacity					
Structural Structural Integrity T.J Retaining Walls>5' High	J Philbrick 24578 704.541.3202 tjphilbrick⊕ structuralintegrityeng	.com Incide	ental Use Separ	ration: (508.2.5) of exempt as a	non-separated use (se	e exceptions).	Check items that ar								Special Inspections R	equired: 🗆	Yes □ No			* *
Refrigeration	DEDECRIFE (Description for the feature of the featu	Non-5	Separated Use	(508.3)			☐ Fire and/or smoke rate ☐ Assumed and reol prop	erty line locat	tions	1000					SPECIAL INSPECTIONS					
all Projects)	PERFORMED - (Required Information for:	for eac	ch of the opplical	ble occupancies to th	ie entire building. The mo	d in a Group E or I—2 occupancy by applying the height and area limitations st restrictive type of construction, so	☐ Exterior wall opening a ☐ Existing structures with	ea with respe in 30? of the	ct to dis	d building					http://charmeck.org/mecklenburg/county	AUESA/CodeEnforce DULE OF S	PECIAL IN	Occuments/SI Scor	serbqt.	
What type of work is being perform	ned?			to the entire building	for area calculations		Occupanty types for ea	ich area as it	relates	to occupant lo	ad calculat	tion (Table	1004.1.1)		■ No special inspections required	for this project		☐ Special inspec	ctions required	
□ New Construction		For ear	ch story, the ore	a of the occupancy :	shall be such that the sum	of the ratios of the actual floor area of seed 1. If applicable to this project please	Exit access travel dista	nces (1016)	0143 & 1	1028 8)					The following sheets comprise the divisions which require special insp		project are as f	ollows:		
	ugh the completion of work for tenant occupancy) This includes	provide	a key plan with	all occupancies iden	lified with square footoge.		☐ Dead end lengths (1018	.4)	017.5 ac	1020.07					□IT-1 Verification of Soil □IT-2 Excavation and Fil	S	□IT-10	Inspection of Structural Mason	tructural Steel nry	Fabricators
Shell buildings.		Actuo	al Area of Occ	upancy A + -	Actual Area of Occup	oncy B = < 1	☐ Clear exit widths for e	ich exit door	ity each	exit door can	accommod	ate based o	n corose widt	(1005 1)	□IT-3 Piling and Drilling	Diare	□IT-12	Welding		
1		Allono	ble Area of Oc	cuponcy A	Allowable Area of Occu	iponcy B -	■ Max. calculated occupa	it loca copac	ity cucii	CAIL GOO! CO!!	accommod		il egress muu	(1005.1)			□ IT-13	High Strength F	Rolls and Stl.	Framing Ins
addition to http://ecodes.biz/ecode	nat is adding heated or unheated space. This could be an es_support/free_resources/2012NorthCarolina/Buildina/PDFs/	STORY NO. DE	ESCRIPTION	(A) (I	B) (C)	(D) (E) (F)	■ Actual occupant load f □ A separate schematic	or each exit o olan indicating	door						□IT-4 Modular Retaining □IT-5 Reinforced Concret	Walls	□IT-14	Sprayed Fire Re	Bolts and Stl.	rials
□ Addition: (An Existing Building th addition to http://ecodes.biz/ecode Chapter%202%20-%20Definitions.pdf	es_support/free_resources/2012NorthCarolina/Building/PDFs/	STORY NO. DE	ESCRIPTION AND USE BL	(A) (I DG. AREA TABLE	B) (C) 503 S AREA FOR	policy B	■ Actual occupant load f □ A separate schematic purposes of occupancy □ Location of doors with	or each exit o plan indicating separation panic hardwar	door where fi re (1008.	ire rated floor,	celling and	d/or roof st	ructure is pro		□IT-4 Modular Retaining □IT-5 Reinforced Concret □IT-6 Post Tension Stab □IT-7 Pre-Cast Concrete	Walls te Erection	□ IT-14 □ IT-15 □ IT-16	Sprayed Fire Re Exterior Insulati Seismic Resista	sistance Mater on and Finish	rials
addition to http://ecodes.biz/ecode Chapter%202%20-%20Definitions.pdf	es_support/free_resources/2012NorthCorolina/Building/PDFs/ etion)	STORY NO. DE	ESCRIPTION AND USE BL	(A) (I DG. AREA TABLE ER STORY AR (ACTUAL)	B) (C) E 503 S AREA FOR FRONTAGE INCREASE S	(D) (E) (F) AREA FOR ALLOWABLE MAXIMUM SPRINKLER AREA OR BUILDING INCREASE 2 UNLIMITED 3 AREA 4	Actual occupant load f A separate schematic purposes of occupancy Location of doors with Location of doors with	or each exit o plan indicating seporation panic hardwar delayed egres	door where fi re (1008.' is locks o	ire rated floor, 1.10) and the amoun	ceiling and	d/or roof st	ructure is pro		□IT-4 Modular Retaining □IT-5 Reinforced Concret □IT-6 Post Tension Stob	Walls te Erection crete	□IT-14 □IT-15 □IT-16 □IT-17	Sprayed Fire Re Exterior Insulati Seismic Resista Smoke Control Detension Basin	sistance Mater on and Finish nce	rials
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addition to http://ecodes.biz/ecode. Chopter/202720-7200efinitions.pdf Chopter/202720-7200efinitions.pdf Chopter/202720-7200efinitions.pdf Upfit: (First Time Interior Comple (Upfit - the first time interior com- constructed building. The opplicant ### Alteration: (Previously Occupied Shitp://ecodes.pupport/ Chopter/202720-7200efinitions.pdf CODE INFORMATION - NI ### Building Code: 2	es_support/free_resources/2012NorthCorolina/Building/PDFs/ etion) pitetion of a virgin (never occupied) shell space in a newly t must provide a copy of the approved shell) Space) This includes Change of Use. (free_resources/2012NorthCorolina/Building/PDFs/ CCSBC 2012 North Cordina State Building Code (NCSBC) 2012 North Cordina State Building coduction per section 3412) 2012 Chapter 34 (ettorh turling evaluation per section 3412) 2015 No Disting Building Code 1ete building code (NCSBC) 1ete building coduction (upfit) Addition Change of use/occupancy 3ulding/terant space Interior completion (Alteration / Revovetton) 7ersicus use 2014 NCSBC for compliance for Accessibility for Existing Buildings. A be reproduced on the plans to wrify how compliance will be confined. 2014 NCSBC for compliance for Accessibility for Existing Buildings. A be reproduced on the plans to wrify how compliance will be confined. 2014 NCSBC for compliance for Accessibility for Existing Buildings. A beginning. 2015 One of the Compliance of the Compliance of the plans. 2016 Alteration @ Reconstruction @ Ohange of use @ 2020 Date of Prefirmbary Meeting 2030 Date of Prefirmbary Meeting 2040 Date of Prefirmbary Meeting 2050 Note of NCSBC of Compliance of NCSBC of N	STORY NO. DE Single Level 1 Frontage area in a. Perimeter b. Total Buds c. Rato (F/P d. W = Month 100 m. e. Percent of 2 the sprinker b. Total Buds c. Rato (F/P d. W = Month 100 m. e. Percent of 2 the sprinker b. Total Buds c. ALLOWABLE (Required fo toers must cover must cover must bullding Height in PERCENTAL (New Construction of the Percentage	Business Busine	(A) AREA TABLE DG. AREA TABLE TABLE TABLE TABLE AREA TABLE	(C) 503 AREA FOR FRONTIAGE	(p) (p) (F) (p) (F) (p) (p) (p) (p) (p) (p) (p) (p) (p) (p	■ Actual occupant load f	or each exit close in control of the	door where fit is locks to the company of the compa	ire roted floor, 1.10) and the amount and the amou	/celing once to to delay y.9.8) CTABL DISTANCE REVENUE DISTANCE REVEL 15 DIS SHOP CE LEVEL 15 DIS SHOP DISTANCE LEVEL 15 DIS SHOP DISTANCE LEVEL DIS DISTANCE LEVEL DIS DISTANCE LEVEL DISTANCE	### (1008.1.9.7) regarding t	he items abov 1) RRANGEMENT MESS \$\frac{1}{2}\text{SECNIC PS}\$ RETURN THE MESS \$\frac{1}{2}\text{SECNIC PS}\$ RETURN THE MESS \$\frac{1}{2}\text{SECNIC PS}\$ POliogonal 21'-9' Diagonal 21'-9' ACT. (1005.1) \$1000.1) \$1000.1) \$1000.1 \$1	EANS OF AN 1015.2) EANS OF AN 1015.2) SYZASAS FOR PLANS R LEVEL 90" 90"	□IT-4 Modulor Retaining □IT-5 Reinforced Concret □IT-6 Post Tension Sibo □IT-7 Pre-Cost Concret □IT-8 Pre-Stressed Conc □IT-9 Inspection of Pre- □IT-8 Pre-	Walls te E Erection rete E Erection rete Cast Fobricators ecial inspection or 17. For question rements (New Use or if incr "" Existing to Resources/2012/both I N, I N,	III - 14 III - 15 III - 16 III - 17 III - 16 III - 17 III - 18	Sproyed Fire Re- Exterior Insulids Seismic Resisto Somble Control Detension Bosin Special Coase project and list ectal Inspection In Additions, pant toad) Work To Mark To	below specific please see Upfits, DESCRIPTION OF SECTION OF SECTI	iols System special special 20System add INKING INTAINS e below)
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TRACKSIDE CRAFTS 330 MAIN STREET PINEVILLE, NC **ALTERATION**

Walls below grade (each assembly) Description of assembly: U—Yalue of total assembly: R—Value of insulation:	<u></u>
Floors over unconditioned space (each assembly), Description of assembly; U—Yalue of total assembly; R—Yalue of insulation:	
Floors slob on grade Description of assembly: U-Value of total assembly: R-Value of insulation: Horizontal/vertical requirement: slob heated: MECHANICAL SUMMARY - (NCECC 503)	
This information may be located on the mechanical she in the same format as noted in this section. If it is on indicate here. (Located on Mechanical Sheet NumberY ELECTRICAL SUMMARY - (NCECC 505)	the mechanical sheets, please
This information may be located on the electrical sheet the same format as noted in this section. If it is on the bere	

The Mecklenburg County Fire Marshal's Office is required to inspect and verify this project conforms to the N.C. State Fire Prevention Code before the Code Enforcement Department will issue the Cerdificate of Occupancy. To schedule

(Located on Electrical Sheet Number.___

ne Fire Marshal assigned to this project is Assistant Fire Marshal Jesse Soares

APPROVED AS NOTED M2.0

told square footage of skylights in each or Exterior Walls (each assembly) Description of assembly; U-Yalae of told assembly; R-Yalae of insulation: Openings (windows or doors with glazing) U-Yalae of assembly; Solar heat gain coefficient: projection factor: Door R-Yalaes:

DRAWING INDEX

		ARCHITECTURAL	-		
Arcons Design	C1	COVER SHEET			Ī
Studio, PLLC	A1.1	PLANS AND NOTES			Ĺ
10550 Independence Points Pky Suits 300 Wathers, NC 28105	A3.1	SCHEDULES AND DETAILS	•		
P: 734.542.5252 F: 734.542.2330			Н		l
		STRUCTURAL	Г	_	-
Structural Integrity Engineering, PA	S1.0	STRUCTURAL PLAN AND DETAILS	•	_	F
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P: 734.522.6473 F: 734.541.3675			Н	_	
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		P,M, & E			
	P1	SCHEDULE, NOTES, AND LEGEND			ſ
	P2	PLUMBING PLANS	0		
Vrettos Pappas	M1	MECHANICAL SCHEDS., NOTES & LEGEND	9		ŀ
Consuling Engineers	M2	MECHANICAL FLOOR PLAN AND NOTES	9		L
1414C South Tryon Street Charlotte, NC 25203 P: 734.372,7755	М3	MECHANICAL DETAILS	9	_	
1	E1	ELECTRICAL LEGEND, NOTES, & SCHEDS.	9		Ī

VICINITY MAP





10550 Independence Pointe Parkway Matthews, North Carolina 28105 P: 704.542.5252 F: 704.542.2330 www.arconsds.com



INCENTIVE TRAVEL SOLUTIONS 316 MAIN STREET PINEVILLE, NC 28134



The Design In These Constru Occuments Have Been Review nce With The State Bu

TRACKSIDE CRAFTS 330 MAIN STREET

PINEVILLE, NC

JOB NO. 15/TSC-02

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